AGENDA
ELLETTSVILLE PLAN COMMISSION
Town Hall
1150 W. Guy McCown Drive
Ellettsville, Indiana
Thursday, December 7, 2023 - 6:00 P.M.

Pledge of Allegiance

Roll Call

Approval of Minutes – November 2, 2023

Monthly Conflict of Interest Statement

Old Business

New Business

Development Plan Approval for a Commercial Coffee/Food Service Establishment (Biggby Coffee) located at 609 W. Temperance Street; Petitioner: James Goetz; Case No. PC 23-18

Planning Department Update

Next Meeting – January 10, 2024

Privilege of the Floor – Non-Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs and activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

The Town of Ellettsville Plan Commission is inviting you to a scheduled Zoom meeting.

Topic: Plan Commission
Time: Dec 7, 2023 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting
https://us02web.zoom.us/j/81543033193?pwd=UFpFejN1dVhoNXI4T1RFWTdHNGlHQT09

Meeting ID: 815 4303 3193
Passcode: 708055

One tap mobile
+19292056099,,81543033193#,,,,*708055# US (New York)
+13017158592,,81543033193#,,,,*708055# US (Washington DC)

Dial by your location
• +1 929 205 6099 US (New York)
• +1 301 715 8592 US (Washington DC)
• +1 305 224 1968 US
• +1 309 205 3325 US
• +1 312 626 6799 US (Chicago)
• +1 646 931 3860 US
• +1 507 473 4847 US
• +1 564 217 2000 US
• +1 669 444 9171 US
• +1 669 900 6833 US (San Jose)
• +1 689 278 1000 US
• +1 719 359 4580 US
• +1 253 205 0468 US
• +1 253 215 8782 US (Tacoma)
• +1 346 248 7799 US (Houston)
• +1 360 209 5623 US
• +1 386 347 5053 US

Meeting ID: 815 4303 3193
Passcode: 708055

November 2, 2023

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, November 2, 2023, at Town Hall. David Drake called the meeting to order at 6:00 p.m. and Ryan Skaggs led the Pledge of Allegiance.

Roll Call: Members participating were: David Drake, President; Dan Swafford, Vice President; Steve Hale; Sandra Hash; Pamela Samples; Ryan Skaggs and Pat Wesolowski. Denise Line, Planning Director, Mike Burns, Assistant Planner, and Darla Brown, Town Attorney, were also present.

Approval of the Minutes

David Drake entertained a motion to approve the minutes for the regular meeting on October 5, 2023. Dan Swafford made a motion to approve the minutes for October 5, 2023. Pamela Samples seconded the motion. Motion carried.

Approval of 2024 Meeting Dates

Denise Line, Planning Director, asked for approval of the proposed Plan Commission meeting dates for 2024. All meetings will take place the first Thursday of the month with the exceptions of January, July and August which were moved back one week because of holidays.

David Drake entertained a motion to approve the Plan Commission meeting dates for 2024. Steve Hale made a motion to approve the meeting dates for 2024. Pamala Samples seconded the motion. Motion carried.

Monthly Conflict of Interest Statement

Old Business

Update on Preliminary Plat Approval for Ellettsville Self Storage Subdivision, (5050 W. State Road 46); Petitioner: EDD Self-Storage LLC (Doug Duncan); Case No. PC 23-16

Darla Brown, Town Attorney, reminded the Plan Commission they approved this Plat with the condition Mr. Duncan sign a commitment prepared by the Town Attorney, which would not allow a business to be operated from the storage units. Mr. Duncan has not signed this document and the property was sold on October 10, 2023, so the petition is denied.

New Business

Planning Department Updates

Denise Line, Planning Director, advised there would be one new case for the next meeting on December 7, 2023. Next month's meeting will be the last for Sandra Hash as she is retiring at the end of this year.

Plan Commission Comments

Privilege of the Floor

Adjournment

David Drake adjourned the meeting at 6:14 p.m.

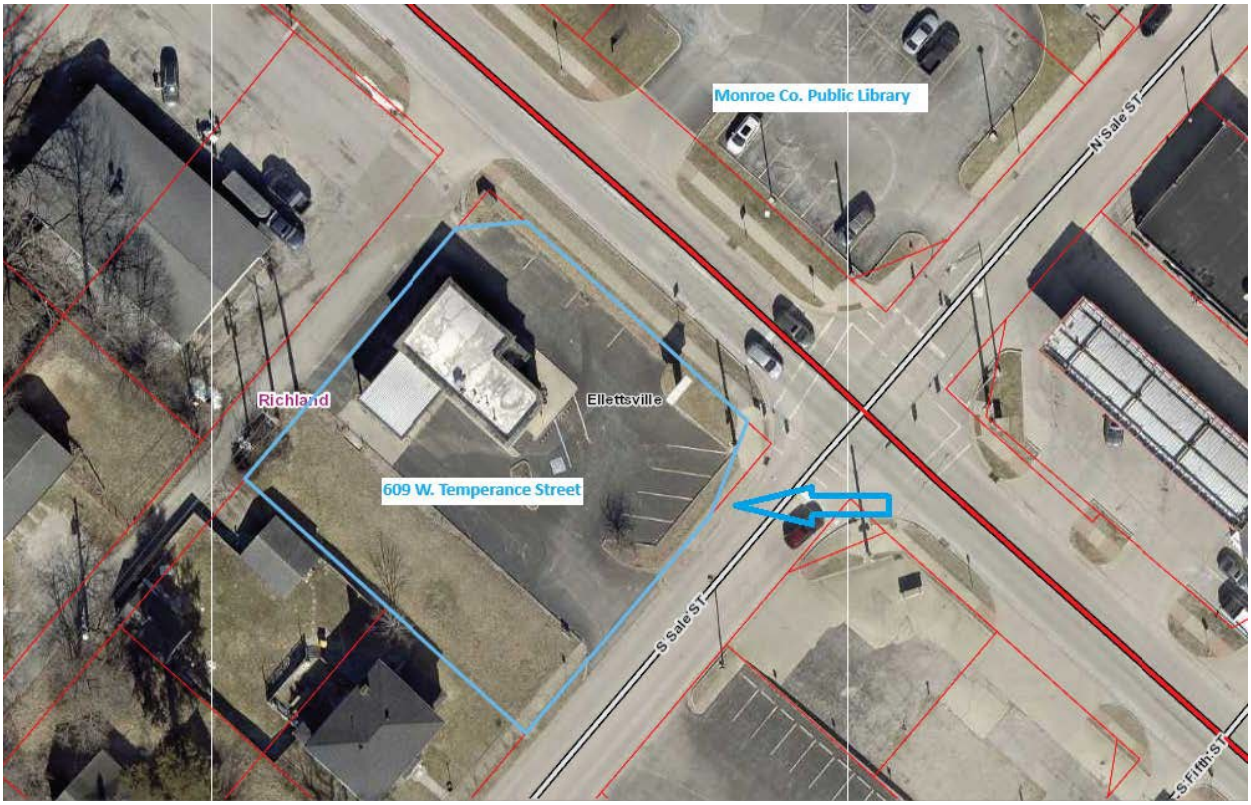
David Drake, President	Dan Swafford, Vice President
Ryan Skaggs	Steve Hale
Sandra Hash	Pamela Samples
Pat Wesolowski	Mike Burns, Secretary

Town of Ellettsville
Department of Planning & Development

PC 23-18 – Development Plan Petition
Staff Report

Petition

Case - PC 23-18 – Biggby Coffee. A request by James Goetz for development plan approval of a commercial coffee/food service establishment. The subject property is located at 609 W. Temperance Street.



	Zoning District	Property Use
North:	C-3; General Commercial	Monroe Co. Public Library
South:	C-3; General Commercial	Residential
East:	C-3; General Commercial	Vacant Lot
West:	C-2; Tourist Commercial	Commercial Business

Considerations

1. The applicant is requesting approval of a development plan to construct a commercial coffee/ food service establishment totaling 1,382 ft^2 on .38 acres.
2. Staff note that the applicant is not the business owner.
3. The property is zoned C-3; General Commercial, and the use is permitted by right.
4. The business will be accessed from S. Sale Street and the alley by the business with ingress/egress at Temperance Street.
5. The Technical Advisory Committee met on November 12th and reviewed the plans as submitted. No significant deficiencies were reported, notes from the meeting are as follows:

    - Title Sheet – change note from sanitary sewer to state specifications of the Town of Ellettsville sanitary sewer specifications
    - P1 - Asphalt pavement should show a 7" layer of #53 compacted aggregate base as needed under the 3" asphalt base
    - Asphalt compaction test
    - Drainage will remain the same as the original site as the building and parking area footprints do not change
    - Add landscape along Temperance Street
    - Grease trap requirements – Petitioner confirmed they will not be cooking raw food on site. Therefore, a grease trap is not needed

6. The development plan meets the minimum requirements of the Ellettsville Town Code and Tech Review comments have been addressed.
7. Plan Commission shall consider the following in determining whether to approve a development plan:
    a. Compatibility of the development plan with surrounding land uses;
    b. Compatibility of the development plan with the recommendations of the comprehensive plan;
    c. Adequate provisions for internal management of traffic;
    d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
    e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;
    f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
    g. Adequate on-site management of stormwater, and erosion control;
    h. Adequate provision for green space and or landscaping;
    i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
    j. Adequate protection of existing limestone structures; and
    k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
8. Town Code requires a parking space for every three (3) patron seats. The proposed

establishment has eleven (10) seats for patrons. The development plan includes three parking spaces and includes one (1) accessible parking space.

9. The site meets or exceeds all setback requirements.
10. When necessary to accommodate the particular needs of the development plan under review or the particular needs of the community which will be impacted, higher standards and greater requirements shall be included as required by the Plan Commission.

Plan Commission Action

The Plan Commission action on the development plan can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration No. 7.

a. Compatibility of the development plan with surrounding land uses.

