

AGENDA
ELLETTSVILLE PLAN COMMISSION
Town Hall
1150 W. Guy McCown Drive
Ellettsville, Indiana
Thursday, November 4, 2021 - 6:00 P.M.

Pledge of Allegiance

Roll Call

Approval of Minutes – September 2, 2021 & October 7, 2021

Monthly Conflict of Interest Statement

Approval of 2022 Meeting Dates

Old Business

Voluntary Annexation of 5010 N. Lakeview Drive, Bloomington (1.03 Acres); Petitioner: Kevin Farris, Farris Storage, Inc.; Case No. PC 21-19

Commercial Uses Discussion

New Business

Development Plan Approval for Flats on 46 Multi-Family Complex (168 units), 3888 W. State Road 46; Petitioner: The Ridge Group; Case No. PC 21-20

Planning Department Update

Next Meeting – December 2, 2021

Privilege of the Floor – Non Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

PLAN COMMISSION
MEETING DATES
2022

January 13, 2022*

February 3, 2022

March 3, 2022

April 7, 2022

May 5, 2022

June 2, 2022

July 7, 2022

August 4, 2022

September 1, 2022

October 6, 2022

November 3, 2022

December 1, 2022



Town of Ellettsville

Department of Planning & Development

To: Ellettsville Plan Commission

From: Kevin Tolloty, Director of Planning

Date: October 29, 2021

Subject: Lakeview Drive Annexation

Several issues were brought up at the previous Plan Commission meeting:

- 1) Recommended Zoning, C-3; General Commercial – There are two reasons for this zoning recommendation:
 - a. Properties to the east, west, and south are already zoned C-3, and this would simply match the existing zoning. The property to the north is currently residential, but falls under County Zoning which we have no control over and could change at any time.
 - b. The existing business (mini rental storage facility) is only permitted in the C-3, I-1, and I-2 zoning districts. The C-3 district is the least intense of these options, and therefore the best option.
- 2) Future Development (Expansion) – Any expansion of the current storage business will be done in compliance with Town development standards. Currently, only additions of 100% or greater (doubling in size) are required to go through the development plan process. We will work with the business owner to ensure that any expansion that is less than that which would go through Plan Commission be compatible with the surrounding properties.
- 3) Future Development (New Business) – While the recommended zoning allows for a number of permitted uses, any new business will be required to go through Plan Commission for development plan approval and will be required to meet minimum buffering and setback standards.

The purpose of this annexation request is to allow for future expansion of an existing Town business. Mini rental storage units are a very low intensity use, generating negligible amounts of traffic and noise, and are easily compatible with surrounding residential areas. If the Board recommends a different zoning district, it would be counter to the purpose of the annexation and strongly discouraged by Staff.

Therefore, Staff confirms its recommendation that the Plan Commission give a recommendation of C-3 zoning for this annexation to Town Council.



Town of Ellettsville

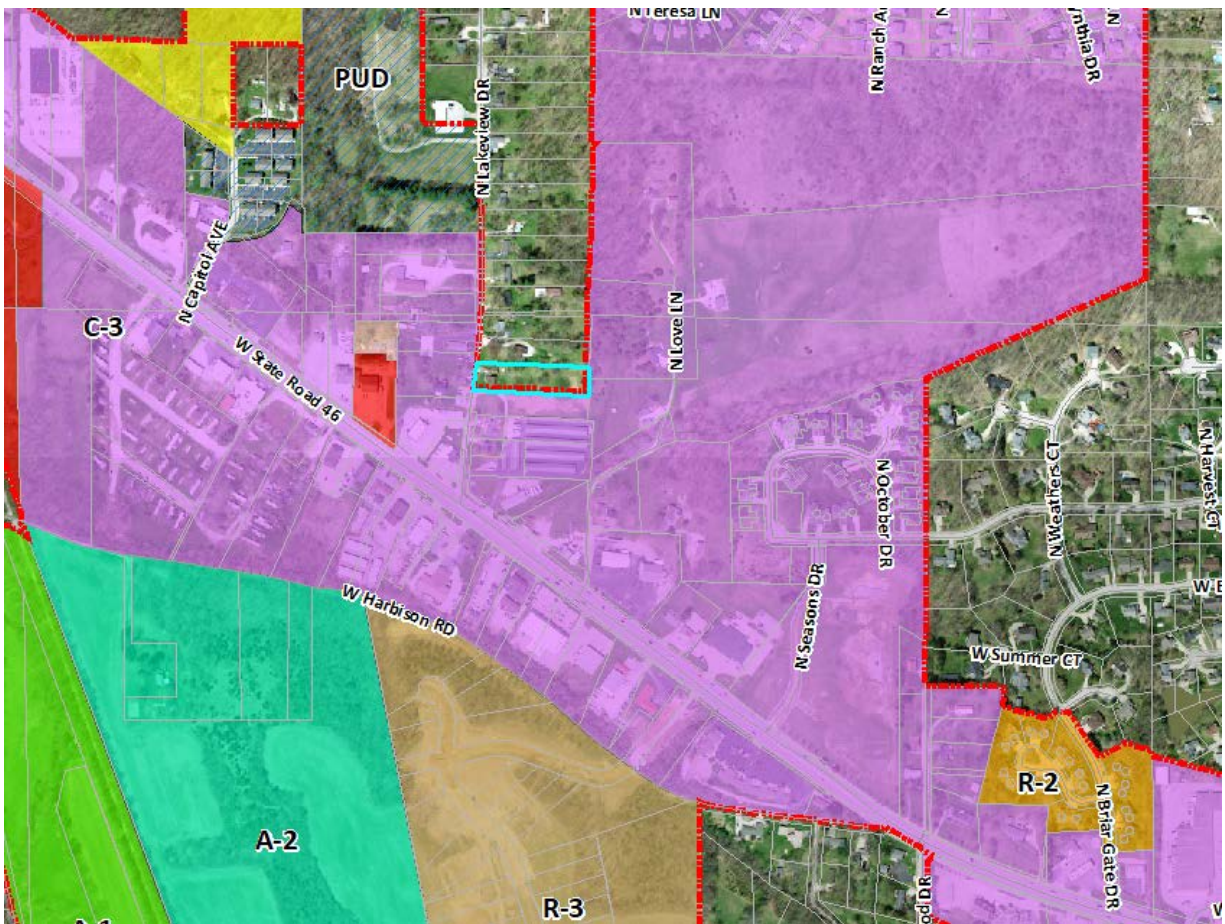
Department of Planning & Development

PC 21-19 – Voluntary Annexation Petition Staff Report

Petition

Case - PC 21-19 – Lakeview Drive Annexation. A request by Kevin Farris, on behalf of Farris Storage Inc., to voluntarily annex approximately 1 acre of land. The subject property is located at 5010 N. Lakeview Drive.

Surrounding Zoning Districts & Uses



Zoning District	Property Use
North: ER: Estate Residential (County)	Mixed Residential
South: C-3; General Commercial	Mixed Commercial/Storage Units
East: C-3; General Commercial	Single Family Residential
West: C-3; General Commercial	Multi-Family Residential

Considerations

1. The petitioner is requesting to annex approximately 1 acre of land, located at 5010 N. Lakeview Drive, into the Town of Ellettsville.
2. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
 - a. Consent of 100% of the property owners within the area to be annexed.
 - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
3. The proposed annexation area is 60% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
4. The property is currently zoned ER: Estate Residential by Monroe County and is recommended to be designated as C-3; General Commercial upon annexation.
5. The property is currently a single family residence.
6. The applicant would use this property to expand his storage business in the future.
7. The property will be located in Council Ward 4.
8. The property is serviced by water and sewer. The annexation will not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
9. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

Plan Commission Action

The Plan Commission action shall be in the form of a *favorable, unfavorable, or no recommendation* to Town Council, which takes final action on the annexation petition.

Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of C-3; General Commercial, upon annexation.

Submitted by Kevin Tolloty, AICP
Director of Planning & Development
September 28, 2021



Town of Ellettsville

Department of Planning & Development

FISCAL PLAN

Lakeview Drive Annexation

Project Description

Location: 5010 N. Lakeview Drive

Size: +/- 1 acres

Number of Parcels: 1

Current Zoning (Monroe County): ER: Estate Residential

Proposed Zoning: C-3; General Commercial

State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed are 1/8 (12.5%) contiguous to the boundaries of the municipality;
 - a. A strip of land less than 150 wide does not count towards contiguity.

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

1. The cost estimates for planned services to be furnished to the property to be annexed;
2. The method or methods of financing the planned services;
3. The organization and extension of services;
4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
6. The estimated effect on taxpayers in the Town of Ellettsville;
7. The effect of annexation on the Town of Ellettsville finances;
8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

Contiguity

The property to be annexed by the Town of Ellettsville has a total border of 1,045 feet and is contiguous along 625 feet. The total percentage contiguous is 60%, meeting contiguity requirements of Indiana Code and will be zoned commercial.

Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions. The costs in the following chart do not necessarily reflect any actual costs, but are simply estimates based on current expenditures and demographics.

Farris Annex 5010 N. Lakeview Drive	Current Level of Service		Additional with Annexation		Additional Expenditures	
	Per Parcel	Per Acre	Per Parcel	Per Acre	Parcel Based	Acreage Based
Planning & Zoning	\$83.49	\$35.89	1	1	\$83.49	\$35.89
Administration	\$124.01	\$53.30	1	1	\$124.01	\$53.30
Fire Department	\$565.49	\$243.06	1	1	\$565.49	\$243.06
Police Department	\$414.82	\$178.30	1	1	\$414.82	\$178.30
Street Department	\$260.76	\$112.08	1	1	\$260.76	\$112.08

Organization and Extension of Services

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

Financial Recommendations

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

1. Real Property Tax
 - a. The net assessed valuation as of March 19, 2021 is \$118,100, will have very little impact on the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
2. Personal Property Tax
 - a. There will likely not be personal property taxes associated with development of this parcel.
3. Local Income Tax (LIT)
 - a. On July 1st of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.
4. Water/Sewer
 - a. There are no expected cost increases to the Town to provide these services.
5. Stormwater
 - a. The stormwater fee is expected to be \$48 per year.

Effect of Annexation

1. Estimated Effect on Taxpayers in Ellettsville
 - a. The estimated tax rate would drop from 0.7058 to 0.7055 in the year 2022, and would be expected to remain relatively similar for the next four (4) years.
 - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.0003 would amount to approximately \$0.30 per year for a \$100,000 home. The amount over four (4) years would be negligible.
 - c. The annexation will not require any increase in expenditures.
 - d. The annexation of this parcel should have no noticeable effects on service levels.
 - e. The annexation will have minimal to no effect on annual debt service payments.
2. Estimated Effect on Municipal Finances
 - a. The estimated levy increase due to the annexation is \$867. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$3,698 over this time period compared to the growth rate without annexation.
 - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.

3. Estimated Effect on Other Political Subdivisions
 - a. There is no outstanding Monroe County debt tied to income taxes to consider.
 - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
 - c. Richland Township currently has \$267,952 of outstanding debt spread across four years to consider.
 - i. Ellettsville would be required to repay a total of \$59.50 over those five years to cover the amount lost from annexation. (See appendix for yearly totals)
 - d. There is a tax rate totaling 0.14530 for Richland Township fire that would result in approximately \$172 per year that would be lost due to annexation.
 - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14533, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
 - e. A portion of the parcel will hit the circuit breaker, based on being placed in the other residential category capped at 2%. See Appendix D for a full breakdown of the calculations. The estimated total tax credit is \$399.55 and distributed as follows:
 - i. Monroe County Credit – \$68.10
 - ii. Ellettsville Credit – \$120.59
 - iii. Richland Township Credit – \$4.97
 - iv. Monroe County Public Library Credit – \$15.72
 - v. Monroe County Solid Waste Credit – \$4.73
 - vi. Richland Bean Blossom Schools Credit – \$185.44

Parcels to be Annexed

1. Parcel ID # 53-04-14-200-073.000-011
 - a. Property Owner – Farris Storage Inc
 - b. Property Address – 5010 N. Lakeview Drive
 - c. Assessed Value (2021) - \$118,100

Other Considerations

1. The property is currently zoned ER: Estate Residential by Monroe County and will be designated as C-3; General Commercial.
2. The property will be assigned to Council Ward 4.
3. The property is currently a used as a single family home. Upon annexation, the owner would like to expand his current storage unit facility. The existing single family home may remain on site as a rental property.

Summary

The purpose of this annexation is to allow the property owner to expand his existing business, which is not easily done under Monroe County codes. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of C-3; General Commercial.

Legal Description

A part of the Northeast quarter of the Northwest quarter of Section Fourteen (14), Township Nine (9) North, Range Two (2) West, in Monroe County, Indiana, bounded and described as follows, to-wit: Beginning at a point that is Four Hundred Eighty and Eighty-three Hundredths (480.83) feet East and One Hundred Eighty-two and Twenty-five Hundredths (182.25) feet South of the Northwest corner of the said quarter quarter and in the existing centerline of a road known as Lakeview Drive; thence running South Seven (7) degrees West over and along the existing centerline of the said Lakeview Drive for a distance of One Hundred (100) feet; thence running South Eighty-eight (88) degrees and Thirty (30) minutes East for a distance of Four Hundred Fifty-five (455) feet, more or less, and to the land of Frank A. Love; thence running North One (1) degree Thirty (30) minutes West over and along the West line of the said real estate of Frank A. Love for a distance of One Hundred (100) feet; thence running North Eighty-eight (88) degrees and Thirty (30) minutes West for a distance of Four Hundred Forty-three and Seventy-six Hundredths (443.76) feet and to the place of beginning. Containing in all One and Three Hundredths (1.03) acres, more or less.





Permitted Use Table - Commercial Districts

Land Use	C-1	C-2	C-3	Land Use	C-1	C-2	C-3
Commercial/Services				Extended Care Facility			x
Adult Entertainment				Farm Supply Store			
Antique Shop				Feed Mill			
Art Gallery	x	x	x	Gasoline and Diesel Fuel Service Station			R ₁
Auction Barn				Gun Sales & Repair (No shooting range)	x	x	x
Auto & Truck Repair Facility (Under 4 tons gross vehicle weight)			x	Health Maintenance Facility			x
Auto, Truck, Motorcycle, Manufactured Housing, and RV Washing, Sales or Service Facility (vehicles over 4 tons)			R ₁	Heavy Equipment Sales & Service			R ₁
Babysitting	x	x	x	Home Occupation	x	x	x
Bakery (with retail, <10,000 sq.ft.)	x	x	x	Home Occupation (Not permitted by right)			
Bed & Breakfast (up to 4 guest rooms)	x	x	x	Hotels & Motels	x	x	x
Bed & Breakfast (more than 4 guest rooms)	x	x	x	Kennel			x
Bicycle Sales & Repair	x	x	x	Laundromat	x	x	
Building Materials Sales			R ₁	Laundry & Dry Cleaning			x
Building Trades Shops (Including assembly and millwork)				Liquor Store	x	x	x
Car Wash (Under 4 tons gross vehicle weight)			x	Micro-Brewery	x	x	x
Car & Truck Wash (any size)				Mini Rental Storage Facility			x
Catering	x	x		Mini Warehouses			
Child Care Facilities (Including centers, ministries or pre-schools)	x ₃	x ₃		Neighborhood Serving Store (< 3000 sq.ft.)			
Child Care Home	x	x	x	Other/Unlisted Commercial Uses	SE	SE	SE
Communications Facility (attached)	x	x	x	Outpatient Medical/ Dental/Health Offices & Clinics	x	x	x
Communications Facility (detached)				Parcel Post Distribution Facility			R ₁
Convenience Store			x	Pawn Broker/Shop			x
Day Care Center				Personal Services (Including barber, beauty, tailoring, hair, nail and shoe repair)	x	x	x
Dealer or Transportation Facility							
Drive-In Facility	x	x					