Commercial coffee/food service establishments are permitted by right in the C-3 district, and, therefore, would be considered compatible with surrounding land uses. In addition, the use will have little direct impact on adjacent properties.

b. Compatibility of the development plan with the recommendations of the comprehensive plan.

Commercial uses are encouraged along State Road 46.

c. Adequate provisions for internal management of traffic.

Traffic will enter and exit from W. Temperance Street and S. Sales Street and adequate traffic flow has been accommodated in the Development Plan. The Fire Department has approved the radius of turns and curves on the Development Plan. The number of parking spaces is sufficient.

d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.

All traffic should come from W. Temperance Street or S. Sales Street. There is no reason for concern at this time regarding the ingress/egress off of S. Sales Street. There is concern, however, for utilizing the alley off of W. Temperance for ingress/egress. During Tech Review, the Street Commissioner advised he wanted to do a compaction test of the pavement in the alley but may not have time to do so before the Plan Commission meeting. As of the writing of this staff report, a compaction test has not been performed.

e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.

Infrastructure will be included on site as required by Fire and Building codes.

f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.

W. Temperance Street is maintained by the Indiana Department of Transportation and the alley off of W. Temperance Street and S. Sales Street are maintained by the Town of Ellettsville

g. Adequate on-site management of stormwater, and erosion control.

Stormwater and erosion control will be managed in accordance with Town and State regulations.

h. *Adequate provision for green space and or landscaping.*

The Petitioner has voluntarily included landscaping for the project.

i. *Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.*

The Petitioner voluntarily agreed to include landscaping which will serve as a buffer along W. Temperance Street.

j. *Adequate protection of existing limestone structures.*

There are no limestone structures indicated on site.

k. *Provision of pathways, trails and our sidewalks for all non-industrial developments.*

Sidewalks are already in place along W. Temperance Street and on a portion of the parcel along S. Sales Street and sidewalks. No additional sidewalks are included for the commercial coffee/food service establishment in the Development Plan.

As of the time of the writing of this report, there have been no written concerns regarding the development plan received by Staff.

Development Plan approval shall be predicated on the criteria listed under consideration No. 7. If the Plan Commission does find that the development plan is in agreement with those items, the Plan Commission shall approve the development plan. Additionally, the Plan Commission may include any conditions they feel are necessary and relevant to develop the property in an appropriate manner.

Recommendations from the Technical Review Meeting either have been addressed or will be addressed by the time of building approval. Additionally, it is of Staff opinion that the requirements of the Development Plan section from the Town of Ellettsville Code of Ordinances have been reasonably achieved. Staff recommends the Plan Commission approve the development plan with the following conditions: That a compaction test of the pavement in the alley off of W. Temperance Street be conducted. If the compaction test reveals the pavement is not sufficient for the traffic that will be generated by a drive-thru at the business, the Petitioner, property owner and/or business owner will be responsible for paving/repairing the street in accordance with Town of Ellettsville requirements. After the paving/repairing has been completed, a request shall be made to the Street Department to perform a compaction test. The paving/repairing and compaction test shall be completed prior to the Certificate of Occupancy being issued after completion of the remodel.

The Plan Commission may add conditions only to the extent they are relevant to the overall benefit to the Town. If the Plan Commission does not find that all criteria have been met, they shall state specifically <u>which criteria have not been met and how they could reasonably be achieved</u>.

Submitted by Denise Line
Director, Ellettsville Planning
December 7, 2023

Site Photos


Public Hearing
Notice


N
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© All EagleView Technology Corporation

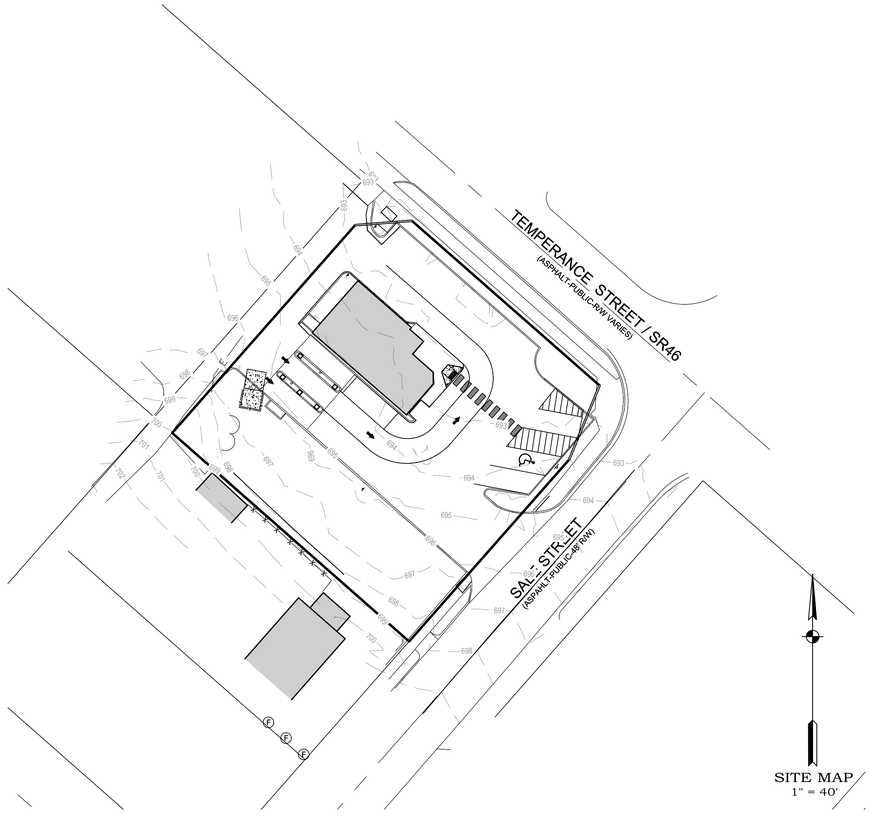
BIGGBY COFFEE - ELLETTSVILLE

DEVELOPMENT PLAN
CONSTRUCTION SET

609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

SECTIONS 10, TOWNSHIP 9N, RANGE 2W
RICHLAND TOWNSHIP

Sheet List Table	
Sheet Number	Sheet Title
C100	Title Sheet
C101	Existing Conditions
C102	Demolition Plan
C200	Site Plan
C300	Grading Plan
C400	SWPP Specs
C500	Misc. Details
L101	Landscape PLan



SITE MAP
1" = 40'

LOCATION MAP
N.T.S.

SHEET NO.	REVISIONS	BY	DATE
C102	ADDED PAVEMENT REMOVAL FOR DUMPSTER AND ALLEY	KES	11/15/23
C200	REVISED PAVEMENT SECTION FOR PARKING AND ALLEY, ADJUSTED DUMPSTER	KES	11/15/23
L101	ADDED LANDSCAPE ALONG TEMPERANCE ST	DK	11/15/23

KATHERINE ELIZABETH STEIN
REGISTERED
NO. PE11600307
STATE OF INDIANA
PROFESSIONAL ENGINEER

CERTIFICATION DATE
10/25/23

NOTE : WATER, STORM SEWER AND SANITARY SEWER ITEMS SHALL BE IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITIES REQUIREMENTS. WORK WITHIN THE STATE ROUTE 46 RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST ISSUANCE OF THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS.

SMITH DESIGN GROUP
CIVIL ENGINEERING - LAND SURVEYING
1467 W Arlington Road, Bloomington, IN 47404
(812) 336-6536 - smithdginc.com

JOB NUMBER: 6685

Town of Ellettsville
Department of Planning & Development

Technical Review Meeting Notes
Biggby Coffee

Project Description

Location: 609 W. Temperance Street
Size: 1,382 ft^2 +/- .38 acres.
Current Zoning: C-3: General Commercial

Planning

- Title Sheet – change note from sanitary sewer to state specifications of the Town of Ellettsville sanitary sewer specifications.
- P1 - Asphalt pavement should show a 7" layer of #53 compacted aggregate base as needed under the 3" asphalt base.
- Drainage will remain the same as the original site as the building and parking area footprints do not change.
- Add landscape along Temperance Street.
- Grease trap requirements – Petitioner confirmed they will not be cooking raw food on site. Therefore, a grease trap is not needed.
-

Fire

- Knox Box System.

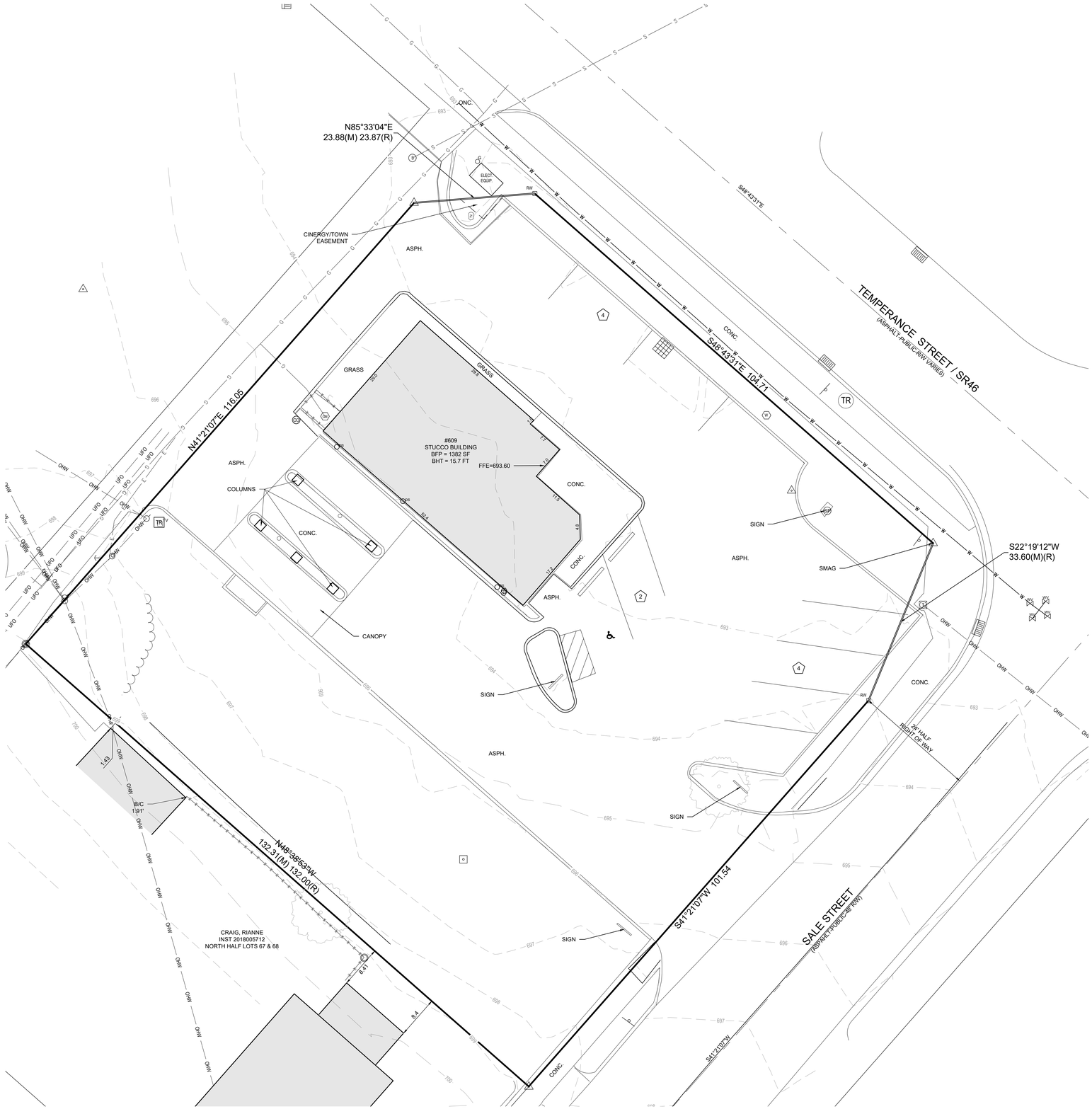
Street

- Compaction test for the alley off of W. Temperance Street

Summary

The Development Plan request is for Biggby Coffee. The Technical Review Committee met on November 12th to discuss the Development Plan Those in attendance were Town Manager and Public Works Superintendent Mike Farmer; Planning Director Denise Line; Assistant Planner, Mike Burns; Fire Chief Kevin Patton; and Commercial Inspector Ron Vandeventer. Also, in attendance was Katie Stein, Project Engineer and representative for the Petitioner. Comments included are those that have been received by the Planning Department. Any additional comments from the Technical Review committee that are not listed above shall still be taken into consideration. Plan Commission should approve the development plan after the above-mentioned items have been addressed but may also add conditions as they see fit. Any requested revisions may be submitted in electronic form, with paper copies only necessary after Plan Commission approval.

Submitted by Denise Line
Director, Ellettsville Planning
November 12, 2023



GENERAL NOTES

1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 10/2023.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE, OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

0 5 10
SCALE: 1"=10'

LEGEND

- R/W MONUMENT
- RR SPIKE
- STONE
- REBAR
- IRON PIPE
- MAG NAIL
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC VAULT
- ELECTRIC HANDHOLE
- ELECTRIC TRANSFORMER
- SANITARY MANHOLE
- CLEAN OUT
- STORM MANHOLE
- CURB INLET
- INLET ROUND
- INLET SQUARE
- YARD INLET
- WATER VALVE
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONECTION
- WATER MASTER METER
- WATER METER
- FIRE HYDRANT
- AIR CONDITIONER
- GAS METER
- GAS VALVE
- FIBER OPTIC VAULT
- CONCRETE BOLLARD
- TELEPHONE RISER
- FIBER OPTIC RISER
- COMMUNICATION MANHOLE
- SIGN
- HANDICAPPED PARKING
- TRAFFIC MANHOLE
- TRAFFIC POLE
- PARKING COUNT
- SCHEDULE 'B' ITEM

BASIS OF BEARING
INDIANA STATE PLANE- WEST ZONE

- OVERHEAD WIRES — OHW
- SANITARY SEWER — S
- UNDERGROUND GAS LINE — G
- UNDERGROUND ELECTRIC LINE — E
- UNDERGROUND COMMUNICATION LINE — C
- WATER LINE — W
- STORM SEWER — ST
- FENCE — X—X—X—X

M	MEASURED	B.F.P.	BUILDING FOOTPRINT
P	PLATTED	B.H.T.	BUILDING HEIGHT
R	RECORD	S.F.	SQUARE FEET
FRB	FOUND REBAR	R/W	RIGHT OF WAY
SRB	SET REBAR		
FIP	FOUND IRON PIPE		
FRS	FOUND RAILROAD SPIKE		
FMAG	FOUND MAG NAIL		
SMAG	SET MAG NAIL		
B/C	BUILDING CORNER		
FND	FOUND		
P.D.O.	POSSIBLE DEED OVERLAP		
P.D.G.	POSSIBLE DEED GAP		
B.G.	BELOW GRADE		
A.G.	ABOVE GRADE		
RWM	RIGHT OF WAY MONUMENT		
B.S.B.	BUILDING SETBACK LINE		

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KATHERINE ELIZABETH STEIN
REGISTERED
NO. PE11600307
STATE OF INDIANA
PROFESSIONAL ENGINEER

10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

BY	DATE
REVISIONS	

DESIGNED	DRAFTED	CHECKED	DATE
KES	KES		

JOB NUMBER 6685

SHEET C101

DATE 11/15/2023

Existing Conditions

GENERAL NOTES

1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 10/2023.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
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7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: MANHOLES: RIM ELEVATION INLETS: GUTTER ELEVATION

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DISCONNECTION OF PRIVATE UTILITIES WITH RESPECTIVE UTILITY SERVICE PROVIDERS.
2. ANY SIGNS REQUIRING REMOVAL TO EXECUTE THE WORK SHALL BE REMOVED, STORED AND RE-SET UPON COMPLETION OF CONSTRUCTION.
3. USE OF THE PUBLIC R/W REQUIRES PRIOR APPROVAL FROM INDOT.
4. IF BUILDINGS, FOOTINGS, SLABS AND FOUNDATIONS ARE TO BE REMOVED, THEY SHALL BE REMOVED COMPLETELY AND THE RESULTING EXCAVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL IF LOCATED WITHIN AN AREA OF PROPOSED FILL PLACEMENT.
5. TREES AND STUMPS SHALL BE REMOVED COMPLETELY AND THE RESULTING EXCAVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL IF LOCATED WITHIN AN AREA OF PROPOSED FILL PLACEMENT.
6. BURYING OF DEMOLITION MATERIALS ON SITE IS NOT PERMITTED.
7. THOUGH AN IDEM NPDES STORM WATER NOI IS NOT REQUIRED FOR THIS SITE, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING AND MONITORING ON SITE EROSION CONTROL DEVICES DURING CONSTRUCTION.
8. IF TRACKING OF MATERIAL ONTO ADJACENT PUBLIC ROADWAYS OCCURS, TRACKED MATERIAL SHALL BE CLEANED DAILY.
9. ADDITIONAL IMPROVEMENTS OR DEMOLITION ON OR ADJACENT TO THE SITE MAY HAVE BEEN COMPLETED SINCE TOPOGRAPHIC SURVEY WAS COMPLETED. CONTACT ENGINEER IF ADDITIONAL IMPROVEMENTS RESULTING IN A CHANGE OF PLAN ARE DISCOVERED.
10. REMOVE EXISTING PARKING BLOCKS AND SIGNS ON SITE.
11. CLEAR EXISTING BUSHES AND UNDERBRUSH ON SITE.
12. PROTECT ALL UTILITIES NOT CALLED OUT TO BE REMOVED.
13. COORDINATE ANY ON-SITE TEMPORARY POWER NEEDS DURING CONSTRUCTION WITH DUKE ENERGY.

DEMOLITION KEY NOTES

(D1) REMOVE EXISTING CONCRETE STANDING CURB

(D2) REMOVE WHEEL STOPS

(D3) REMOVE EXISTING PAVEMENT STRIPING

(D4) REMOVE EXISTING SIGN

(D5) SAW CUT AND REMOVED EXISTING PAVEMENT

(D6) SAW CUT EXISTING WALK FOR RAMP. REMOVE CONCRETE TO NEAREST JOINT

(D7) INSTALL INLET PROTECTION PRIOR TO DEMOLITION

(D8) REMOVE EXISTING TREE

LEGEND

- R/W MONUMENT
- RR SPIKE
- STONE
- REBAR
- IRON PIPE
- MAG NAIL
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC VAULT
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- UNDERGROUND COMMUNICATION LINE — C
- WATER LINE — W
- STORM SEWER — ST
- FENCE — X X X X

M MEASURED
P PLATTED
R RECORD
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FRS FOUND RAILROAD SPIKE
FMAG FOUND MAG NAIL
SMAG SET MAG NAIL
B/C BUILDING CORNER
FND FOUND
P.O.D. POSSIBLE DEED OVERLAP
P.D.G. POSSIBLE DEED GAP
B.G. BELOW GRADE
A.G. ABOVE GRADE
RWM RIGHT OF WAY MONUMENT
B.S.B. BUILDING SETBACK LINE

B.F.P. BUILDING FOOTPRINT
B.H.T. BUILDING HEIGHT
S.F. SQUARE FEET
R/W RIGHT OF WAY

BASIS OF BEARING

INDIANA STATE PLANE- WEST ZONE

0 5 10
SCALE: 1"=10'

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KATHERINE ELIZABETH STEIN
REGISTERED
NO. PE11600307
STATE OF INDIANA
PROFESSIONAL ENGINEER