Permitted Use Table - Commercial Districts

Land Use		C-1	C-2	C-3	Land Use		C-1	C-2	C-3
Commercial/Services					Industrial				
Pet Shop	x	x	x	General Manufacturing/ Remanufacturing (Not listed)					
Print Shop (with retail, <10,000 sq.ft.)	x	x	x	General Warehousing (Not listed)					
Professional & Government Offices	x	x	x	Generator & Motor Manufacturing & Service					
Sale Barn				Glass Making					
Small Appliance Repair & Servicing Studios (arts & crafts, design, photography, broadcasting - inc. attached communications facilities)	x	x	x	Ice Making					
Small Item Retail (Including department stores, food, drug, beverage, small appliances, florist, gifts, hardware, paint, furniture, and clothes)	x	x	x	Landfill					
Stone Sales				Lumber & Equipment Sales					
Transportation Terminal (Bus & Cab)		R ₁	R ₁	Lumber Mill					
Tavern	x	x	x	Mineral Extraction (without blasting)					
Veterinary Clinic			x	Mining (without blasting)				R ₁	
Video Tape Rental (Not inc. adult entertainment)	x	x	x	Non-Hazardous Manufacturing					
				Oil & LP Storage					
Industrial					Industrial				
Asphalt Plant				Power Generation Facility					
Auto Storage Yard				Printing Facility (any size)					
Bakery (any size)				Processing Plant					
Canning & Bottling Operations				Quarrying (without blasting)				R ₁	
Cement Mixing (batch)				Recycling, Solid Waste Sorting Facilities and Transfer Stations					
Dairy Processing Facility				Salvage Yard/Junk Yard/Scrap Metal Processing Facility					
Distribution Facility				Storage & Processing					
Food Processing & Packing Plants				Trucking & Transportation Company (Excluding livestock)					
Furniture Manufacturing & Refinishing				Utility Transmission & Distribution Facility					
Gas & Oil Wells				Value Added Produce Processing Facility					
General Assembly Facility				Warehousing & Storage Facilities					
				Wastewater Treatment Facility					

Permitted Use Table - Commercial Districts

Land Use				C-1	C-2	C-3	Land Use				C-1	C-2	C-3	
Agricultural						Recreational								
	Agricultural Materials Storage						Amusement Park*							
	Agricultural Uses (All)						Art & Music Center							
	Aquaculture						Campground							
	Commercial Composting Facility						Commercial Recreational Center							
	Greenhouse			x			Community Center							
	Home Gardening						Conference Center							
	Landscaping Business						Cultural Center	x ₃	x ₃		x ₃			
	Livestock Auction						Golf Course							
	Nursery						Gun/Archery Outdoor Range							
	Small Scale Agricultural (Tree/Berry Farms, Truck Gardens, Hobby Farms)						Health & Fitness Facility	x	x		x			
	Yard Waste Dump						High Impact Music Venue							
							Horse Riding Stable							
Residential														
							Indoor Amusements	x	x		x			
	Apartments over Commercial Uses	x	x	x			Indoor Gun Range							
	Boarding House	SE	SE	SE			Libraries and Museums	x	x		x			
	Camp/Conference Center Housing						Outdoor Amusements	x	x		x			
	Estate Homes - Large Lots						Outdoor Sports Center							
	Group Homes	x	x	x			Parks & Playgrounds	x	x		x			
	Halfway House	SE	SE	SE			Picnic Area							
	Multi-Family Dwelling	SE	SE	SE			Religious Facility/Church	x ₃	x ₃		x ₃			
	Single Family Dwellings	x	x	x			Resort*							
	Two Family Dwellings	x	x	x			Retreat Center							
							RV Park							
Miscellaneous														
							School	x ₃	x ₃		x ₃			
	Accessory Buildings (For Permitted Uses)	x	x	x			Social Facility	x ₃	x ₃		x ₃			
	Airport/Landing Field						Sports Facility	SE	SE		SE			
	Cemetery/Mausoleum						Water Park*							
	Mobile Construction Office	x	x	x			Youth Camp							
	Other Uncommon Uses													
	Parking Lots & Garages	x	x	x										
	Ponds and Lakes	x	x	x										

x - permitted by right

SE - permitted by Special Exception

x₃ - located not closer than 250 feet to a business in which alcoholic beverages are served

R₁ - must have access from a designated truck route, and may have incidental storage, but shall not permit on-site assembly, construction, manufacturing or millwork or other industrial activity



Town of Ellettsville

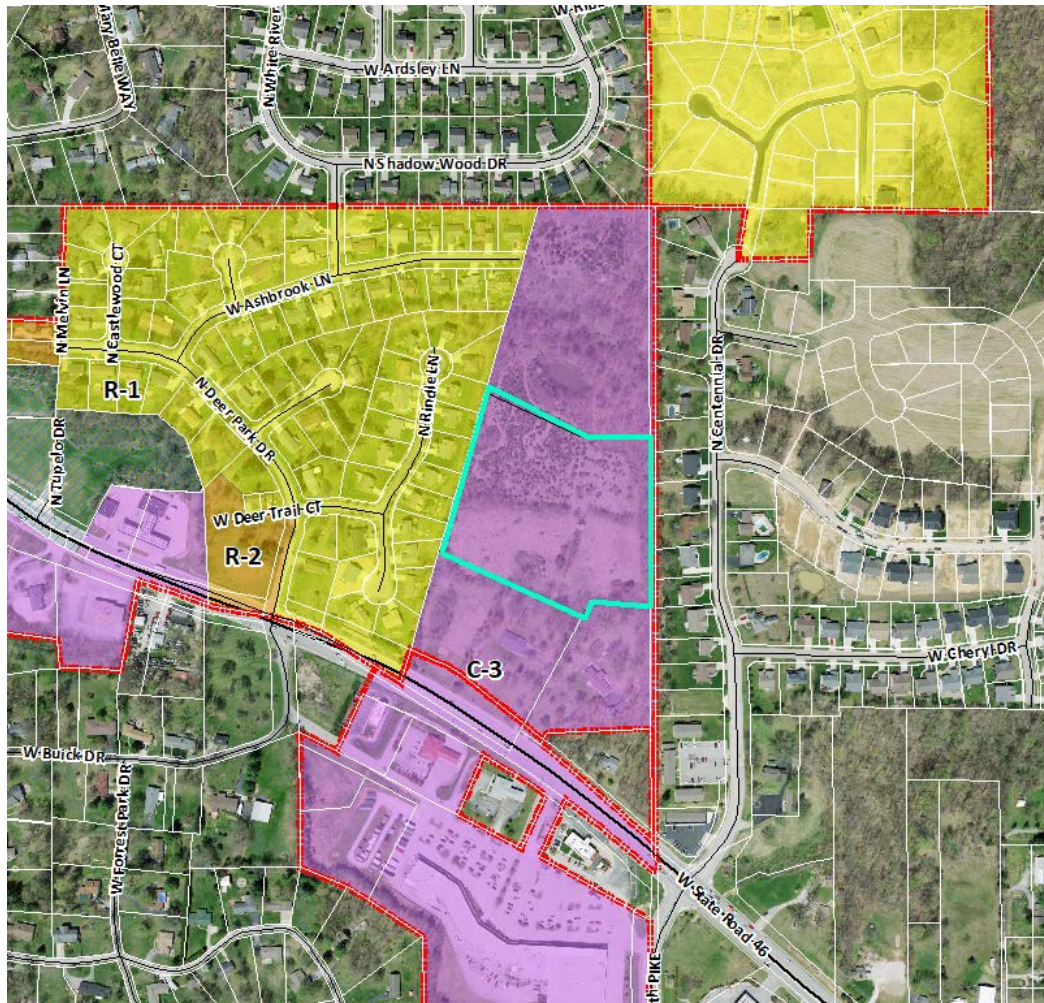
Department of Planning & Development

PC 21-20 – Development Plan Staff Report

Petition

Case - PC 21-20 – Development Plan. A request by The Ridge Group, to develop a 168-unit apartment complex in the Flats on 46 PUD. The property is located at 3888 W. State Road 46.

Surrounding Zoning Districts & Uses



Zoning District	Property Use
North: C-3; General Commercial	Undeveloped Residential
South: C-3; General Commercial	Smith Pike Plaza/Future Commercial
East: MR; Medium Density Residential (County)	Residential Subdivision (Highland Park Estates)
West: R-1; Single Family Residential	Residential Subdivision (Spring Valley)

Considerations

1. The applicant is requesting approval of a development plan to construct six (6) three-story apartment buildings with a total of 168 units.
2. The property is zoned PUD; Planned Unit Development, and the Flats on 46 PUD allows apartments by right.
3. The buildings will each be approximately 22,300 square feet, for a total square footage of 133,800. Each of the buildings will be three (3) floors, and contain twenty-eight (28) units.
 - a. The units will be a combination of studio, one-bedroom, and two-bedroom apartments.
4. The Technical Advisory Committee met on October 19th and reviewed the plans as submitted.
 - a. All items from the Technical Review meeting have been addressed in the revised plans.
5. The development plan meets minimum requirements of the Flats on 46 PUD Outline Plan, and where applicable, Ellettsville Town Code.
6. Plan Commission shall consider the following in determining whether to approve a development plan:
 - a. Compatibility of the development plan with surrounding land uses;
 - b. Compatibility of the development plan with the recommendations of the comprehensive plan;
 - c. Adequate provisions for internal management of traffic;
 - d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
 - e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;
 - f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
 - g. Adequate on-site management of stormwater, and erosion control;
 - h. Adequate provision for green space and or landscaping;
 - i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
 - j. Adequate protection of existing limestone structures; and
 - k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
7. The plan adequately addresses Cedar Bluff PUD parking standards:
 - a. In accordance with the PUD, parking spaces are based on the number of bedrooms per unit;
 - b. A total of two hundred fifty-five (255) spaces are required and three hundred ten (310) spaces have been provided;
 - c. The number of ADA spaces exceeds minimum requirements (8 required, 17 included);
 - d. Aisle widths are at or in excess of the minimum required to allow for ease of access to parking without disrupting the internal flow of traffic;

8. As of the time of the writing of this report, there have been no written comments regarding the development plan received by Staff.

Plan Commission Action

The Plan Commission action on the development plan can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration #6.

- a. *Compatibility of the development plan with surrounding land uses.*

The use of this site as apartments is permitted by right in the Flats on 46 Outline Plan, as approved by the Ellettsville Plan Commission and Town Council. Permitted uses are considered to be compatible with surrounding land uses.

- b. *Compatibility of the development plan with the recommendations of the comprehensive plan.*

The comprehensive plan calls for commercial type uses in this area, and multi-family housing provides a buffering of intensity between commercial to the south and surrounding single family houses. The comprehensive plan also recommends a mix of housing types, which would infer that something other than single family homes should be built.

- c. *Adequate provisions for internal management of traffic.*

Traffic will enter and exit from N. Kemp Road, which directly accesses State Road 46. The new road will become a public road and will connect to W. Ashbrook Lane. Internal parking areas for each building will be serviced by multiple access drives.

- d. *Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.*

N. Kemp Road, which will serve as the primary access to the apartments, will be accessible from both directions on State Road 46. Traffic leaving the apartments will be restricted to a right turn only from N. Kemp Road to State Road 46. Drivers wanting to head westbound on State Road 46 will be encouraged to make a U-turn at Forrest Park Drive.

- e. *Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.*

Infrastructure will be included on site as required.

- f. *Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.*

A section of the development has been set aside for a community park, including picnic tables, playground, and a dog park. There will also be a club house with accessible parking. Natural landscape buffers will also remain in place around the surrounding residential areas.

- g. *Adequate on-site management of stormwater, and erosion control.*

Stormwater and erosion control will be managed in accordance with Town and State regulations and have been reviewed by Town Staff.

h. Adequate provision for green space and or landscaping.

Landscaping and green space will be provided as shown on the landscape plan. The landscaping meets the requirements set out in the Flats on 46 Outline Plan.

i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.

Buffering has been provided along the east and west sides of the building in accordance with the Flats on 46 Outline Plan.

j. Adequate protection of existing limestone structures.

No limestone structures have been indicated on site.

k. Provision of pathways, trails and our sidewalks for all non-industrial developments.

Sidewalks will be located around the front of each building which will connect to N. Kemp Road.

The role of the Plan Commission is to determine whether the development plan meets all applicable codes. The criteria listed under Consideration #6 have been effectively answered in the affirmative during the PUD review and approval by Plan Commission and Town Council. All concerns related to PUD guidelines have been resolved and all development concerns raised in the Tech Review meeting have been addressed in the revised plans.

Therefore, Staff recommends that Plan Commission approve the development plan as presented. If the Plan Commission does not find that the development plan meets the requirements of the Flats on 46 PUD Outline Plan, they shall state specifically which requirements have not been met and how they could reasonably be achieved.

Submitted by Kevin Tolloty, AICP
Director of Planning, Ellettsville
October 28, 2021





Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes

Flats on 46 Development Plan

Project Description

Location: 3888 W. State Road 46

Size: +/- 6 acres

Current Zoning: PUD: Planned Unit Development

Planning Comments

1. A lighting plan is required, including type, height, fixtures, and photometric plan.
2. Please include dumpster enclosure details.
3. Landscaping notes for Lot 15 were cut off – please complete
 - a. Five evergreen trees and five ornamental trees are missing on Lot 15.
4. Minimum apartment size is 415 square feet.

Fire Department Comments

2014 Indiana Fire Prevention Code:

A Knox Box is required; I am ok with one for the entire complex

506.1 Where required. Whenever the servicing fire department has instituted a key box emergency access system, a key box compatible with that system shall be installed in an accessible location if:

1. The building is protected with an automatic sprinkler system equipped with a local or transmitted waterflow alarm, or
2. The building is provided with any fire alarm system equipped with an outside audible/visual signaling device, or
3. The building is provided with any fire alarm system where the alarm is transmitted to an off-site location, or to the fire alarm center for the servicing fire department.

Fire Department Connection (FDC);

507.5.1.1 Hydrant for standpipe systems. Buildings equipped with a standpipe system installed in accordance with Section 905 of the fire code shall have a fire hydrant within 100 feet (30 m) of the fire department connections.

912.2 Location. With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so

located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus.

912.3 Access. Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the code official.

912.3.2 Clear space around connections. A working space of not less than 36 inches (762 mm) in width, 36 inches (914 mm) in depth and 78 inches (1981 mm) in height shall be provided and maintained in front of and to the sides of wall-mounted fire department connections and around the circumference of free-standing fire department connections, except as otherwise required or approved by the fire chief.

912.3.3 Physical protection. Where fire department connections are subject to impact by a motor vehicle, vehicle impact protection shall be provided in accordance with Section 312 of the fire code.

Ellettsville Town Code:

93.30. There is no open burning of construction debris or clearings. The developer can obtain a burning permit through the Indiana Department of Environmental Management, Office of Air Quality if they so desire for natural wood burning.

Public Works/Engineering Comments

1. The pavement section needs to be 1.5-inch bituminous surface on 3 inch bituminous base on 7 inches of compacted aggregate size no. 53.
2. The master water meters need to be removed and individual meters installed at each building.
3. The 8-inch ductile iron water lines need to be looped through the development.
4. The water valves need to be shown on the utility plan.
5. The engineer needs to clarify that the detention ponds were designed to receive the runoff from this type of development.

ADA Accessibility Comments

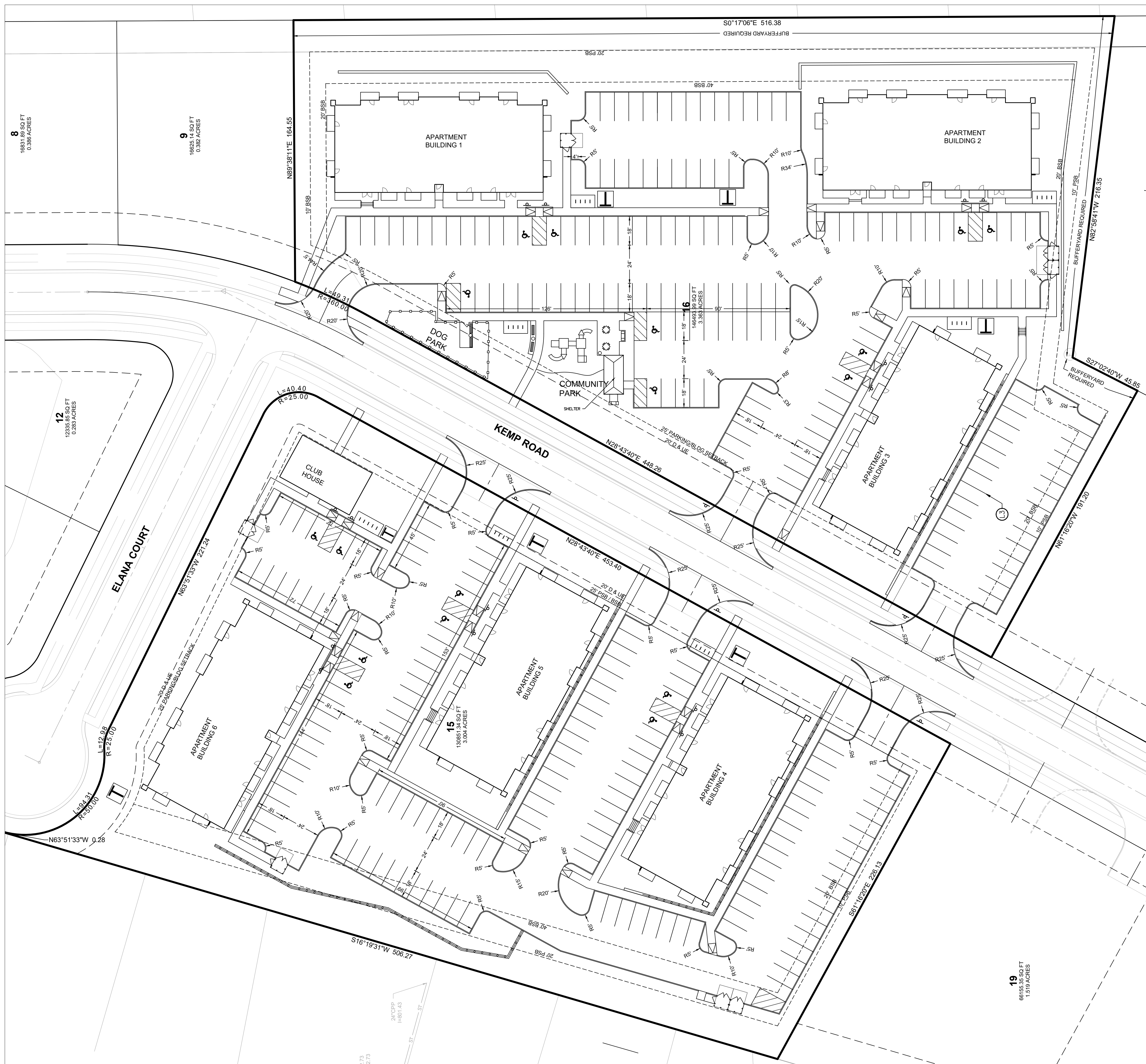
1. Add three accessible parking spaces – 2 in front of the parking lot for the community park and one at the west end of the parking lot at the dog park.
2. Three curb ramps also need installed for the three additional accessible parking spaces.