10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

BY	DATE	REVISIONS
KES	11/15/23	ADDED PAVEMENT REMOVAL FOR DUMPSTER AND ALLEY

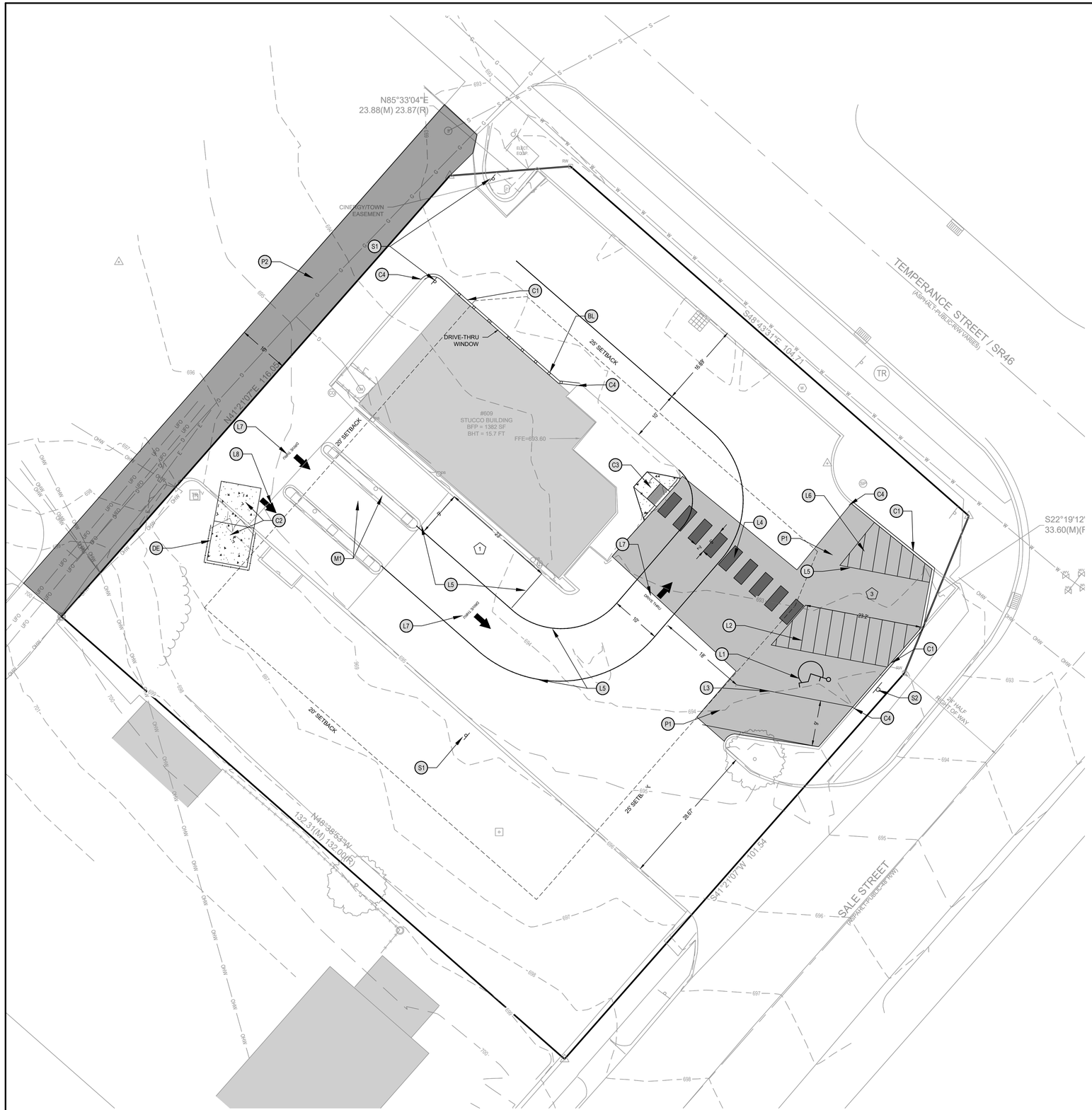
DESIGNED	DRAFTED	CHECKED	DATE
KES	KES		

JOB NUMBER 6685

SHEET C102

DATE 11/15/2023

Demolition Plan



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1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 10/2023.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
   MANHOLES: RIM ELEVATION
   INLETS: GUTTER ELEVATION

0 5 10
SCALE: 1"=10'

SITE NOTES

1. SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. SEE GRADING PLAN FOR RAMP GRADING.
2. PAVEMENT MARKINGS, IF SHOWN, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 912.14 OF THE 2014 INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN INDOT RIGHT OF WAY PERMIT FOR ALL WORK REQUIRED IN THE INDOT RIGHT OF WAY.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
5. CONTRACTOR TO CONTACT ELLETTSVILLE STREET DEPARTMENT FOR TESTING OF PARKING LOT COMPACTION.

SITE INFORMATION

SITE ZONING: C-3
PARCEL: 0.397 ACRES

SETBACKS
FRONT SETBACK: 25 FEET
SIDE SETBACKS: 10 FEET (20 FEET - ADJACENT TO DIFFERENT ZONE - WEST)
REAR SETBACK: 20 FEET

PARKING
REQUIRED: 1 SPACE/3 SEATS - 10 SEATS = 3.33 SPACES - 4 SPACES
PROVIDED - 4 SPACES

SITE MATERIALS

- (C1) 6" CONCRETE STANDING CURB
- (C2) CONCRETE PAVEMENT
  6" THICK CONCRETE, 4000 PSI
  8" INDOT #53 COMPACTED AGGREGATE BASE
- (C3) PERPENDICULAR ACCESSIBLE RAMP WITH FLARED SIDES AND DETECTABLE WARNING ELEMENT PER INDOT DETAIL
- (C4) MATCH EXISTING CURB
- (P1) ASPHALT PAVEMENT FOR PARKING LOT
  1.5" HMA SURFACE (MIN.) ON
  3" HMA BASE ON
  7" INDOT #53 COMPACTED AGGREGATE BASE
- (P2) ASPHALT PAVEMENT FOR ALLEY
  1.5" HMA SURFACE (MIN.) ON
  3" HMA BASE ON
  7" INDOT #53 COMPACTED AGGREGATE BASE
  OR AS REQUIRED BY ELLETTSVILLE STREET DEPARTMENT
- (L1) SYMBOL, PAINT, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY (SEE DETAIL ON DETAILS SHEET)
- (L2) LINE, PAINT, SOLID, 4", BLUE, CROSSHATCH (SEE DETAIL ON DETAILS SHEET)
- (L3) LINE, PAINT, SOLID, 4", BLUE
- (L4) LINE, PAINT, SOLID, 24", WHITE
- (L5) LINE, PAINT, SOLID, 4", WHITE
- (L6) LINE, PAINT, SOLID, 4", WHITE, CROSSHATCH
- (L7) LETTERING, PAINT, SOLID, WHITE, "DRIVE THRU" WITH ARROW, PAINT, SOLID, WHITE
- (L8) SYMBOL, ARROW, PAINT, SOLID, WHITE
- (M1) PROPOSED MENU BOARD, DRIVE THRU SPEAKER AND SENSOR LOOP. BY OTHERS.
- (BL) 6" DIA BOLLARD
- (S1) REGULATORY SIGN, R5-1, "DO NOT ENTER", 30"X30"
- (S2) ACCESSIBLE PARKING SIGN. SEE DETAIL
- (DE) TRASH ENCLOSURE,FENCE, CHAINLINK, 9 GUAGE, 6' TALL, VINYL COATED WITH SOLID PRIVACY SLATS AND GATE

SMITH DESIGN GROUP
CIVIL ENGINEERING - LAND SURVEYING
1407 W Arlington Road, Bloomington, IN 47404
(812) 336-6536 - smithdg@sbcglobal.net

KATHERINE ELIZABETH STEIN
REGISTERED
NO. PE11600307
STATE OF INDIANA
PROFESSIONAL ENGINEER
Kathrine E Stein

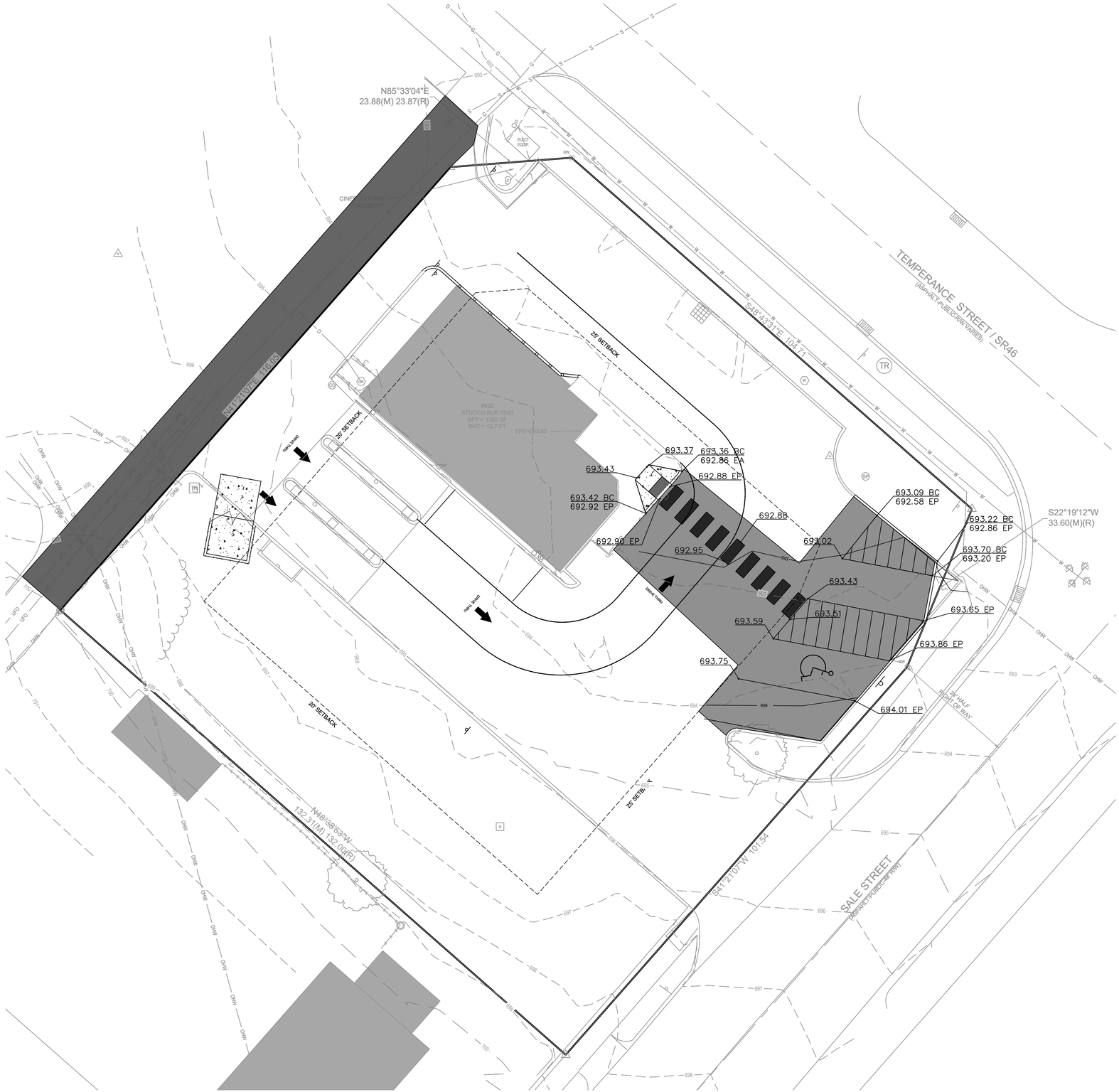
10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