Summary

The development plan request is for the proposed Flats on 46. The Technical Review Committee met on October 19, 2021 to discuss the preliminary plat. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer, Town Engineer Rick Coppock, Deputy Planning Director and ADA Coordinator Denise Line, Fire Chief Mike Cornman, Deputy Fire Chief Kevin Patton, Street Commissioner Kip Headdy, and Planning Director Kevin Tolloty. Also in attendance was Katie Stein, engineer for the Flats on 46. Comments included are those that have been received by the Planning Office. Any additional comments from the Technical Review committee that are not listed above, shall still be taken into consideration. Plan Commission should approve the development plan after the above mentioned items have been addressed, but may also add conditions as they see fit.

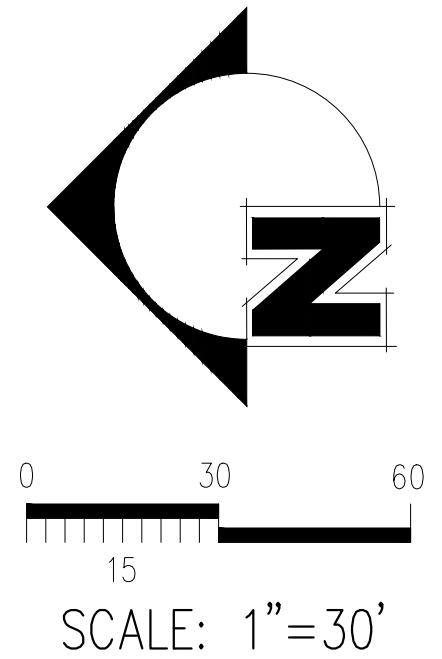
Any requested revisions may be submitted in electronic form, with paper copies only necessary after Plan Commission approval.

Submitted by Kevin Tolloty, AICP
 Director, Ellettsville Planning
 October 19, 2021



GENERAL NOTES

- BOUNDARY DATA OBTAINED FROM SURVEY DATED 09/15/20.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.



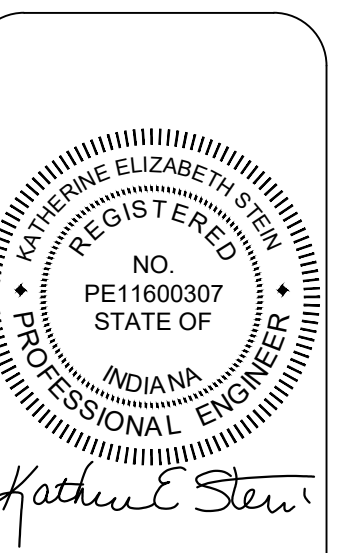
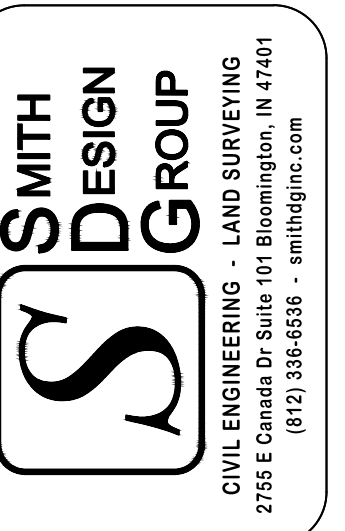
DEVELOPMENT DATA

SITE AREA = 6.36 ACRES
 DENSITY PERMITTED = 20 UNITS PER ACRE
 DENSITY PROPOSED = (48) STUDIO X 0.33 DUE = 15.84 UNITS
 = (72) 1-BEDROOM UNITS X 0.5 DUE = 36 UNITS
 = (48) 2-BEDROOM UNITS X 0.66 DUE = 31.68 UNITS
 TOTAL UNITS = 83.52 UNITS OR 13.13 UNITS/ACRE

PARKING
 = 1 SPACE/STUDIO X 48 STUDIOS = 48 SPACES
 = 1.5 SPACES/1-BEDROOM X (72) 1-BEDROOM = 108 SPACES
 = 2 SPACES/2-BEDROOM X (48) 2-BEDROOM = 96 SPACES
 = 2 SPACES/1,000 CFA (CLUBHOUSE) = 1,500 SF/1000 = 3 SPACES
 TOTAL PARKING REQUIRED = 255
 TOTAL PARKING PROVIDED = 310 SPACES

SITE LEGEND

- ADA PARKING SPACE
- BUILDING SETBACK LINE
- EASEMENT
- CURB RAMP (R)
- DUMPSTER ENCLOSURE



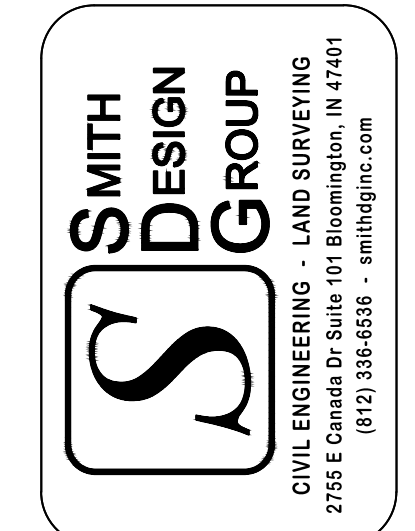
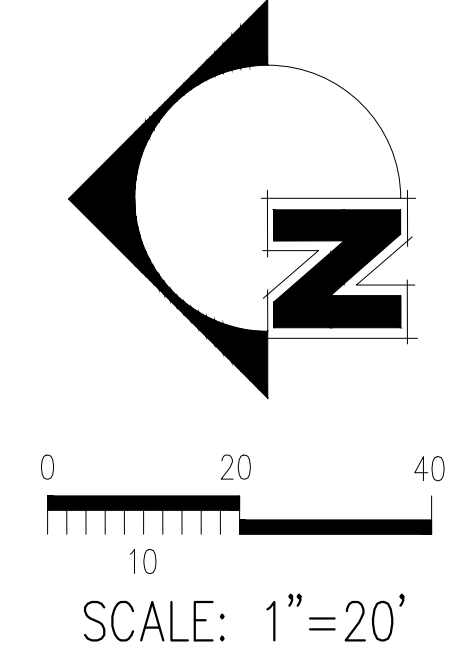
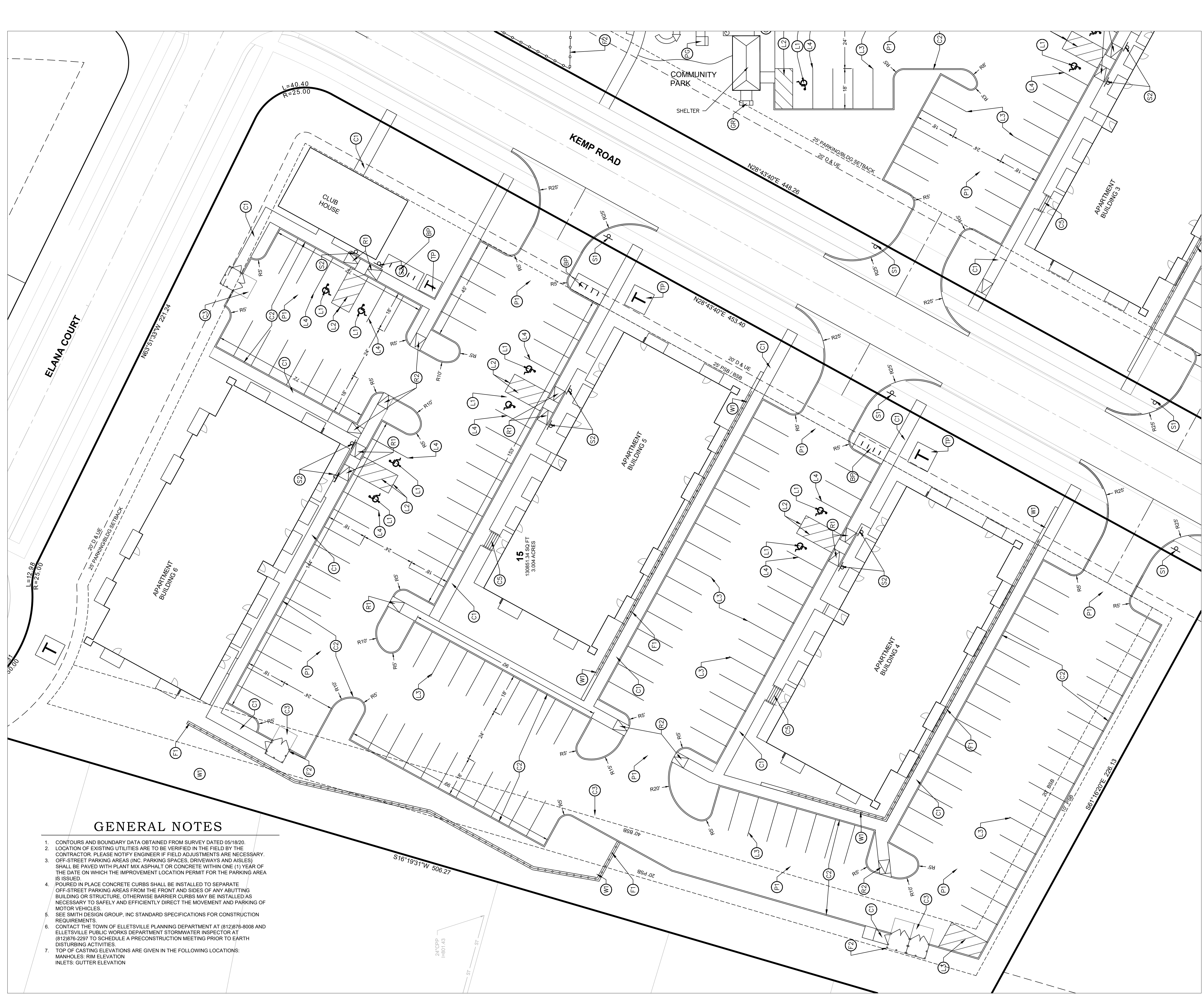
10/08/2021

FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE

REVISIONS	BY	DATE
ADDED ADA SPACES, DUMPSTER FENCE, REV. PAVEMENT SECT.	SPKS	10-25-21

DESIGNED	KES	DATE
DRAWN	SPP	
CHECKED		

JOB NUMBER	6213
SHEET	2 OF 20
DATE	10/08/2021
OVERALL SITE	



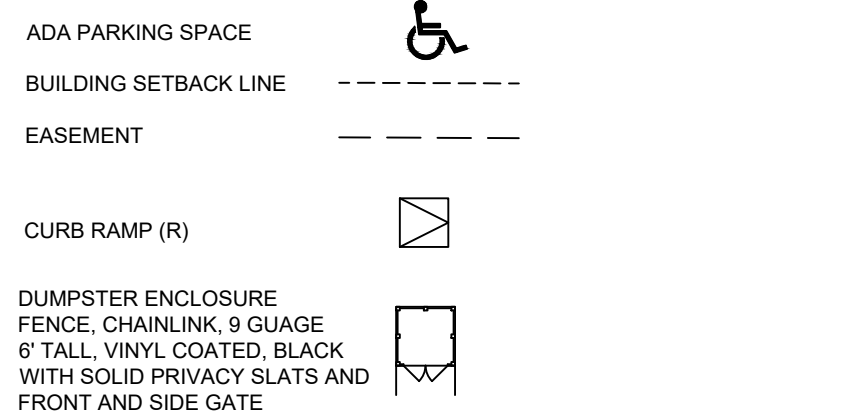
REGISTERED PROFESSIONAL ENGINEER
KATHERINE ELIZABETH STEWART
NO. PE11600307
STATE OF INDIANA
Katherine Stewart
10/08/2021

SITE MATERIALS

- (C1) CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)
4" 3500 PSI CONCRETE
4" COMPACTED AGGREGATE BASE #53
- (C2) 6" STANDING CONCRETE CURB (SEE DETAIL ON DETAILS SHEET)
- (C3) CONCRETE PAVEMENT
6" THICK CONCRETE, 4000 PSI
8" INDOT #53 COMPACTED AGGREGATE BASE
- (C5) CONCRETE STAIRS WITH HANDRAIL
- (R1) PARALLEL CURB RAMP (SEE DETAIL ON DETAILS SHEET)
- (R2) PERPENDICULAR CURB RAMP
- (P1) ASPHALT PAVEMENT
1.5" HMA SURFACE COURSE ON
3" HMA BASE COURSE ON
7" INDOT #53 COMPACTED AGGREGATE BASE
- (L1) SYMBOL, PAINT, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY (SEE DETAIL ON DETAILS SHEET)
- (L2) LINE, PAINT, SOLID, 6", BLUE, CROSSHATCH (SEE DETAIL ON DETAILS SHEET)
- (L3) LINE, PAINT, SOLID, 4", WHITE
- (L4) LINE, PAINT, SOLID, 4", BLUE
- (S1) R1-1 STOP SIGN
- (S2) BARRIER FREE VAN ACCESSIBLE SIGN
- (F1) 4' ELITE "EFF-20" GUARDRAILS OR EQUIVALENT INSTALLED PER MANUFACTURER GUIDELINES AND SPECIFICATIONS
- (F2) DUMPSTER ENCLOSURE FENCE, CHAINLINK, 9 GAUGE, 6' TALL, VINYL COATED WITH GATES AND PRIVACY SLATS, COLOR PER OWNER
- (TP) TRANSFORMER PAD
- (W1) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL
- (BP) BICYCLE PARKING
- (TR) TRASH RECEPTACLE, VICTOR STANLEY, ES-143, BLACK OR EQUAL
- (BN) 6" BENCH, DUMOR #58 SERIES, BLACK OR EQUAL
- (PT) PICNIC TABLE, DUMOR TABLE 448-44, STEEL, BLACK OR EQUAL
- (PG) PLAYGROUND, GLOBAL INDUSTRIAL, WGB1785776 OR PER OWNER, CLEAR ZONE 35' X 29', BARK MULCH SURROUNDING
- (GR) (2) GRILLS, DUMOR 21-00, STEEL, BLACK

FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE

SITE LEGEND



SETBACKS

BUILDING FRONT: 25' FROM ROW
REAR: 20' FROM PROPERTY LINE (RESIDENTIAL)
40' FROM PROPERTY LINE (COMMERCIAL, MULTIFAMILY)
SIDE: 20' FROM PROPERTY LINE (RESIDENTIAL)
40' FROM PROPERTY LINE (COMMERCIAL, MULTIFAMILY)

PARKING

= 1 SPACE/STUDIO x 48 STUDIOS = 48 SPACES
= 1.5 SPACES/1-BEDROOM x (72) 1-BEDROOM = 108 SPACES
= 2 SPACES/2-BEDROOM x (48) 2-BEDROOM = 96 SPACES
= 2 SPACES/1000 GFA (CLUBHOUSE) = 1,000 SF/1000 = 3 SPACES
TOTAL PARKING REQUIRED = 255
TOTAL PARKING PROVIDED = 315 SPACES

REVISIONS	DATE
ADDED ADA SPACES, DUMPSTER FENCE, REV. PAVEMENT SECT.	10-25-21

DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		

JOB NUMBER
6213
SHEET
3 OF 20
DATE
10/08/2021
SITE (WEST)

GENERAL NOTES

1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 05/18/20.
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3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

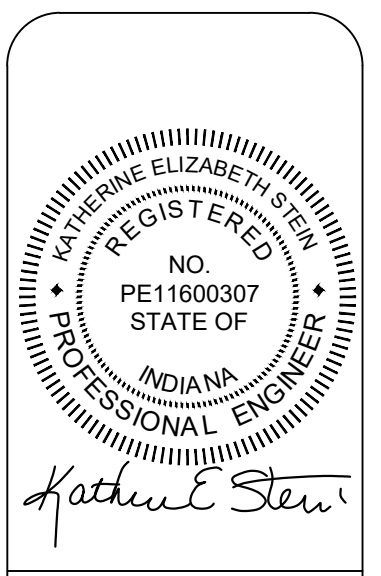
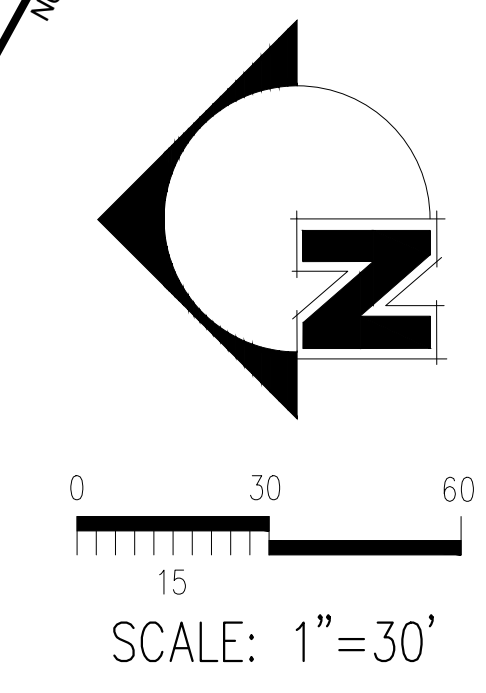


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SITE LEGEND

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- BUILDING SETBACK LINE
- EASEMENT
- CURB RAMP (R)
- DUMPSTER ENCLOSURE FENCE: CHAINLINK, 9 GAUGE, 6' TALL, VINYL COATED, BLACK WITH SOLID PRIVACY SLATS AND FRONT AND SIDE GATE



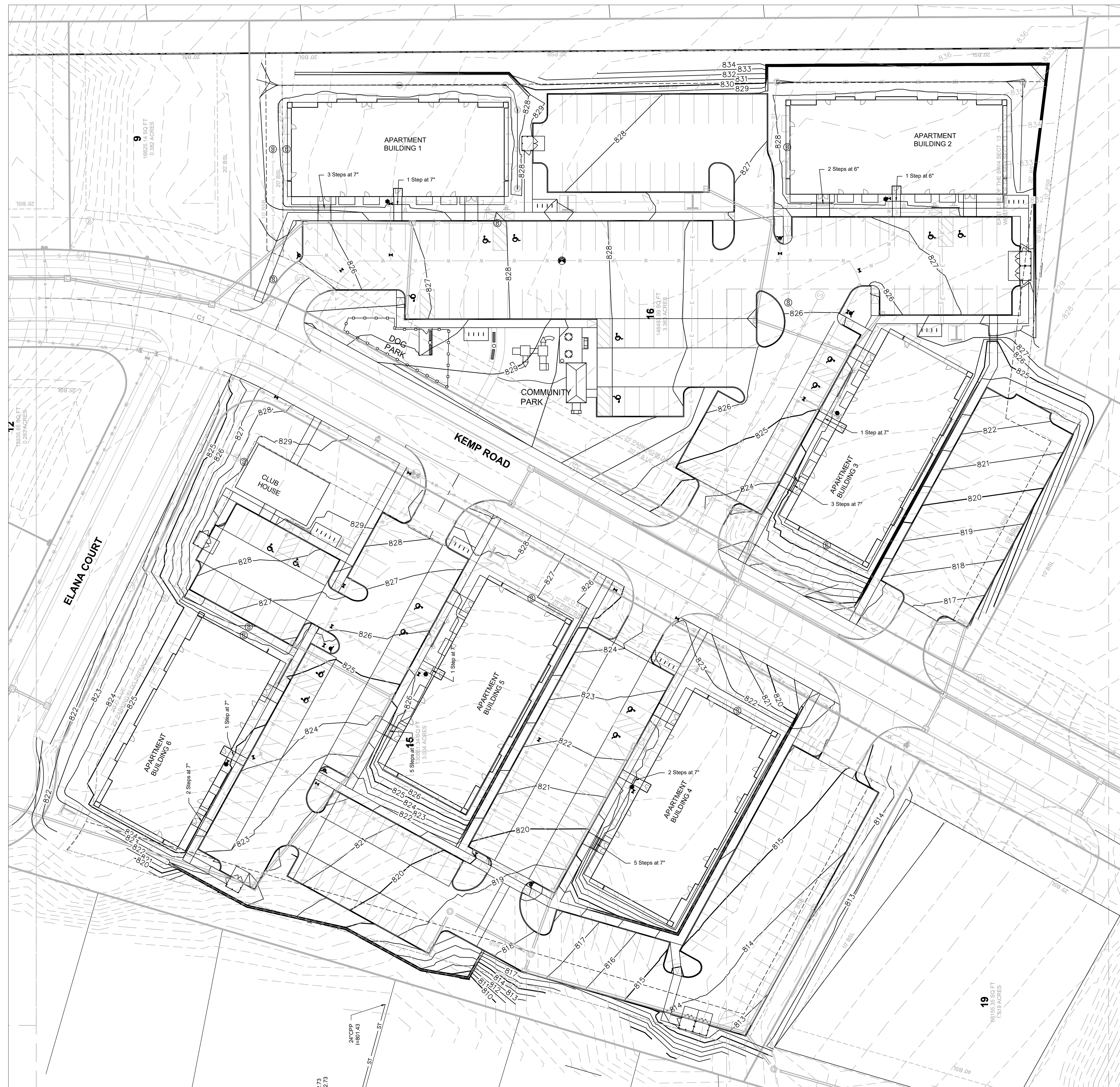
10/08/2021

FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE

REVISIONS	DATE
ADDED ADA SPACES, DUMPSTER FENCE, REV. PAVEMENT SECT.	10-25-21

DESIGNED	KES
DRAWN	SPP
CHECKED	
DATE	

JOB NUMBER
6213
 SHEET
4 OF 20
 DATE
 10/08/2021
 SITE (EAST)

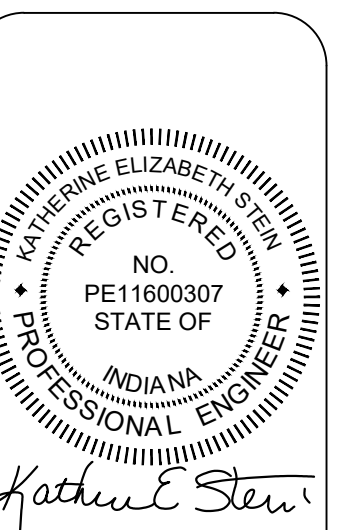
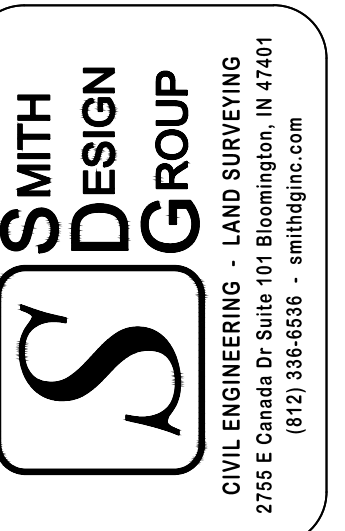


GRADING LEGEND

EXISTING MINOR CONTOUR	---	XXX
EXISTING MAJOR CONTOUR	---	XXX
PROPOSED MAJOR CONTOUR	---	XXX
PROPOSED MINOR CONTOUR	---	XXX
EXISTING ELEVATION	---	EX XXX.XX
PROPOSED ELEVATION	---	XXX.XX
EDGE OF PAVEMENT ELEVATION	---	EP = XXX.XX
TOP OF CURB ELEVATION	---	TC = XXX.XX
HIGH POINT	---	XXX.XX HP
LOW POINT	---	XXX.XX LP
FINISH FLOOR ELEVATION	---	FF = XXX.XX
TOP OF RETAINING WALL	---	TW=XXX.XX
BOTTOM OF RETAINING WALL	---	BW=XXX.XX
TOP OF RAMP	---	TR=XXX.XX
BOTTOM OF RAMP	---	BR=XXX.XX

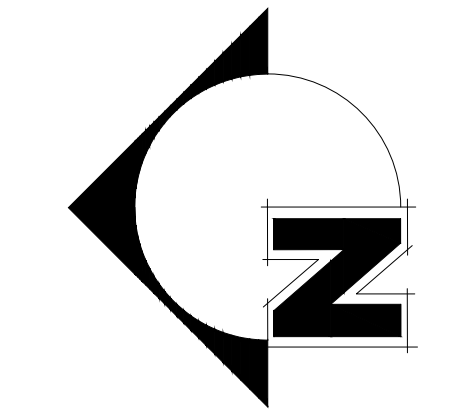
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INLETS: GUTTER ELEVATION



10/08/2021

FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE



0 15 30 60
SCALE: 1"=30'

LEGEND

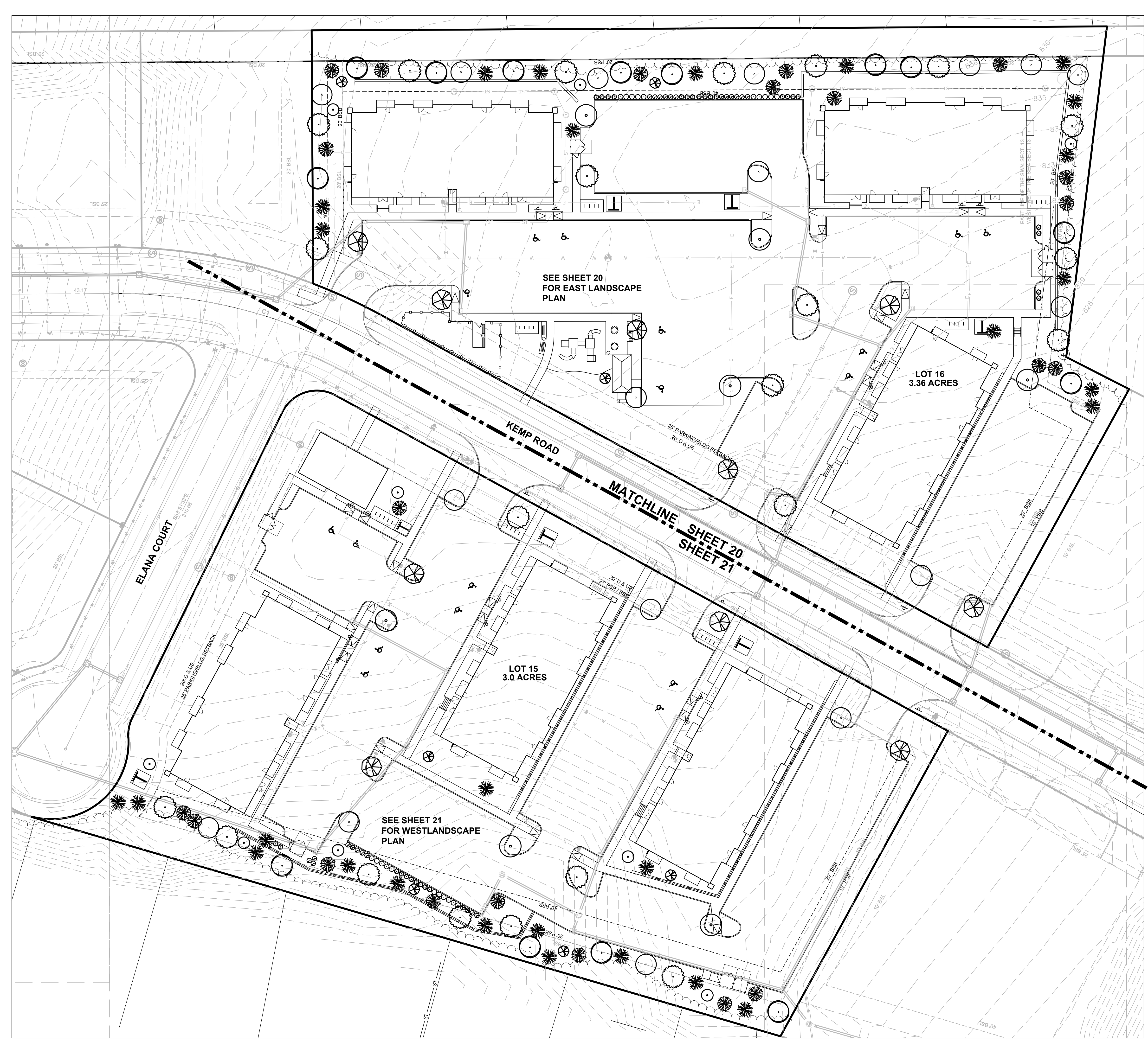
⊕	SANITARY SEWER MANHOLE
— S —	SANITARY SEWER LINE
— L —	SANITARY LATERAL
⊕	SANITARY CLEANOUT
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER AIR RELEASE VALVE
⊕	WATER METER
— W —	WATER LINE
⊕	STORM INLET
⊕	STORM MANHOLE
⊕	STORM YARD INLET

REVISIONS	BY	DATE

DESIGNED	KES
DRAWN	SPP
CHECKED	
DATE	

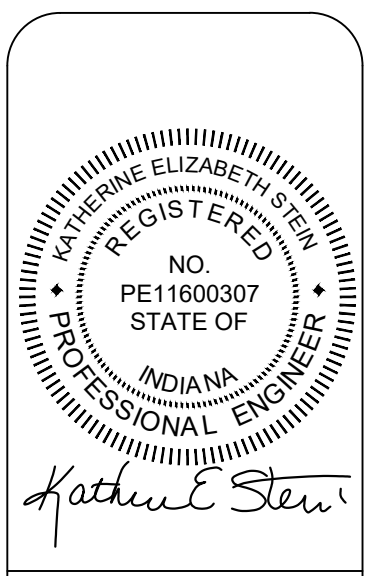
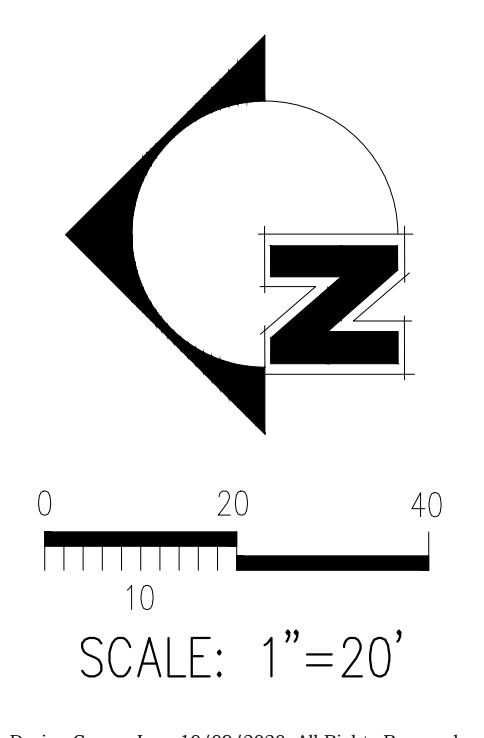
JOB NUMBER
6213
 SHEET
5 OF 20
 DATE
 10/08/2021

GRADING OVERALL



LEGEND

⊙	SANITARY SEWER MANHOLE
—S—	SANITARY SEWER LINE
—L—	SANITARY LATERAL
⊙	SANITARY CLEANOUT
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER AIR RELEASE VALVE
⊕	WATER METER
—W—	WATER LINE
⊕	STORM INLET
⊕	STORM MANHOLE
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10/08/2021