REVISIONS	BY	DATE
REVISED PAVEMENT FOR PARKING AND ALLEY, ADJUSTED DUMPSTER	KES	11/15/23

DESIGNED	DRAFTED	CHECKED	DATE
KES	KES		

JOB NUMBER 6685
SHEET C200
DATE 11/15/2023
Site Plan



GENERAL NOTES

1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 10/2023.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
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7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
   MANHOLES: RIM ELEVATION
   INLETS: GUTTER ELEVATION
8. MAX. SLOPE WITHIN ACCESSIBLE PARKING AND AISLE IS 2%
9. MAX. CROSS SLOPE OF SIDEWALKS AND ACCESSIBLE ROUTES IS 2%
10. MAX. RAMP SLOPE IS 8.33%

0 5 10
SCALE: 1"=10'

GRADING PLAN LEGEND

EXISTING MINOR CONTOUR	XXX
EXISTING MAJOR CONTOUR	XXX
PROPOSED MINOR CONTOUR	XXX
PROPOSED MAJOR CONTOUR	XXX
DIRECTION OF FLOW	
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP = XXX.XX
BACK OF CURB ELEVATION	BC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF = XXX.XX

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PROFESSIONAL ENGINEER

10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

REVISIONS	BY	DATE

DESIGNED	DRAFTED	CHECKED	DATE
KDS	KDS		

JOB NUMBER 6685

SHEET C300

DATE 11/15/2023

Grading Plan

SECTION 02420
STORMWATER POLLUTION PREVENTION & EROSION CONTROL

PART 1 – GENERAL

1.01 RELATED WORK
- A. Section 02310 – Rough Grading
- B. Section 02320 – Finish Grading
- C. Section 02930 – Sodding
- D. Section 02910 – Protection for Existing Trees

1.02 REFERENCES
- A. The latest issue of the following form a part of this section to the extent indicated hereinafter.
  1. Indiana Storm Water Quality Manual published by the Indiana Department of Environmental Management October 2007 edition. (ISWQM)
  2. Indiana Code 327 IAC 15-5-7 Section 7.

1.03 LOCAL JURISDICTION
- A. When the work is within the jurisdiction of a local municipality, MS4 district or Soil and Water Conservation District that will inspect, review, approve, reject or report on part or all of the work being completed, the specifications and requirements of that agency shall supercede this section of the standard specifications if said agency?s specifications and requirements are more stringent.

PART 2 – PRODUCTS

2.01 MATERIALS
- A. Aggregates for use in conjunction with erosion control measures shall be in accordance with the section of the INDOTSS indicated as follows:
  1. Coarse aggregates size #2, #5, #8, and #53 shall be in accordance with Section 904.03 table (e).
  2. Rip rap for outlet protection materials shall be in accordance with Section 904.04 table (f) of the INDOTSS and Chapter 7 of the ISWQM.
- B. Pipe material for use in conjunction with erosion control measures shall be in accordance with the section of the INDOTSS indicated as follows:
  1. Corrugated Polyethylene Drainage Tubing and Smooth Wall Polyethylene Pipe shall be in accordance with Section 907.17 and 907.21 of the INDOTSS.
- C. Geotextile
  1. Geotextiles for use under rip rap shall be in accordance with Section 918.02 of the INDOTSS.
- D. Silt Fence shall conform to the minimum physical properties as shown on the table below.

Sediment Barriers and Filters: Silt Fence Table 2.
Geotextile Fabric Specifications for Silt Fence (Minimum)

Physical Property	Woven fabric	Non-woven fabric
Filtering efficiency	85%	85%
Tensile strength at 20% elongation:		
Standard strength	30 lbs./linear in.	50 lbs./linear in.
Extra strength	50 lbs./linear in.	70 lbs./linear in.
Slurry flow rate	0.3 gal./min./sq.ft.	4.5 gal./min./sq.ft.
Water flow rate	15 gal./min./sq.ft.	220 gal./min./sq.ft.
UV resistance	70%	85%
Post Spacing	7 feet	5 feet

- E. Temporary Gravel Construction Entrances
  1. Construction entrances shall be installed using materials specified in ISWQM Chapter 7.
- F. Erosion Control Blankets
  1. Erosion control blankets and turf reinforcement shall be the type indicated on the plans as manufactured by North American Green or equal approved by Owner's Representative.
- G. Temporary Seeding
  1. Grass species required for temporary seeding shall be as follows during these time periods:

Winter wheat or rye	9/15 to 10/30
Spring oats	3/1 to 4/15
Annual ryegrass	3/1 to 5/1, 8/1 to 9/1
German millet	5/1 to 6/1

- H. Mulching Material
  1. Mulching material may be straw or hay, Excelsior blankets, paper mat, straw mat or aspen wood cellulose fiber mulch.

PART 3 – EXECUTION

3.01 SCHEDULING/SEQUENCING
- A. Existing Vegetation
  1. If existing vegetation must be cleared, it shall be retained and protected until the area must be disturbed.
  2. A buffer strip of existing vegetation must be maintained around the perimeter of the site to reduce off-site erosion and sedimentation.
- B. Duration
  1. The extent and duration that bare soil is exposed to erosion by wind and water should be minimized. Clearing and grading operation shall be scheduled to reduce the amount of disturbed area to the absolute minimum needed for immediate construction activity.
- C. Stabilization
  1. All disturbed ground left inactive for seven or more days shall be stabilized appropriately for the season. Steep slopes must be stabilized immediately.
  2. Soil storage or excavated material piles remaining more than seven days shall be stabilized by temporary or permanent seeding, sodding, traps, or other means. Erosion from piles that will be in existence for less than seven days shall be controlled by placing straw bales or silt fence barriers.