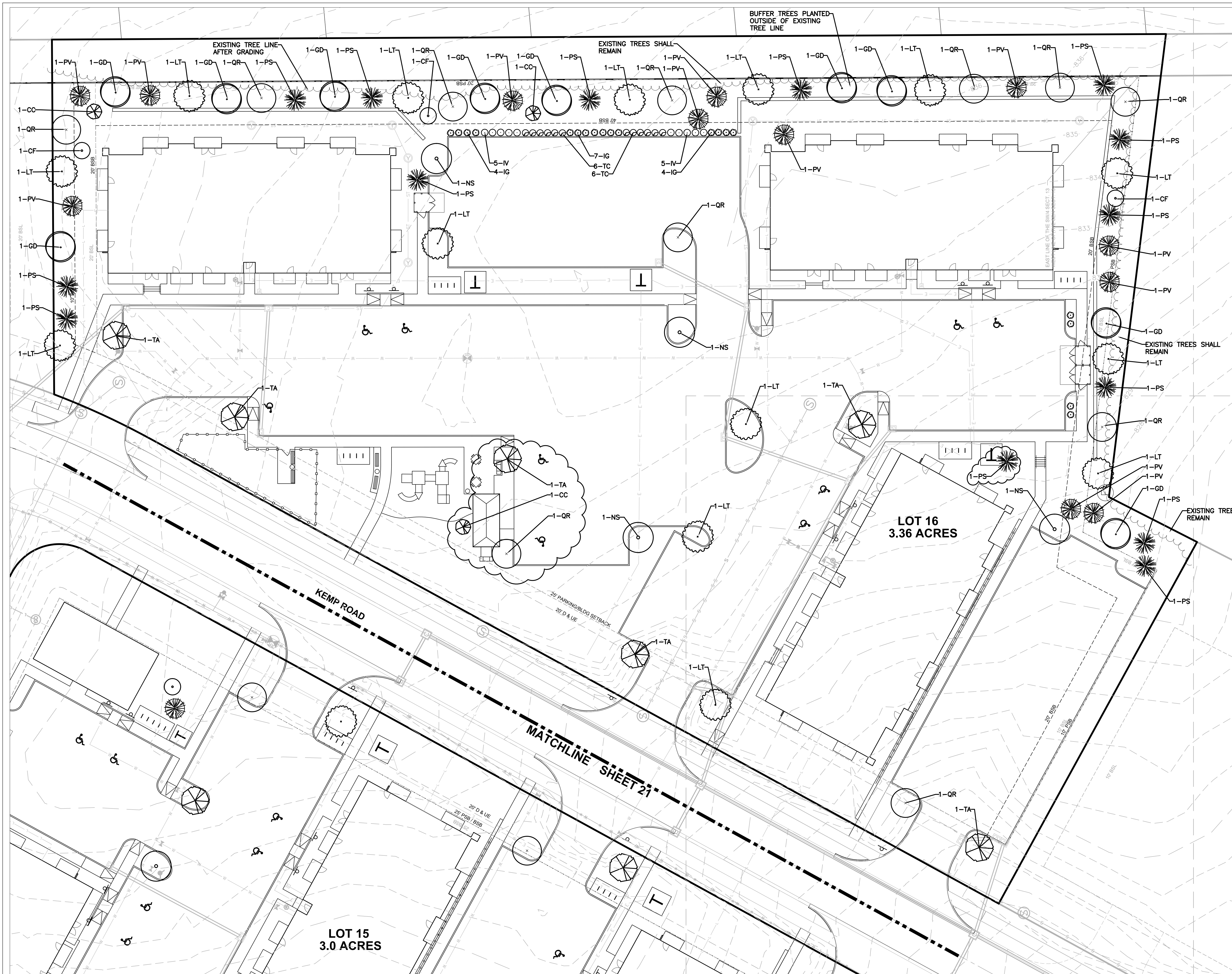
FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE

REV. LANDSCAPE	REVISIONS	BY	DATE
		DK	10-25-21

DESIGNED	KES	DATE	
DRAWN	SPP		
CHECKED			

JOB NUMBER
6213
 SHEET
17 OF 20
 DATE
 10/08/2021

OVERALL LANDSCAPE



SMITH DESIGN GROUP
 CIVIL ENGINEERING LAND SURVEYING
 2755 E. COLLETT AVENUE - INDIANAPOLIS, IN 46216
 PH: 317-328-8838 - SMISDGROUP.COM

KATHARINE ELIZABETH STEIN
 REGISTERED PROFESSIONAL ENGINEER
 NO. PE11600307
 STATE OF INDIANA
Katharine Stein

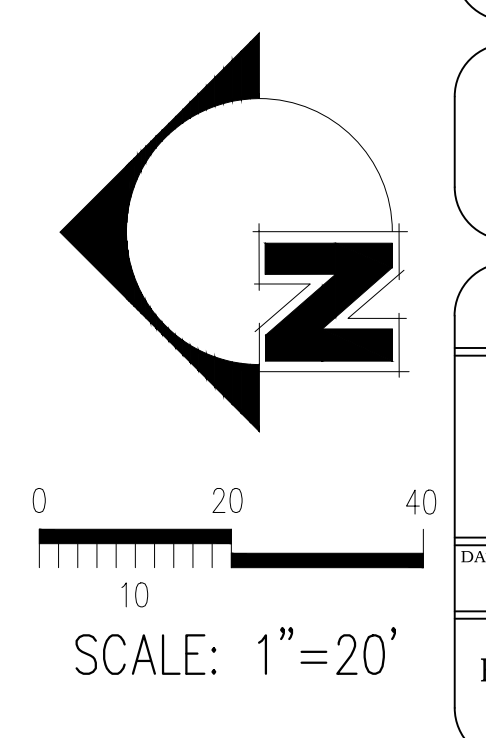
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FLATS ON 46
 3888 W. STATE ROAD 46
 BLOOMINGTON, IN 47404
 TOWN OF ELLETTSVILLE

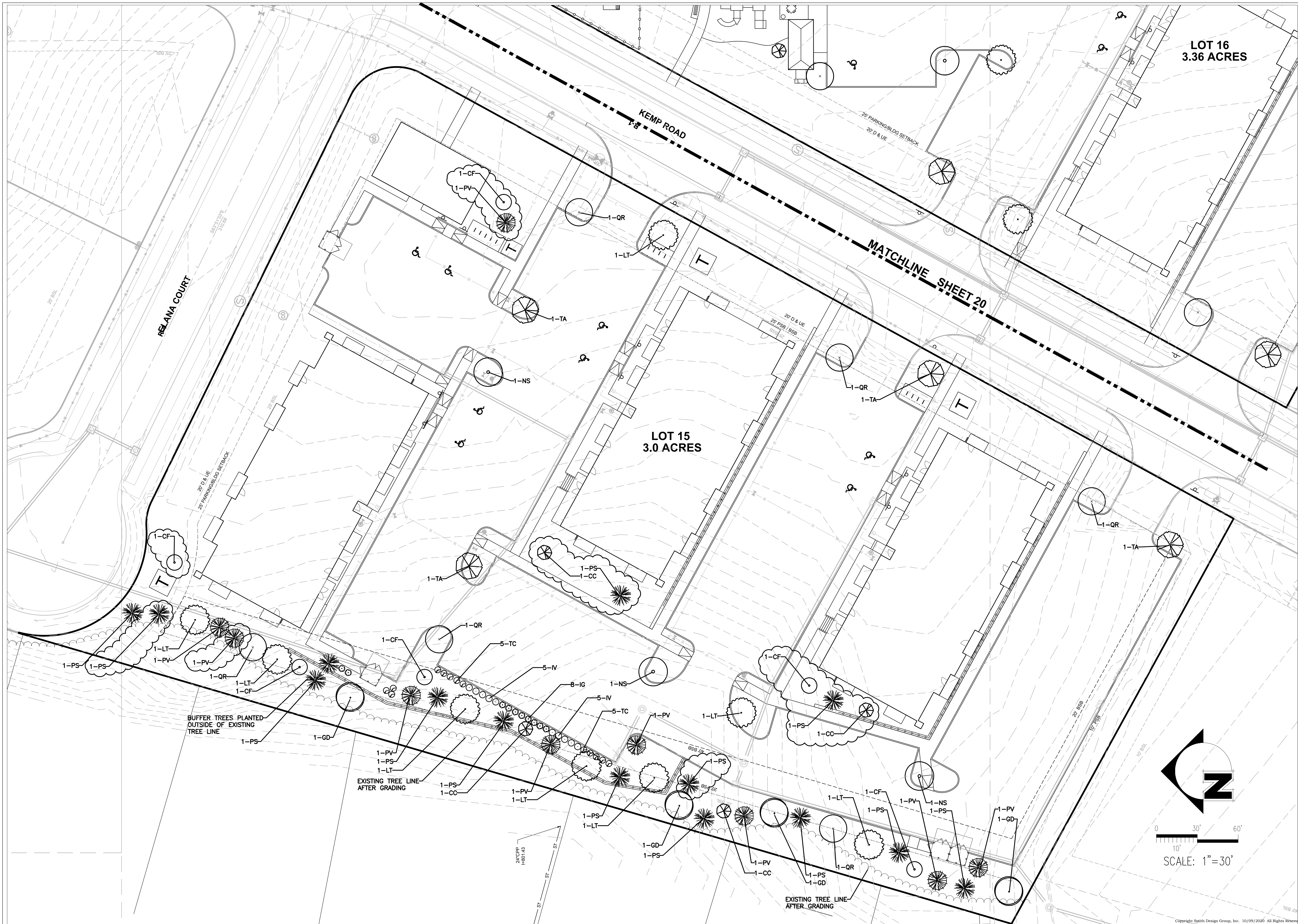
REV. LANDSCAPE	BY	DATE
	DK	10-25-21

DESIGNED	K/S
DRAWN	SPP
CHECKED	
DATE	

JOB NUMBER: **6213**
 SHEET: **18** OF **20**
 DATE: **10/08/2021**
 EAST LANDSCAPE PLAN



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SMITH DESIGN GROUP
 CIVIL ENGINEERING LAND SURVEYING
 2755 E. 825 S. SUITE 400 - SALT LAKE CITY, UT 84141
 (801) 338-8838 - saltlake@smithdesigngroup.com

KATHERINE ELIZABETH STEWART
 REGISTERED PROFESSIONAL ENGINEER
 NO. PE11600307
 STATE OF ILLINOIS
Katherine Stewart

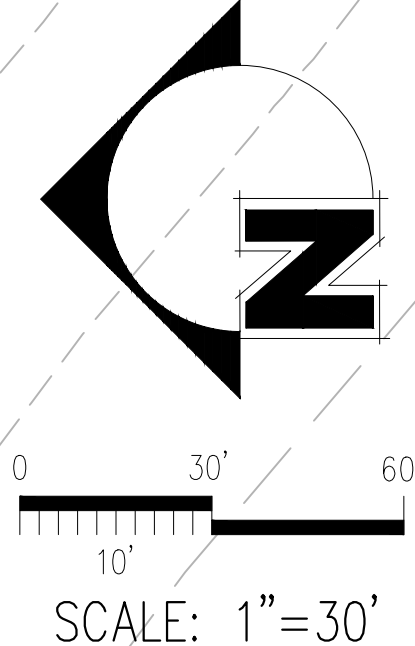
10/08/2021

FLATS ON 46
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 BLOOMINGTON, IN 47404
 TOWN OF ELLETTSVILLE

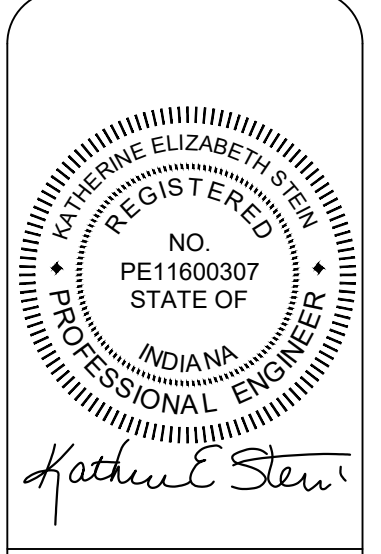
REV. LANDSCAPE	DATE
	10-25-21

DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		

JOB NUMBER
6213
 SHEET
19 OF 20
 DATE
 10/08/2021
 WEST LANDSCAPE PLAN



PLANT TABLE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	D-VALUE
TREES					
CC	7	CERCUS canadensis	Eastern Redbud	2" Caliper	
CF	8	CORNUS florida	Flowering Dogwood	2" Caliper	
GD	14	GYMNOCLADUS dioica	Kentucky Coffee Tree	2" Caliper	
LT	23	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	
PS	28	PINUS strobus	White Pine	6' Hgt.	
PV	21	PINUS virginiana	Virginia Pine	6' Hgt.	
NS	7	NYSSA sylvatica	Black Tupelo	2" Caliper	
QR	17	QUERCUS rubra	Northern Red Oak	2" Caliper	
TA	11	TILIA americana	Basswood	2" Caliper	
SHRUBS					
IG	29	ILEX glabra	Inkberry	3 Gallon	
IV	20	ITEA virginica	Virginia Sweetspire	3 Gallon	
TC	25	TAXUS Canadensis	Canadian Yew	3 Gallon	



10/08/2021

FLATS ON 46
3888 W. STATE ROAD 46
BLOOMINGTON, IN 47404
TOWN OF ELLETTSVILLE

Flats on SR 46 Ellettsville
Zone PUD

Landscape Requirements Lot 16 Multi Family 3.36 Acres

Street Trees Required

Street trees are part of Ellis Ridge Subdivision project

Interior plantings for Multifamily Development lot 16

Lot Area 3.36 acres. Buildings, parking lots, walks, and buffer = 2.26 AC.

Area not covered = 1.1 AC

Area not covered by structure, parking lot or buffer shall have 14 large canopy trees, 5 evergreen trees and 5 med or small canopy trees required.

17 large canopy trees required, 6 evergreen trees required, and 6 med or small trees required.

36 shrubs required per acre of site not covered by parking lot, walks, or structure or buffer.

40 Shrubs required

Buffer Zone Lot 16

Existing Tree lines shall be preserved

Buffer shall be 6' high and 10 feet wide between multifamily area and single-family lots/ Buffer shall be a mix of evergreen and deciduous trees at 20' on center

Buffered Yard 944' = 48 trees required

Landscape Requirements Lot 15 Multi Family 3.0 Acres

Street Trees Required

Street trees are part of Ellis Ridge Subdivision project

Interior plantings for Multifamily Development

Lot Area 3.0 acres. Buildings, parking lots, walks, and buffer = 2.1 AC

Area not covered = .9 AC

Area not covered by structure, parking lot, walk, or buffer shall have 14 large canopy trees, 5 evergreen trees and 5 med or small canopy per every acre.

13 large canopy trees required, 5 evergreen trees required, and 5 med or small trees required.

36 shrubs required per acre of site not covered by parking lot or structure.

33 Shrubs required

Buffer Zone Lot 15

Existing Tree lines shall be preserved

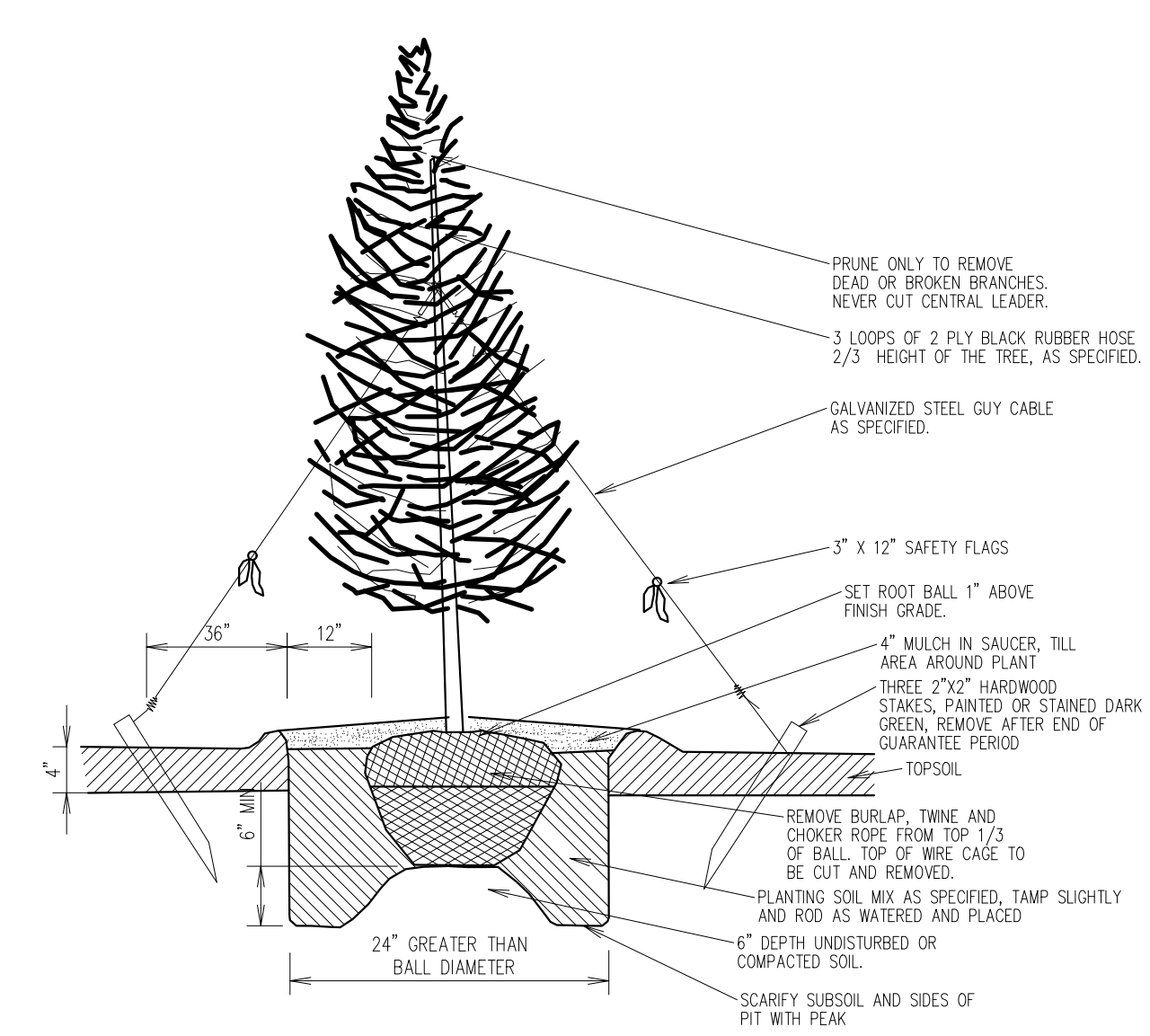
Buffer shall be 6' high and 10 feet wide between multifamily area and single-family lots/ Buffer shall be a mix of evergreen and deciduous trees at 20' on center.

Buffered Yard 1 = 506' = 25 trees required

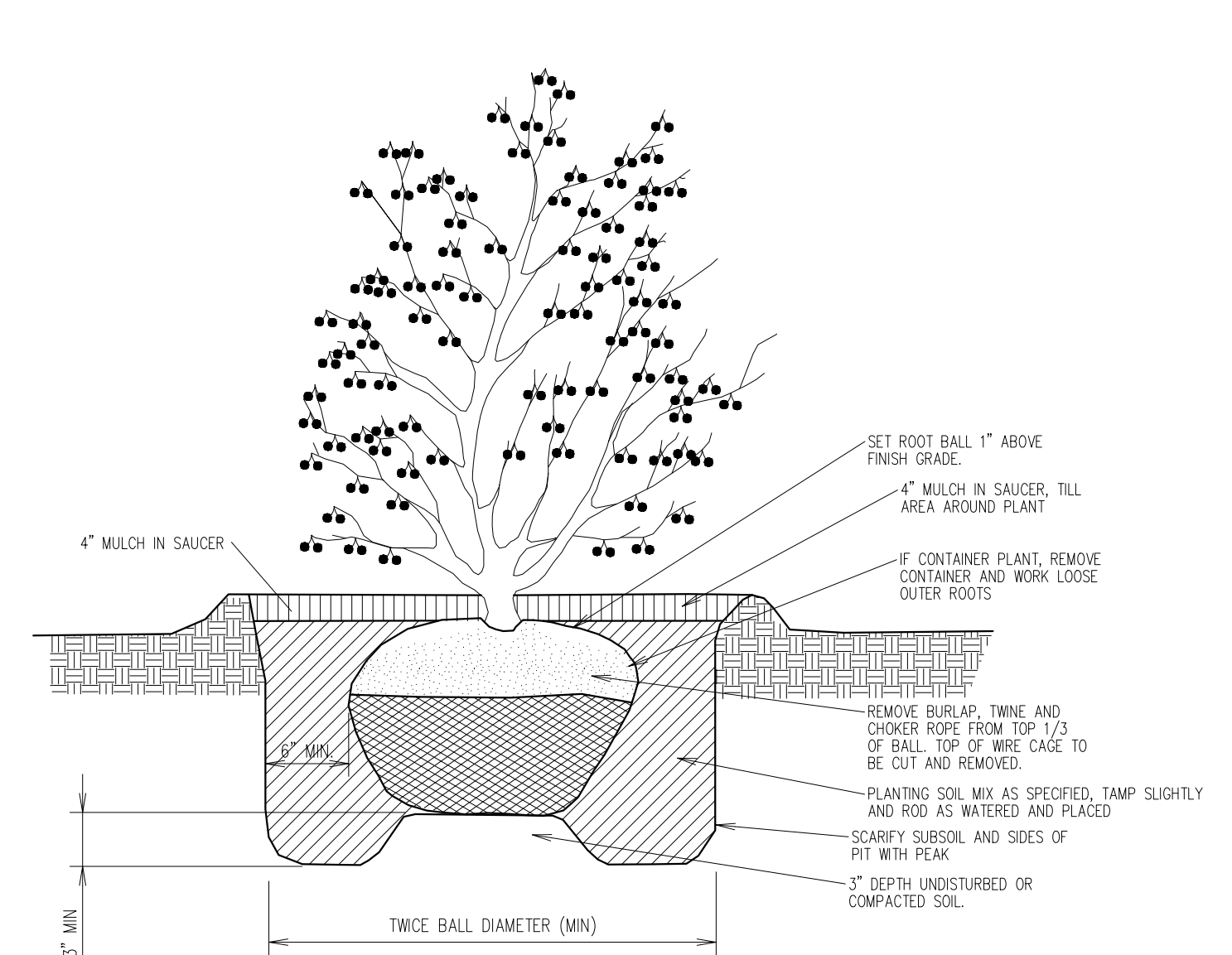
REVISIONS	BY	DATE
REV. LANDSCAPE	DK	10-25-21

DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		

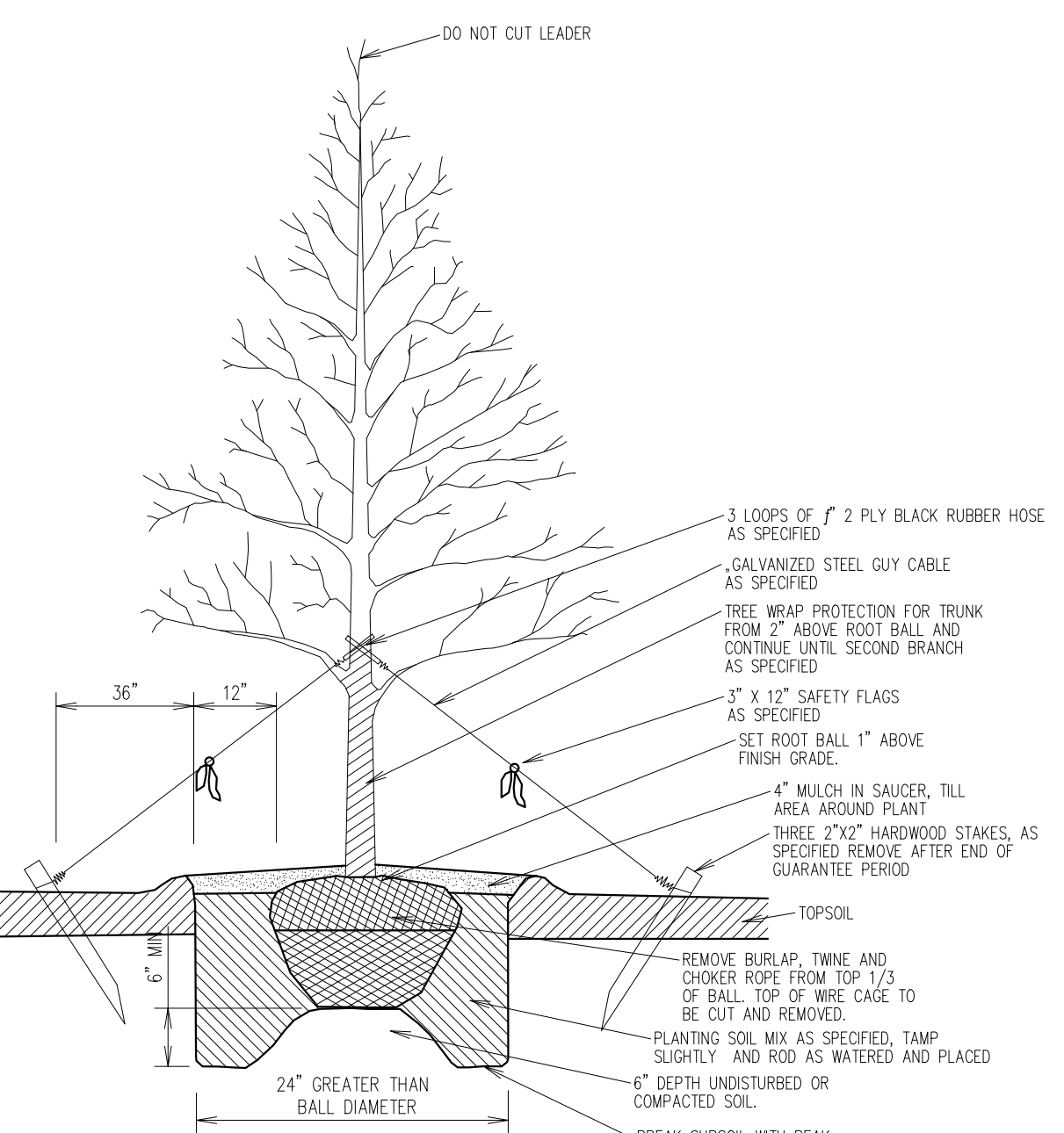
JOB NUMBER
6213
SHEET
20 OF 20
DATE
10/08/2021
LANDSCAPE NOTES AND DETAILS



EVERGREEN PLANTING & GUYING DETAIL
 NO SCALE



SHRUB PLANTING DETAIL
 NO SCALE



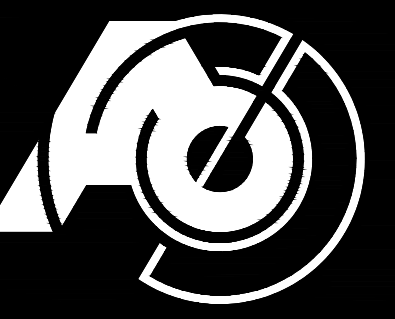
TREE PLANTING & GUYING DETAIL
 NO SCALE

LANDSCAPE NOTES

- 1) PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY PLANNING PRIOR TO INSTALLATION.
- 2) ALL LANDSCAPED BEDS AND ISLANDS SHALL RECEIVE A MINIMUM OF 18" OF PLANTING MIX, 4" OF SHREDDED HARDWOOD BARK MULCH. BEDS SHALL HAVE A SPADE CUT EDGE.
- 3) THE PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING EXISTING AND NEW LANDSCAPING AS SHOWN ON THE APPROVED PLAN.

FINISH LAWN TYPE

FINISHED SEED MIXTURE shall be 50 lb/ac of Perennial Ryegrass, 50 lb/ac of Certified Common Kentucky Bluegrass, and 50 lb/ac Merit Kentucky Bluegrass or approved equivalent. Contractor shall seed at a rate of 150 lbs/acre.



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FLATS ON 46
NEW APARTMENT COMPLEX
3888 W. State Road 46,
Bloomington, Indiana 47404

PROJECT:

REV. DATE REV. BY DESCRIPTION

DRAWN BY: ELA CHKD BY: AAS

PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

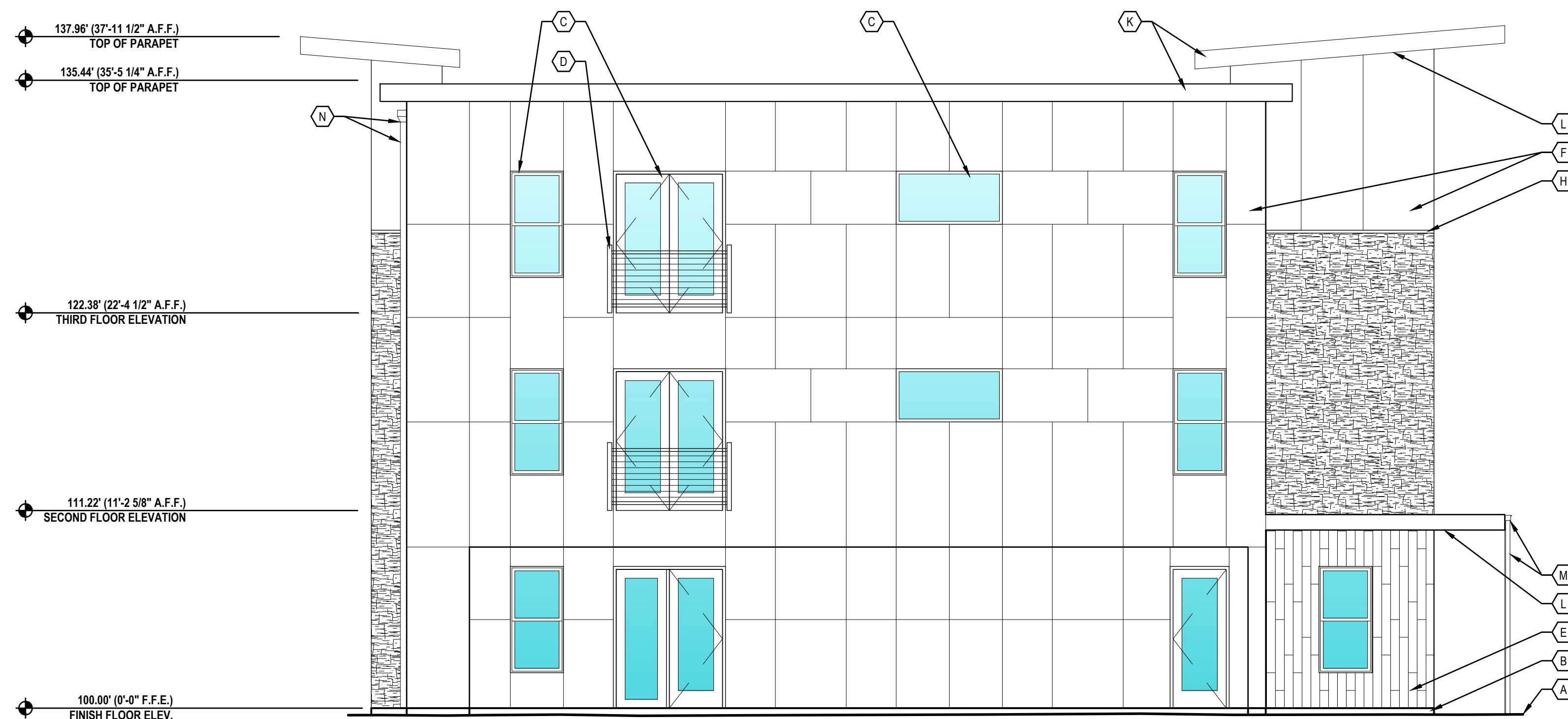
SHEET NAME:
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A401



FRONT ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

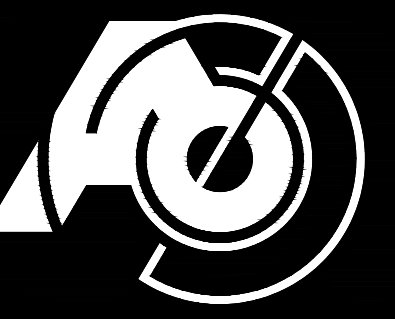


SIDE ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

KEYNOTE LEGEND

- (A) APPROXIMATE GRADE
VARIES BY BUILDING LOCATION, SEE SITE PLAN
- (B) CONCRETE FOUNDATION WALL, WALL OR PATIO
- (C) WINDOW/DOOR, SEE SCHEDULES
- (D) JULIET BALCONY, SEE DETAIL
- (E) WOOD RAIN SCREEN, 1x6 RECLAIMED WOOD
PLANKS WITH 1/4" REVEAL
- (F) FIBER CEMENT PANELS
BASIS OF DESIGN:
ALLURA PANELS WITH EXPOSED FASTENERS
- (G) CAST STONE VENEER
BASIS OF DESIGN:
VERSETTA STONE, STYLE TBD
- (H) VERSETTA STONE WAINSCOT CAP
- (J) 6" COMPOSITE TRIM
- (K) COMPOSITE FASCIA TRIM WITH METAL DRIP EDGE
- (L) COMPOSITE SOFFIT
- (M) GUTTER AND DOWNSPOUT
- (N) SCUPPER AND DOWNSPOUT
- (P) WALL SCONCE, SEE ELECTRICAL