3.02 INSTALLATION AND MAINTENANCE

- A. All installation of erosion control devices and maintenance shall be in accordance with Section 205 on the INDOTSS and Section 7 of the ISWQM.
- B. Temporary gravel construction entrance
  1. Remove existing vegetation and topsoil from entrance area.
  2. Install a culvert pipe under the drive if necessary to maintain proper public road drainage.
  3. Compact subgrade soil prior to placing stone.
  4. Place #2 stone to the dimensions indicated on the plan and in the Temporary Gravel Construction Entrance Detail.
  5. Inspect entrance pad daily and after storm events or heavy use.
  6. Reshape pad as needed for drainage and runoff control.
  7. Top dress with clean stone as needed.
  8. Immediately remove mud and sediment tracked or washed onto public roads by brushing or sweeping. Flushing should only be used if the water is conveyed into a sediment trap or basin.
  9. Repair any broken road pavement immediately.
- C. Temporary Diversion Ditch
  1. Remove brush, trees, stumps, and debris from route of diversion.
  2. Set alignment and grades to fit site needs, maintaining a stable and positive grade towards the outlet.
  3. Construct diversion in accordance with the Temporary Diversion Ditch Detail and at the location indicated on the plans.
  4. Construct the diversion ridge in six to eight inch lifts.
  5. Compact each lift by driving wheels of construction equipment along the ridge.
  6. Overfill and compact ridge to design height plus 10 percent.
  7. Leave sufficient area along the diversion to permit clean-out and regrading.
  8. Vegetate the ridge immediately after construction, unless the diversion will be in place less than 15 days.
  9. Inspect weekly and within 24 hours following each storm event.
  10. Remove sediment from the channel and reinforce the ridge as needed.
  11. Check outlets and make necessary repairs immediately.
  12. When the work area has been stabilized, remove the ridge, fill the channel to blend with the natural ground, remove temporary slope drains, and stabilize all disturbed areas.
- D. Rock Check Dam
  1. Excavate a cut-off trench into the channel bottom and ditch banks at the locations shown on the plan, extending 18 inches beyond the top of ditch bank.
  2. Place uniform or revetment rip rap in the cut-off trench and channel in accordance with the Rock Check Dam Detail. The center of the dam must be at least nine inches lower than the uppermost points of contact between the rip rap dam and channel banks.
  3. Extend rip rap at least 18 inches beyond the channel banks to prevent overflow water from undercutting the dam as it re-enters the channel.
  4. Place filter medium on the up-slope side of the dam and over the entire face of the dam up to the base of the overflow weir notch.
  5. Inspect check dams and the channel weekly and within 24 hours after each storm event, and repair any damage immediately.
  6. If significant erosion occurs between dams, install a riprap liner in that portion of the channel.
  7. Remove sediment accumulated behind each dam when it reaches one-half the height of the dam to maintain channel capacity, to allow drainage through the dam, and to prevent large flows from displacing sediment.
  8. Add rock to the dams as needed to maintain design height and cross section.
  9. When the dams are no longer needed, remove the rock and stabilize channel, using an erosion-resistant lining if necessary.
- E. Rock Lined Chute.
  1. Divert surface water runoff around the structure during construction so site can be properly dewatered.
  2. Excavate the apron area subgrade below the design elevation of finished grade to allow for thickness of rip rap at the locations shown on the plans.
  3. Compact the subgrade.
  4. Place the geotextile fabric on the compacted subgrade. If more than one piece is needed, the upstream piece should overlap the downstream piece by one-foot minimum.
  5. Install rip rap in accordance with the Rock Chute Detail and the rip rap quantity given in the structure data table on the plans.
  6. Top of the rip rap chute shall be level with or slightly below the receiving channel.
  7. Blend the rip rap chute smoothly to the surrounding grade.
  8. Construct a small plunge pool within the outlet apron.
  9. Rip rap aprons must be level with or lower than the channel grade and should not restrict flow.
  10. Construct a permanent diversion ridge on either side of the riprap lined chute to collect storm water runoff and direct its flow into the chute.
  11. Inspect rock chutes 24 hours after storm events and at least every 7 days for stone displacement and for erosion at the sides and ends of the apron.
  12. Make needed repairs immediately; use appropriate size stone, and do not place them above finished grade.
- F. Inlet Protection
  1. Stone
     a. Excavate the basin around the inlet one to two feet deep below the top of casting elevation in accordance with the Inlet Protection Detail.
     b. Stockpile or spread excavated material so that it will not block flow or wash back into the excavation.
     c. Install weep holes in the inlet so that the pool area drains slowly.
     d. Cover weep holes with filter fabric and one foot of #5 stone.
     e. If necessary, excavated material may be placed on the downstream side of the excavation to prevent by-pass flow.
     f. Inspect the inlet protection within 24 hours after each storm event; removing sediment and making needed repairs immediately.
     g. When the contributing drainage area has been stabilized, remove and properly dispose of all construction material and sediment, then stabilize.
     h. Remove sediment when pool area is approximately one-half full of sediment.
     i. Remove and replace stone if sediment hinders drainage.
     j. Once permanent stabilization occurs, removed sediment basin, weep holes, fill basin with soil, compact and grade to finished elevation.
  2. Silt Fence.
     a. Dig an eight-inch deep, four-inch wide trench around the perimeter of the inlet.
     b. If using pre-assembled silt fence and posts, drive the posts into the soil, tightly stretching the silt fence and posts by placing a piece of lathe over the fabric and fastening it to the post.
     c. If assembling the silt fence and post on-site, drive the posts into the soil and then secure the silt fence to the posts by placing a piece of lathe over the fabric and fastening it to the post.
     d. Use the wrap join method when joining posts.
     e. Place the bottom 12 inches of silt fence into the eight-inch deep trench, laying the remaining four inches in the bottom of the trench and extending away from the inlet.
     f. Backfill the trench with soil material and compact it in place.
     g. Brace the posts by nailing braces into each corner posts or utilize rigid panels to support fabric.
     h. If storm water may bypass the structure, set the top of the silt fence at least six inches lower than the ground elevation on the down-slope side of the storm inlet, build a temporary dike compacted six inches higher than the silt fence on the down-slope side of the of storm inlet and use in conjunction with excavated drop inlet protection.
     i. Inspect daily and within 24 hours after each storm event and make needed repairs immediately.
     j. Remove sediment from the pool area to provide storage for the next storm. Avoid damaging or undercutting the fabric during sediment removal.
     k. When the contributing drainage area has been stabilized, remove and properly dispose of all construction material and sediment, grade the area to the elevation of the top of the inlet, then stabilize.
- G. Curb Inlet Protection.
  1. Fill UV stabilized geotextile fabric bags approximately full with washed gravel or aggregate.
  2. For inlets located on a slope gradient:
     a. At a position up slope of the inlet, lay bags tightly in a row curving up slope from the inlet and away from the curb.
     b. Overlap bags onto the curb and extend a minimum of three feet into the street, keeping bags tightly abutted together.
     c. For additional layers of bags, overlap the bags with the row beneath and leave a one-bag gap (at or below curb height) in the middle of the top row to serve as a spillway. If the spillway height is higher than the top of the curb, place additional bags along the curb to prevent bypass flow.
     d. For additional storage capacity, construct a series of stone bag barriers along the curb so each one traps small amounts of sediment.
  3. For inlets located in a sump position:
     a. Place bags in an arc around the curb inlet.
     b. Overlap bags onto the curb, keeping bags tightly abutted together.
     c. For additional layers of bags, overlap the bags with the row beneath and leave a one-bag gap (at or below curb height) in the middle of the top row to serve as a spillway. If the spillway height is higher than the top of the curb, place additional bags along the curb to prevent bypass flow.
  4. Place a traffic barricade at each installed measure for safety and to prevent measure integrity.
  5. Inspect daily and removed accumulated sediment from paved area (do not flush with water) within 24 hours after each storm event.
  6. Deposit sediment in area where it will not re-enter the paved area or storm drains.
  7. Inspect for damage by vehicular traffic and repair if needed.
  8. When the contributing drainage areas have been stabilized, remove inlet protection.
- H. Temporary Sediment Trap.
  1. Divert run-off from non-disturbed areas away from the trap.
  2. Clear all existing vegetation and topsoil from the embankment area.
  3. Using compactable material, construct the embankment at the location indicated on the plans and in accordance with the Temporary Sediment Trap Detail.
  4. Construct the embankment six inches above design elevation to allow for settling.
  5. Excavate a trapezoidal outlet section from the embankment.
  6. Install geotextile fabric in the trapezoidal outlet section, extending the fabric up the sides of the outlet section to the top of the embankment.
  7. Place INDOT revetment rip rap in accordance with the detail to create a dense mass. The spillway crest must be level with a minimum depth of 1 1feet, measured from the highest stones in the spillway weir notch to the top of the dam.
  8. Cover the upstream face of the riprap outlet section with a 12-inch thick layer of INDOT CA No.5 aggregate.
  9. On the downstream side of the spillway, construct an outlet apron at the toe of the embankment. Construct the apron as indicated on the plans and in accordance with the Temporary Sediment Trap Detail.
  10. Place geotextile fabric or aggregate bedding material on the compacted and smoothed foundation and install riprap as indicated on the plans and in accordance with the Temporary Sediment Trap Detail.
  11. Construct a small plunge pool within the outlet apron. Riprap aprons must be level with or slightly lower than the receiving channel and should not produce an overfall or restrict flow of the water conveyance structure.
  12. Stabilize the embankment and other disturbed areas with seed and mulch (anchored in place) or another suitable erosion resistant cover.
  13. Inspect within 24 hours of a rain event and at least once every seven days.
  14. Remove sediment when it has accumulated to one-half the design volume.
  15. Check the embankment for erosion and piping holes and repair immediately.
  16. Check pool area side slopes for erosion and repair immediately.
  17. Replace spillway aggregate facing is the sediment pool does not dewater with 48-72 hours following a storm water runoff event.
  18. Inspect vegetation and reseed if necessary.
  19. Check the spillway depth periodically to ensure a minimum of 1|feet. depth from the lowest point of the settled embankment to highest point of the spillway crest, and fill any low areas to maintain design elevation.
  20. Promptly replace any displaced riprap, being careful that no stones in the spillway are above design grade.
  21. After all disturbed areas have been stabilized, remove the structure and sediment, smooth the site to blend with adjoining areas, and stabilize.
- I. Silt Fence.
  1. Plan for the fence to be at least ten feet from the toe of the slope to provide a sediment storage area.
  2. Provide access to the area for maintenance.
  3. Locate silt fence outlet at location shown on the plans.
  4. Locate the outlet weir posts four feet apart and place a 2 X 4 horizontal brace between the posts.
  5. Excavate the foundation for the outlet one foot deep, five feet wide and a minimum of five feet in length.
  6. Install uniform rip rap in the outlet area.
  7. Along the entire intended fence line, dig an eight inch deep by four-inch wide trench.
  8. Install the silt fence with filter fabric located on the up-slope side of the excavated trench and the support posts on the down-slope side of the trench.
  9. Install support posts at least 18 inches into the ground, tightly stretching the fabric between the posts as each is driven into the soil. A minimum of 12 inches of the filter fabric should extend into the trench.
  10. Lay the lower four inches of filter fabric on the bottom of the trench and extend it toward the up-slope side of the trench.
  11. Backfill the trench with compacted earth or gravel.
  12. Inspect the silt fence at least every seven days and within 24 hours after each storm event.
  13. If fence fabric tears, starts to decompose, or in any way becomes ineffective, replace the affected portion immediately.
  14. Remove deposited sediment when it is causing the filter fabric to bulge or when it reaches half the height of the fence at its lowest point or is causing the fabric to bulge.
  15. Take care to avoid undermining the fence during clean out.
  16. After the contributing drainage area has been stabilized, remove the fence and sediment deposits, bring the disturbed area to grade, and stabilize.
- J. Temporary Seeding
  1. Determine the appropriate seed species based on the optimum dates for planting as shown in the table below.
  2. Apply seed uniformly with a drill or cultipacker – seeder or by broadcasting and cover to the depth as shown in the table below.
  3. Mulch seeded areas in accordance seed mix below.
  4. Inspect weekly after planting to see that vegetative stands are adequately established; re-seed if necessary.
  5. Check for erosion damage within 24 hours after storm events and repair; reseed and mulch if necessary.
  6. Topdress fall seeded wheat or rye seedings with 50 lbs/acre of nitrogen in February or March if nitrogen deficiency is apparent.