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DRAWN BY: ELA CHKD BY: AAS

PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

SHEET NAME:
EXTERIOR
ELEVATIONS

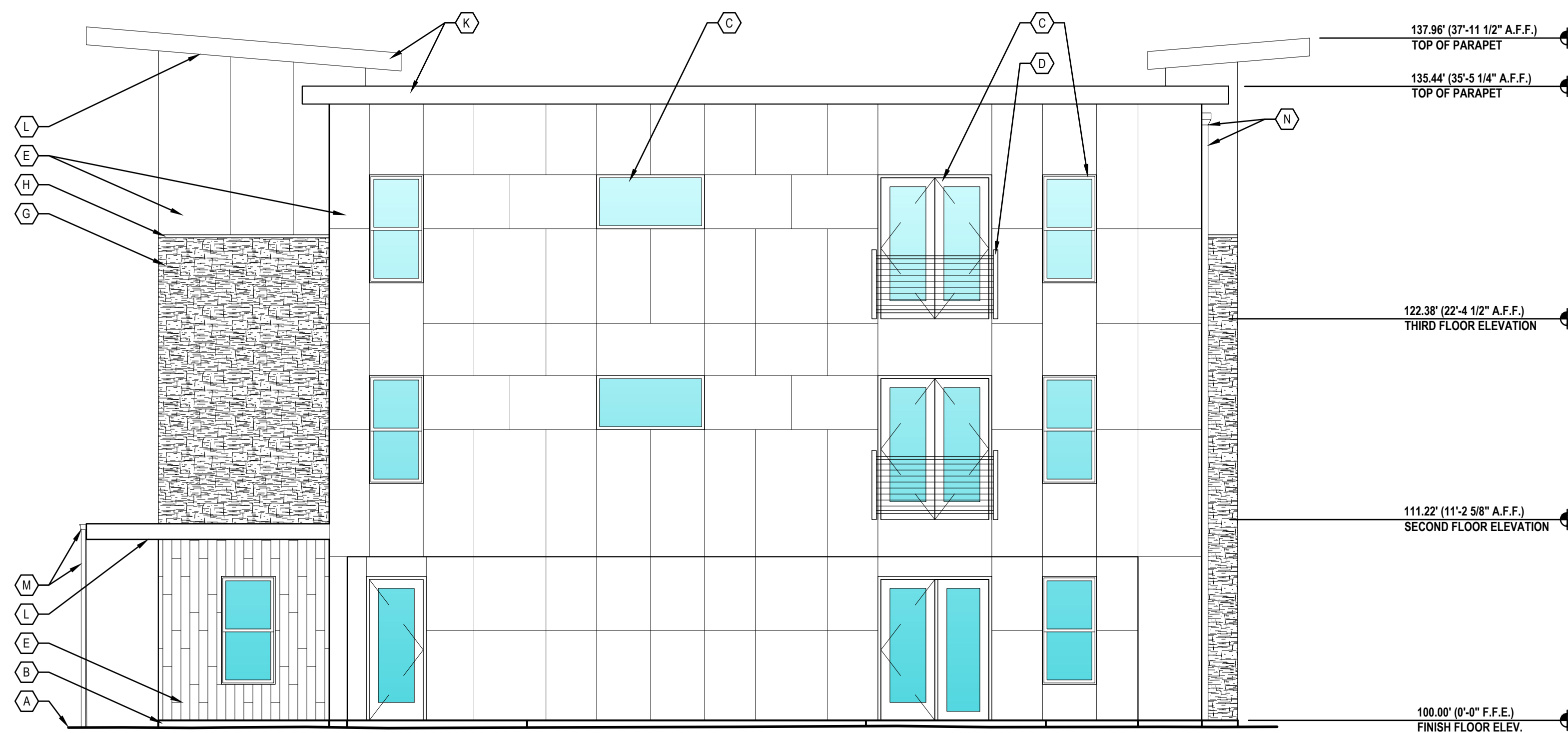
SHEET NUMBER:

A402



BACK ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

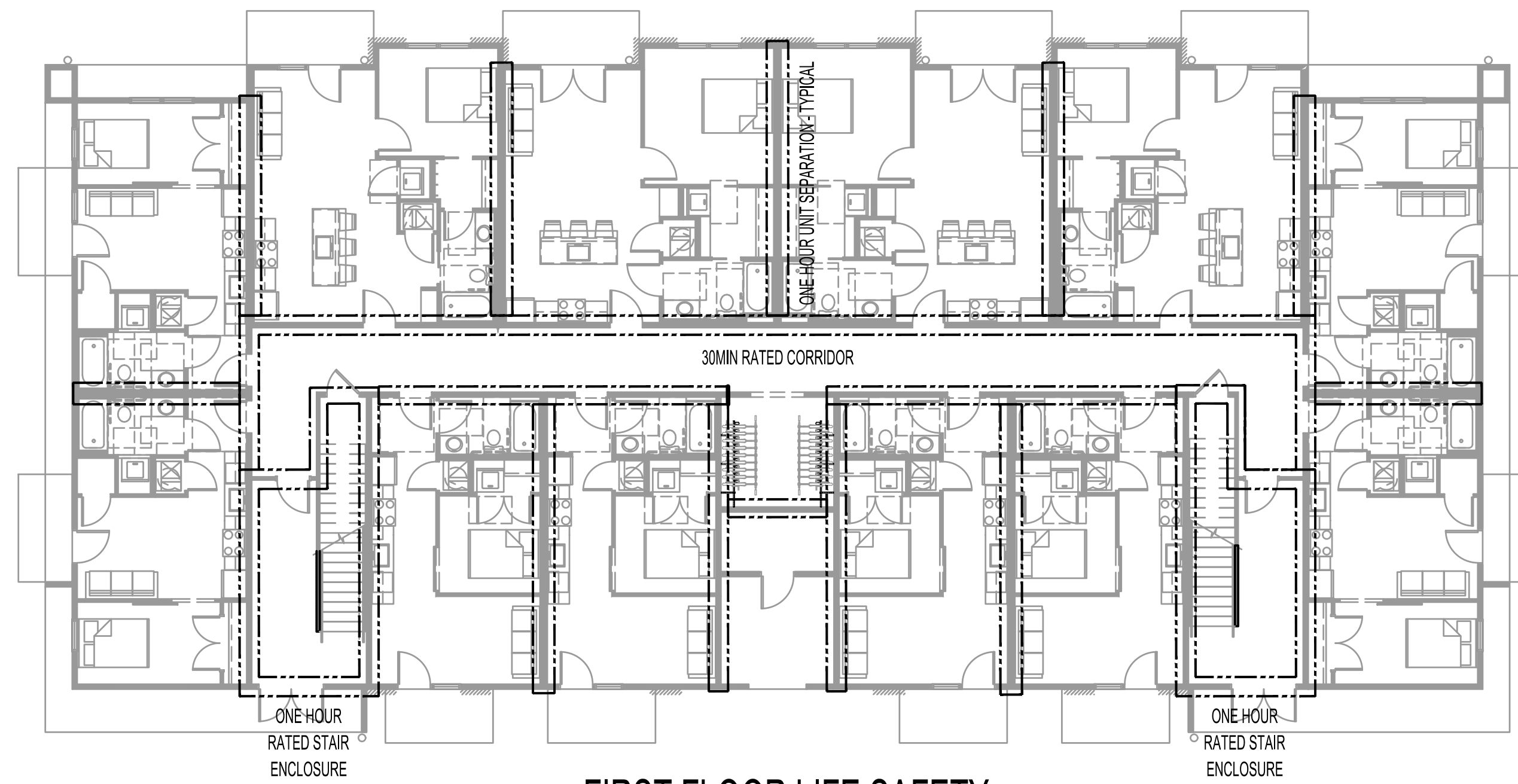


SIDE ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)

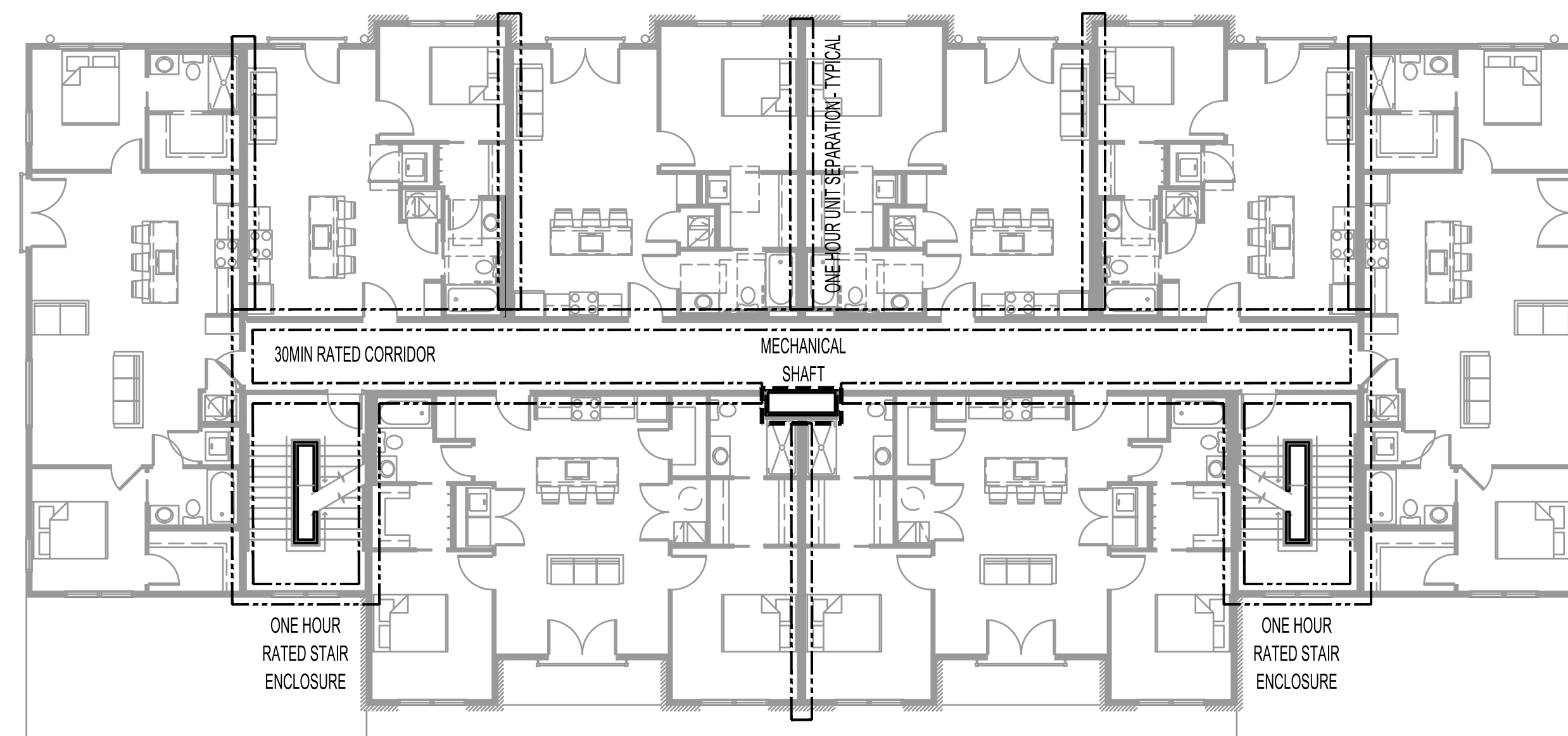
KEYNOTE LEGEND

- (A) APPROXIMATE GRADE
VARIES BY BUILDING LOCATION, SEE SITE PLAN
- (B) CONCRETE FOUNDATION WALL, WALL OR PATIO
- (C) WINDOW/DOOR, SEE SCHEDULES
- (D) JULIET BALCONY, SEE DETAIL
- (E) WOOD RAIN SCREEN, 1x6 RECLAIMED WOOD
PLANKS WITH 1/4" REVEAL
- (F) FIBER CEMENT PANELS
BASIS OF DESIGN:
ALLURA PANELS WITH EXPOSED FASTENERS
- (G) CAST STONE VENEER
BASIS OF DESIGN:
VERSETTA STONE, STYLE TBD
- (H) VERSETTA STONE WAINSCOT CAP
- (J) 6" COMPOSITE TRIM
- (K) COMPOSITE FASCIA TRIM WITH METAL DRIP EDGE
- (L) COMPOSITE SOFFIT
- (M) GUTTER AND DOWNSPOUT
- (N) SCUPPER AND DOWNSPOUT
- (P) WALL SCONCE, SEE ELECTRICAL



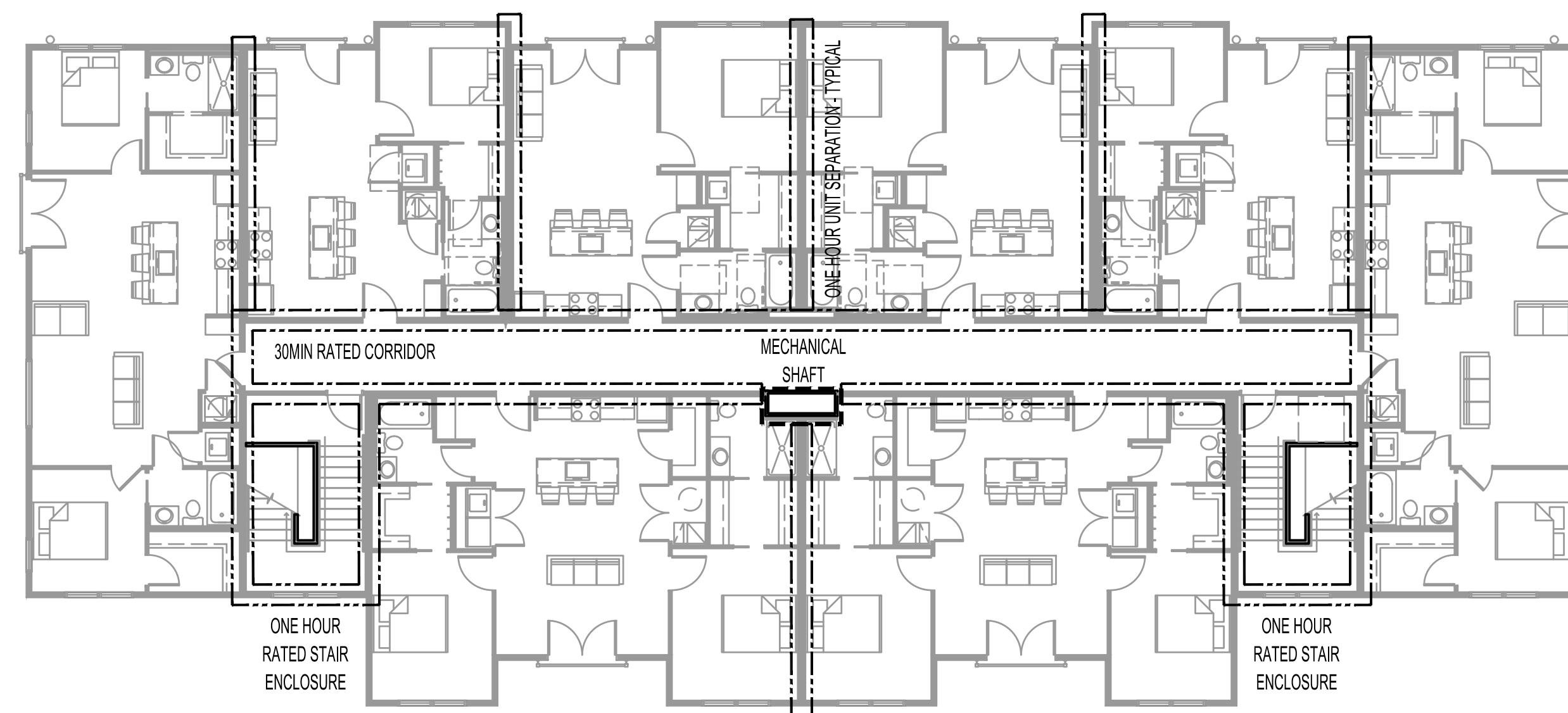
FIRST FLOOR LIFE SAFETY

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



SECOND FLOOR LIFE SAFETY

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



THIRD FLOOR LIFE SAFETY

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

ITEM	SUMMARY
BUILDING HEIGHT	+/- 38'
NUMBER OF STORIES	3
APARTMENT	
FIRST FLOOR	TOTAL FLOOR AREA: 7,695 SQFT
TYPE "B-1" UNITS	555 SQFT x 2 UNITS = 1,110 SQFT
TYPE "B-2" UNITS	610 SQFT x 2 UNITS = 1,220 SQFT
TYPE "S-1" UNITS	400 SQFT x 4 UNITS = 1,600 SQFT
TYPE "S-2" UNITS	420 SQFT x 4 UNITS = 1,680 SQFT
COMMON AREAS	2,025 SQFT
SECOND FLOOR & THIRD FLOOR	TOTAL FLOOR AREA: 7,300 SQFT
TYPE "A-1" UNITS	870 SQFT x 2 UNITS = 1,740 SQFT
TYPE "A-2" UNITS	935 SQFT x 2 UNITS = 1,870 SQFT
TYPE "B-1" UNITS	555 SQFT x 2 UNITS = 1,110 SQFT
TYPE "B-2" UNITS	610 SQFT x 2 UNITS = 1,220 SQFT
COMMON AREAS	1,360 SQFT
DWELLING UNITS PER BUILDING	<ul style="list-style-type: none"> • 8 - TWO BEDROOM APARTMENTS (16 BEDS) TYPE "A" • 12 - ONE BEDROOM APARTMENTS TYPE "B" • 8 - STUDIO APARTMENTS TYPE "S"
TOTAL UNITS	28 APARTMENTS (36 BEDS)
TOTAL BUILDING AREA	
FIRST FLOOR	7,695 SQFT
SECOND FLOOR	7,300 SQFT
THIRD FLOOR	7,300 SQFT
TOTAL SQUARE FOOTAGE	22,295 SQFT
CODE SUMMARY	
APARTMENT	OCCUPANCY TYPE: R-2 CONSTRUCTION TYPE: V-B 13R SPRINKLER SYSTEM