Exhibit 3.11-B. Temporary Seeding Recommendations.

Seed Species*	Rate/acre	Planting Depth	Optimum dates**
Wheat or rye	150 lbs.	1 to 1½ in.	9/15 to 10/30
Spring oats	100 lbs	1 in.	3/1 to 4/15
Annual ryegrass	40 lbs.	¼ in.	3/1 to 5/1 8/1 to 9/1
German millet	40 lbs	1 to 2 in.	5/1 to 6/1
[redacted]	[redacted]	[redacted]	[redacted]

*Perennial species may be used as a temporary cover, especially if the area to be seeded will remain idle for more than a year

**Seeding done outside the optimum dates increases the chances of seeding failure.

3.03 MAINTENANCE & INSPECTIONS
- A. The general contractor is responsible for inspection and determining that erosion control measures are installed as shown on the plans. Inspection of all storm water pollution prevention practice measures shall be made by a trained individual on a weekly basis and after every 0.5 inch rainfall event. Records of inspections made and corrective measures taken shall be recorded and kept in a location where they may be made available to the Monroe County MS4 Operator or their Assistant and Indiana Department of Environmental Management inspectors within a 48 hr time frame should they be requested.
- B. Additional erosion control measures may need to be installed based on the prosecution of the work.
- C. Removal of accumulated sediment from any erosion control device is required throughout construction. Failure to remove accumulated sediment can result in failure of the device. Failure of any erosion control device will result in the required re-installation of said device.

3.04 CLEAN UP
- A. When construction is completed and the area is stabilized, remove erosion control measures no longer necessary in a manner that minimizes site disturbance and seed immediately.
- B. All silt, dust or debris shall be cleaned from adjoining public streets, if necessary, immediately following a storm event and at the completion of the project. Remove sediment tracking of public streets as needed or at the end of each working day.

PART 4 – MATERIAL HANDLING, SPILL PREVENTION & SPILL CLEAN UP

4.01 MATERIAL HANDLING & SPILL PREVENTION
- A. Throughout construction operators of equipment that carry potential pollutants shall take every available measure to prevent possible spills. Vehicle operators of all kinds shall not allow the seepage or dumping of potential contaminant fluids or other contaminant materials onto the ground. Vehicle washing and fluid changing shall take place offsite at areas set up to prevent the possibility of contaminants entering the ground water or at designated areas on site.
- B. Used oils, fuels, antifreeze and other materials may be considered hazardous and must be disposed of at approved sites. For disposal site information contact the IDEM at 888-233-7745.
- C. Place all drained lubricants, fuels, etc. in closed containers. Remove them from the site for disposal or recycling in accordance with all Federal, State and Local requirements.
- D. Drain oil filters when hot and dispose of used filters, oil cans and grease tubes properly. Drained metal cans and filters can be recycled as scrap metal.
- E. Maintain all equipment to avoid leaks.
- F. Dewatering
  1 May be conducted with a pump, siphon, manual or equipment bucket, gravity drain or method approved by IDEM or MS4 Operator
  2. Shall not cause soil erosion
  3. If gravity drain is used, flow shall be properly protected against erosion to discharge point.
  4. Water must be discharged directly to sediment trap or sediment bag.
  5. If sediment bag is used, bag must then discharge to sediment trap in case of bag failure.
- F. Concrete Waste Management –
  1. Concrete waste management procedures and practices are implemented on construction projects where:
     a. Concrete is used as a construction material or where concrete dust and debris result from demolition activities.
     b. Slurries containing Portland cement concrete or asphalt concrete are generated, such as from saw cutting, coring, grinding, grooving, and hydro-concrete demolition.
     c. Concrete trucks and other concrete-coated equipment are washed onsite.
     d.Mortar-mixing stations exist.
  2. Perform washout of concrete trucks offsite or in designated areas only. For onsite washout, a sign should be installed adjacent to the washout facility to inform concrete equipment operators to utilize the proper facilities. One of the following methods may be used: 1.) Use of a delayed set additive. Washout occurs offsite in an area where washout water is treated before coming into contact with environment. 2.) Recycle washout water back into the cement truck 3.) KIC system (www.kicsystems.com) – driver washes out into a barrel that is then removed from site 4.) Concrete Washout Inc. (www.concretewashout.com) trucks wash out into a dumpster like system and then dry concrete is removed. Use of other methods may be used if approved by the local MS4 or Soil and Water Conservation District.
  3. Installation of Concrete Washout Facilities
     a. Prefabricated or Design and Installed Systems are acceptable.
     b. For prefabricated systems, install and locate according to manufacture's recommendations
     c. For Designed and Installed systems, either excavate a pit or install the containment system.
     d. Install the polyethylene lining. For excavated systems, the lining should extend over the entire excavation. The lining for bermed systems should be installed over the pooling area with enough material to extend the lining over the berm or containment system. The lining should be secured with pins, staples or other fasteners.
     e. Place flags, safety fencing or equivalent to provide a barrier to construction equipment and other traffic.
     f. Install signage that identifies concrete washout areas.
     g. Post signs directing contractors and suppliers to designated locations.
  4. Maintenance of concrete washout facilities
     a. For prefabricated systems follow the manufacturer's recommendations for maintenance.
     b. Inspect daily and after each concrete pour.
     c. Inspect the integrity of the overall structure including, where applicable, the containment system.
     d. Inspect the system for leaks, spills and tracking of soil by equipment.
     e. Inspect the polyethylene lining for failure, including tears and punctures.
     f. Once concrete wastes harden, remove and dispose of the material.
     g. Excess concrete should be removed when the washout system reaches 50 percent of the design capacity. Use of the system should be discontinued until appropriate measures can be initiated to clean the structure.
     h. Repair the structure as needed or construct a new system upon removal of the solids.
     i. Dispose of all concrete in a legal manner. Reuse the material on site, recycle or haul the material to an approved construction/demolition landfill site.
     j. The plastic liner should be replaced after every cleaning.
     k. The concrete washout system should be repaired or enlarged as necessary.
     l. When concrete washout systems are no longer required, the concrete washout systems shall be closed. Dispose of all hardened concrete and other materials used to construct the system.
  5. Washout Procedures
     a. Do not leave excessive mud in the chutes or hopper after the pour.
     b. At washout location, scrape as much material from the chutes as possible before washing them.
     c. Remove as much mud as possible when washing out
     d. Do not back flush the equipment at the project site.
     e. Do not use additives with wash water. Do not use solvents or acids that may be used at the target plant.

4.02 SPILL CLEAN UP
Any spills that occur on the ground or any other surface shall be cleaned up immediately.

- A. Expected construction materials on site may include vehicle lubricants, oils, vehicular fuels, concrete wash-outs, acids, curing compounds, paints, solvents, pesticides, herbicides, fertilizers.
- B. Small spills and leaks of these materials onto paved areas shall be shoveled into containers and disposed of in accordance with all Federal, State and Local regulations. Provide receptacles, a spill kit and instructions for use in breakdown situations. At a minimum, the spill kit should include shovels, plastic sheeting for containment, plastic container to hold spill contaminated material, 2 bags of absorbent (dry sand, oil-dry, kitty litter, peat moss, ground corncobs, sawdust and new straw are suitable absorbing materials). If a spill occurs contact IDEM and local MS4 Coordinator immediately. Post emergency contact information on sign board along with all permits: NOI, Construction in a Floodway, Letter of Sufficiency, etc.
- C. Spills may be temporarily handled by: 1.) placing contaminated materials on heavy plastics and covering to protect from rainfall; 2.) using absorbents to soak up spilled materials or easy removal; 3.) constructing a dike to prevent off site movement of material. If possible, vehicle maintenance shall be completed offsite at a facility designed to handle any spillage, this shall include fueling of vehicles when possible. The local fire department, Indiana Department of Environmental Management Emergency, Office of Emergency Response 1-888 233-7745 shall be notified immediately for larger spills or leaks. The National Response Center (800) 424-8802 shall be notified and provided with the following information: Time of Spill, Location of Spill, Material, Source of Spill, Approximate Volume and Length of Spillage, Weather Conditions at the Time of the Spill, Personnel Present at Time of the Spill and All Action Taken for Post Spill Clean-up.
- D. Contractor shall contact a waste recovery agency immediately following the spill for removal of contaminates and coordination of monitoring the site during clean-up operations until all hazardous material has been removed. Contractor shall coordinate with the Indiana Department of Environmental Management during and after the spill to insure all required clean-up and filing of reports are properly submitted. Responsibility for reporting spills is outlined in IAC 327 2-6.1-7 (4).
- E. The Contractor shall maintain a list of qualified contractors for spill remediation on site. All site personnel, including maintenance employees, shall be made aware of proper spill prevention and remediation techniques.