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FLATS ON 46
NEW APARTMENT COMPLEX
3888 W. State Road 46,
Bloomington, Indiana 47404

PROJECT: _____

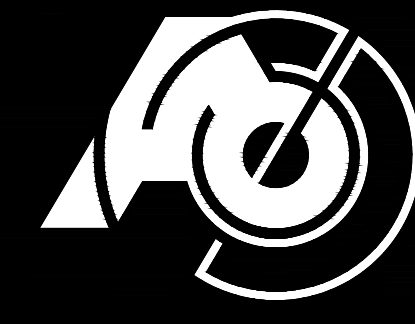
REV.	DATE	REV. BY	DESCRIPTION

DRAWN BY: ELA CHKD BY: AAS
PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

SHEET NAME:
**LIFE SAFETY
PLAN**

SHEET NUMBER:
LS101



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FLATS ON 46
NEW APARTMENT COMPLEX
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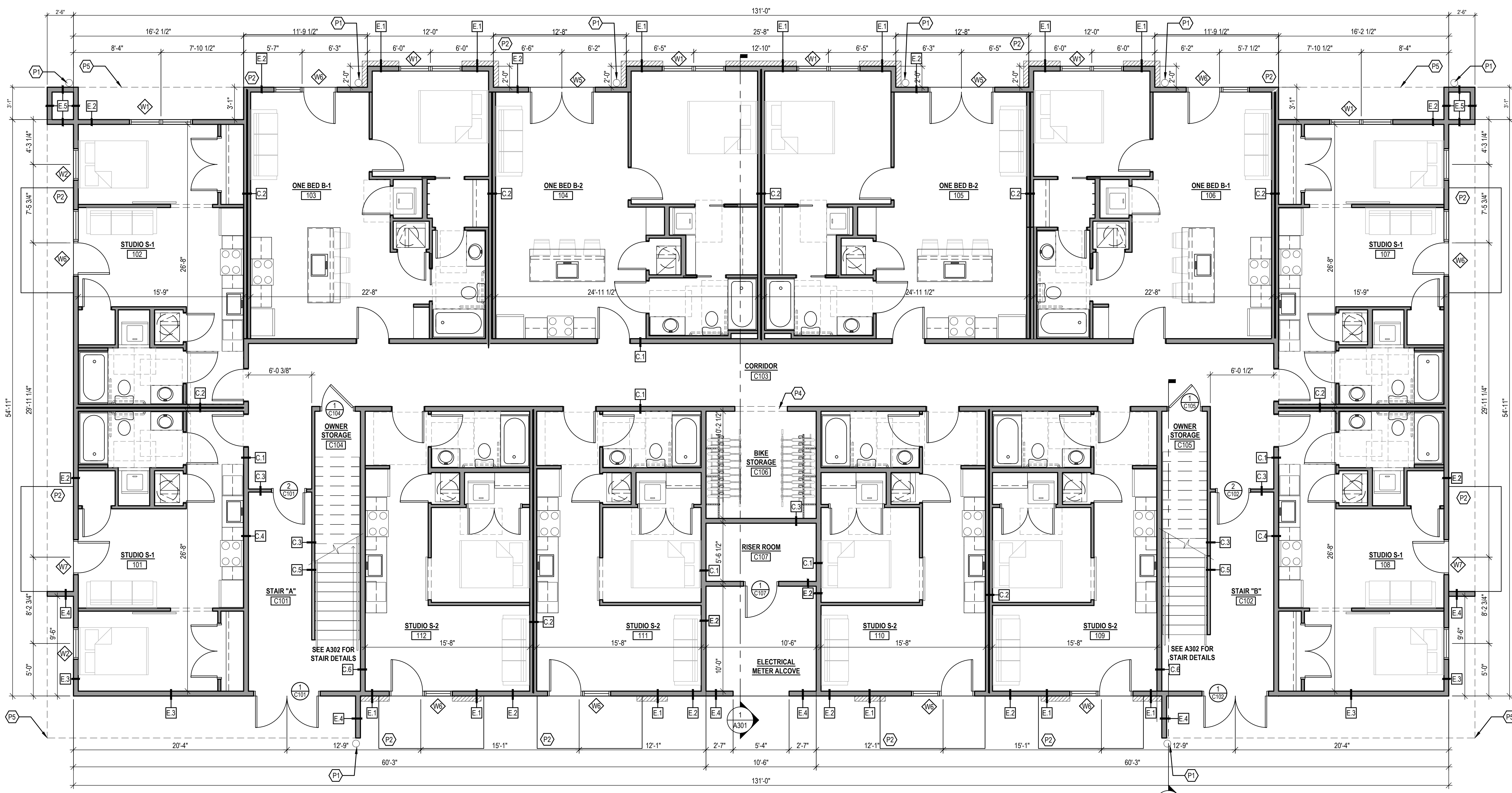
REV.	DATE	REV. BY	DESCRIPTION

DRAWN BY: ELA CHKD BY: AAS
PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

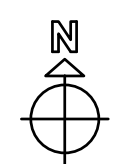
SHEET NAME:
FIRST FLOOR PLAN

SHEET NUMBER:
A101



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



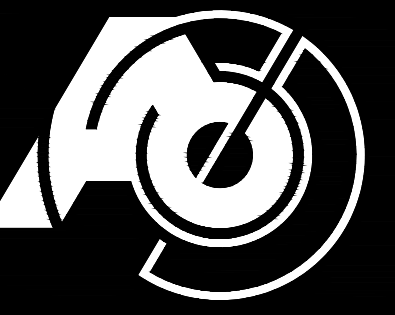
PROJECT NORTH,
TRUE NORTH
VARIES BY BUILDING

KEYNOTE LEGEND

- P1 DOWNSPOUT
- P2 CONCRETE PATIO
NOTE: SOME LOCATIONS MAY HAVE JULIET
BALCONIES, DUE TO GRADE RESTRICTIONS.
SEE CIVIL PLAN SET
- P3 RATED FIRE EXTINGUISHER CABINET,
MAX PROTRUSION 4"
- P4 5'-0" CASED OPENING
- P5 LINE OF OVERHANG ABOVE

GENERAL ARCHITECTURAL NOTES

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
2. DO NOT SCALE DRAWINGS. USE ONLY WRITTEN DIMENSIONS. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
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6. CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR GRAB BARS, CABINETS, BATH ACCESSORIES, HANDRAILS, ETC. AND ROUGH OPENINGS AS REQUIRED.
7. INTERIOR PARTITIONS ARE 2x4 STUD, 16" O.C. UNLESS OTHERWISE NOTED.
8. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED MATERIAL.
9. VERIFY WITH THE DOOR MANUFACTURER ALL DOOR SIZES.
10. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
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FLATS ON 46
NEW APARTMENT COMPLEX
3888 W. State Road 46,
Bloomington, Indiana 47404

PROJECT:

REV. DATE REV. BY DESCRIPTION

DRAWN BY: ELA CHKD BY: AAS

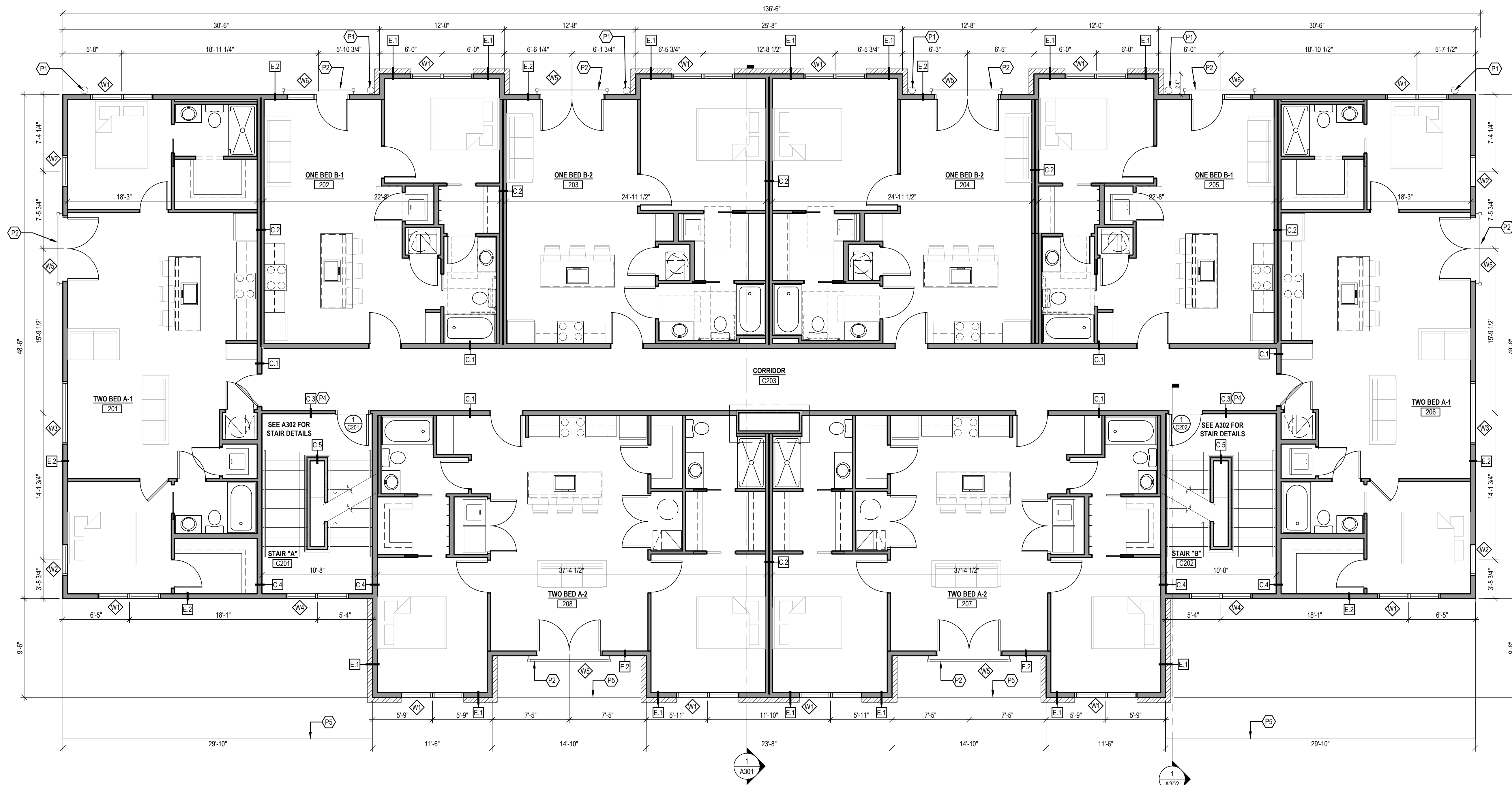
PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

SHEET NAME:
SECOND FLOOR PLAN

SHEET NUMBER:

A102

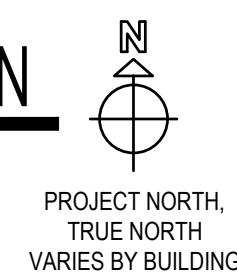


GENERAL ARCHITECTURAL NOTES

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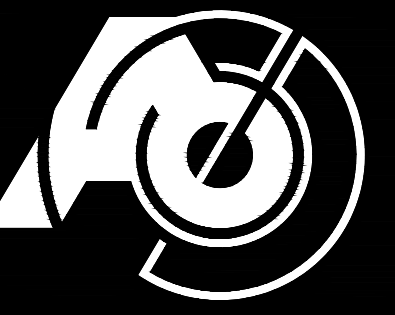
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



KEYNOTE LEGEND

- P1 DOWNSPOUT
- P2 JULIET BALCONY
- P3 RATED FIRE EXTINGUISHER CABINET, MAX PROTRUSION 4"
- P4 CONTINUE RC-1 CHANNEL ON WALL
- P5 LINE OF ROOF BELOW



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FLATS ON 46
NEW APARTMENT COMPLEX
3888 W. State Road 46,
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PROJECT:

REV.	DATE	REV. BY	DESCRIPTION

DRAWN BY: ELA CHKD BY: AAS

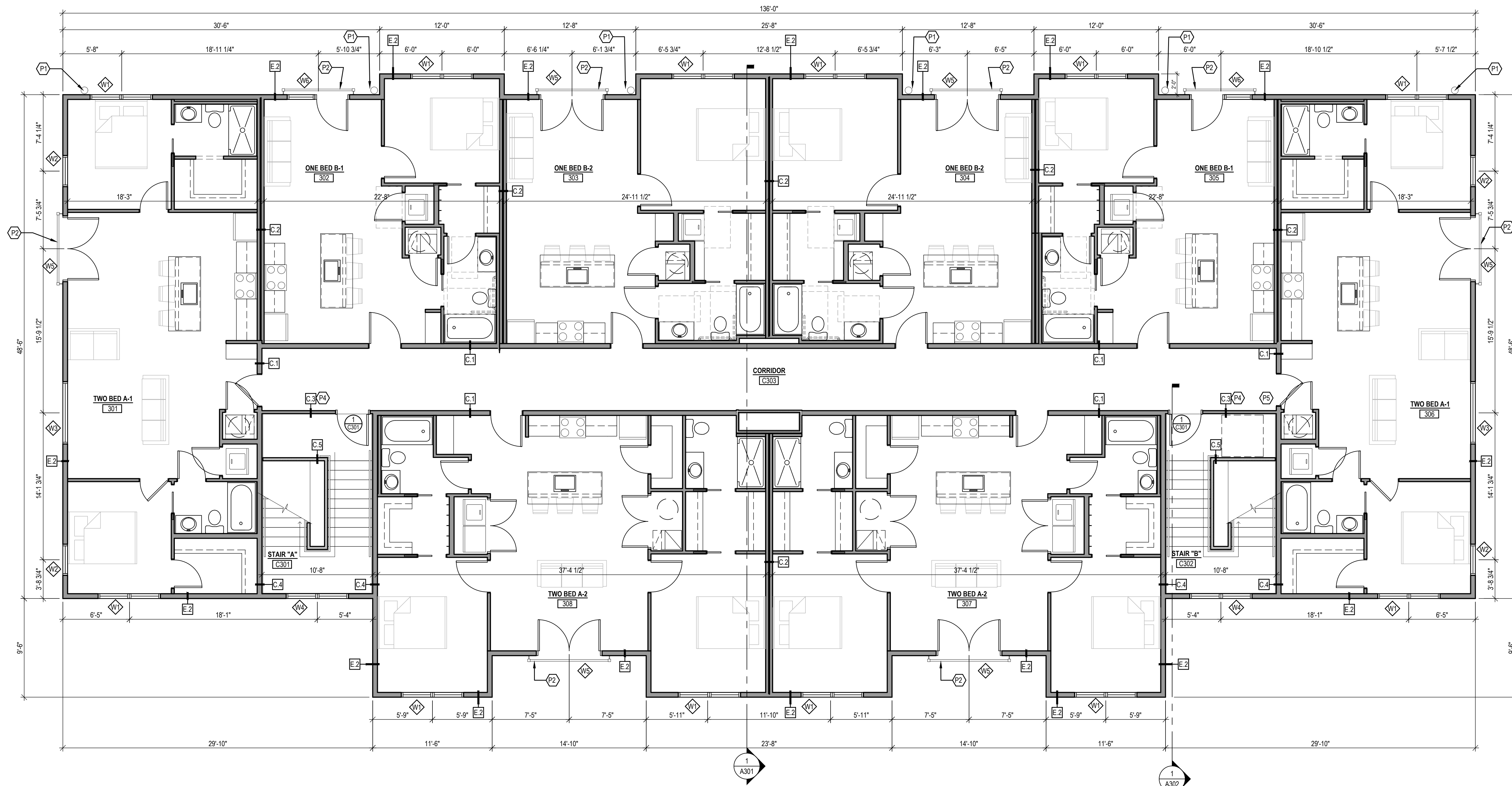
PLOT DATE: September 30, 2021

PROJ. NO.: C-20048

SHEET NAME:
THIRD FLOOR PLAN

SHEET NUMBER:

A103



GENERAL ARCHITECTURAL NOTES

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THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



KEYNOTE LEGEND

- P1 DOWNSPOUT
- P2 JULIET BALCONY
- P3 RATED FIRE EXTINGUISHER CABINET, MAX PROTRUSION 4"
- P4 CONTINUE RC-1 CHANNEL ON WALL
- P5 ROOF HATCH, SEE ROOF FRAMING