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REGISTERED
NO. PE11600307
STATE OF INDIANA
PROFESSIONAL ENGINEER

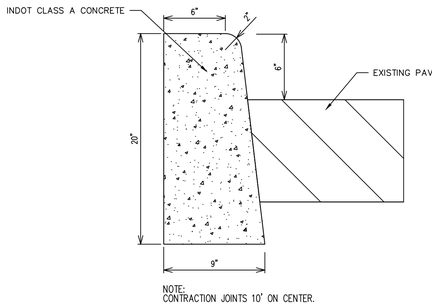
10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

REVISIONS	BY	DATE

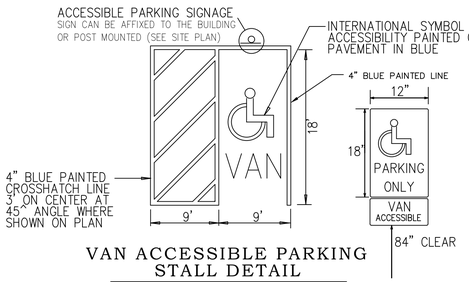
DESIGNED	DRAFTED	CHECKED	DATE
KES	KES		

JOB NUMBER 6685
SHEET C400
DATE 11/15/2023
SWPP Specs



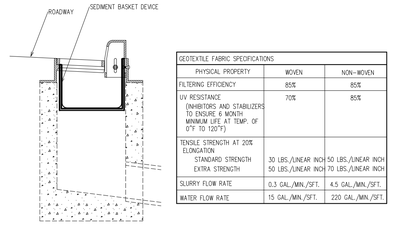
BARRIER CURB DETAIL

NO SCALE



VAN ACCESSIBLE PARKING STALL DETAIL

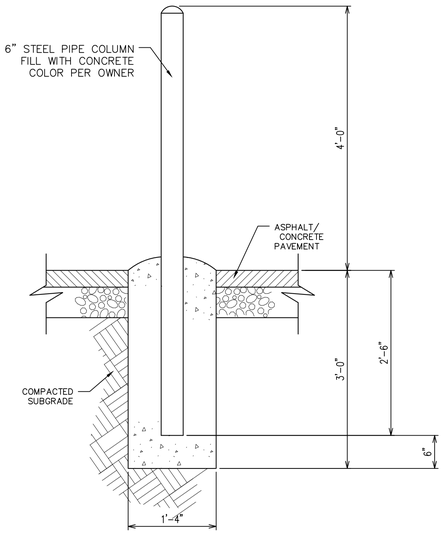
NO SCALE



GEOTEXTILE FABRIC SPECIFICATIONS		
PHYSICAL PROPERTY	WOVEN	NON-WOVEN
FILTERING EFFICIENCY	85%	85%
UV RESISTANCE (INHIBITORS AND STABILIZERS TO ENSURE 6 MONTH MINIMUM LIFE AT TEMP. OF 0°F TO 120°F)	70%	85%
TENSILE STRENGTH AT 20% ELONGATION STANDARD STRENGTH EXTRA STRENGTH	30 LBS./LINEAR INCH 50 LBS./LINEAR INCH	50 LBS./LINEAR INCH 70 LBS./LINEAR INCH
SLURRY FLOW RATE	0.3 GAL./MIN./SFT.	4.5 GAL./MIN./SFT.
WATER FLOW RATE	15 GAL./MIN./SFT.	220 GAL./MIN./SFT.

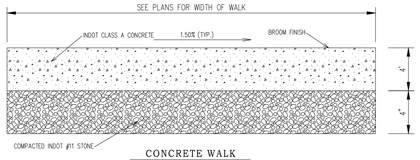
SEDIMENT BASKET INLET PROTECTION

NO SCALE



BOLLARD DETAIL

NO SCALE



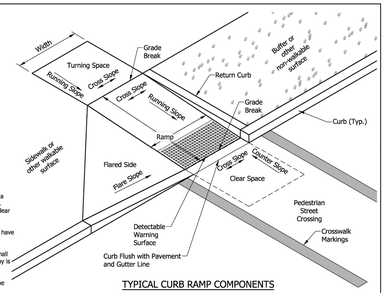
CONCRETE WALK

NO SCALE

INDEX	
SHEET NO.	SUBJECT
1	Curb Ramp Drawing Index and General Notes
2-3	Perpendicular Curb Ramp Typical Placement
4	Perpendicular Curb Ramp Component Details
5	One-Way-Directional Perpendicular Curb Ramp Typical Placement
6	One-Way-Directional Perpendicular Curb Ramp Component Details
7	Parallel Curb Ramps Typical Placement
8	Parallel Curb Ramp Component Details
9	Blended Transition Curb Ramp, Depressed Curb Ramp and Diagonal Curb Ramp Typical Placement
10	Blended Transition Curb Ramp Component Details
11	Median Cut-Through and Median Pedestrian Curb Ramp Typical Placement
12-13	Detectable Warning Surface Placement and Configuration
14	Detectable Warning Surface Details

GENERAL NOTES:

1. All slopes are absolute rather than relative to the sidewalk or roadway grade. Slopes at least 0.50% less than the maximum are preferred.
2. Ramp or Blended Transition. A ramp or blended transition shall be used to lower or raise the sidewalk to connect with the street or highway.
3. Turning Space. A turning space shall be provided at the top of a perpendicular ramp, bottom of a parallel ramp, or where the pedestrian travel requires a change in direction. A common turning space may be shared by adjacent ramps. The turning space shall have a minimum clear dimension of 4 ft x 4 ft. Where the turning space is constrained at the back of the sidewalk by a curb, retaining wall, building, or feature over 2 inches in height, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope.
4. Flared Side. A flared side shall be used adjacent to a walkable surface. A flared side may be used adjacent to a non-walkable surface. A flared side shall have a maximum slope of 10.00% measured parallel to the back of the curb.
5. Return Curb. A return curb is placed perpendicular to the roadway curb. A return curb may be used adjacent to a non-walkable surface. A return curb shall not be used adjacent to a walkable surface. The return curb may be omitted where the non-walkable surface is flared and the curb adjacent the roadway is tapered to meet the flush curb at the bottom of the ramp.
6. Clear Space. A clear space shall be provided beyond the bottom grade break of a curb ramp wholly contained within the crosswalk and wholly outside the parallel vehicular travel path. The clear space shall have a minimum clear dimension of 4 ft x 4 ft.
7. Detectable Warning Surface. A detectable warning surface shall consist of truncated domes and be placed at each street, highway, or railroad crossing. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and be placed the entire width of a ramp, blended transition, or turning space.
8. Running Slope. The running slope of a ramp, blended transition, or turning space shall be measured parallel to the direction of pedestrian travel.
   a. A running slope of 2.00% or less is considered level.
   b. A ramp shall have a maximum running slope of 8.33% but shall not require a ramp length to exceed 15 ft.
   c. A blended transition shall have a maximum running slope of 5.00%.
   d. A turning space shall have a maximum running slope of 2.00%.
9. Width. Unless otherwise noted, minimum width of a ramp, blended transition, or turning space, excluding flared sides or return curb, shall be 4 ft.
10. Grade Break. A grade break at the top and bottom of a ramp, blended transition, or turning space shall be perpendicular to the running slope. Grade breaks shall not be within the ramp, blended transition, turning space, or detectable warning surface. Grade breaks shall be flush. Vertical discontinuities shall not be greater than 1/2 in. Where a discontinuity is greater than 1/4 in. the surface shall be beveled with a slope not steeper than 1V:2H.
11. Cross Slope Exceptions. The cross slope of a ramp, blended transition, or turning space shall be measured perpendicular to the direction of pedestrian travel.
    a. The maximum cross slope at a pedestrian street crossing without posted yield or stop control shall be 5.00%.
    b. The maximum cross slope at a pedestrian street crossing with posted yield or stop control shall be 2.00%.
    c. The maximum cross slope at a midblock crossing shall be the established grade of the adjacent roadway.
12. Counter Slope. A counter slope is the cross slope of the gutter or street adjacent the running slope of the ramp, blended transition, or turning space. See Standard Drawing E 604-SWCR-14 for counter slope details.
13. Objects such as a utility cover, vault frame, and grating shall be placed outside the curb ramp.
14. Curb ramps shall be placed within the marked crosswalk area.
15. Drainage inlets should be located uphill from a curb ramp to prevent ponding in the path of pedestrian travel.



TYPICAL CURB RAMP COMPONENTS

INDIANA DEPARTMENT OF TRANSPORTATION

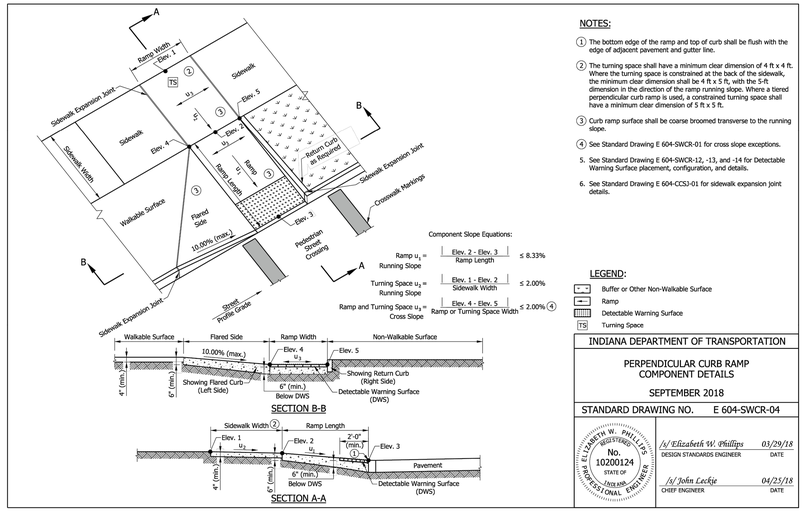
CURB RAMP DRAWING INDEX AND GENERAL NOTES

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-01

ELIZABETH W. PHILLIPS REGISTERED No. 10200124 STATE OF INDIANA PROFESSIONAL ENGINEER

/s/ Elizabeth W. Phillips	03/20/18
DESIGN STANDARDS ENGINEER	DATE
/s/ John Leckie	04/25/18
CHIEF ENGINEER	DATE



SECTION B-B

SECTION A-A

NOTES:

1. The bottom edge of the ramp and top of curb shall be flush with the edge of adjacent pavement and gutter line.
2. The turning space shall have a minimum clear dimension of 4 ft x 4 ft. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope. Where a tiered perpendicular curb ramp is used, a constrained turning space shall have a minimum clear dimension of 5 ft x 5 ft.
3. Curb ramp surface shall be coarse broomed transverse to the running slope.
4. See Standard Drawing E 604-SWCR-01 for cross slope exceptions.
5. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details.
6. See Standard Drawing E 604-CCSJ-01 for sidewalk expansion joint details.

LEGEND:

- Buffer or Other Non-Walkable Surface
- Ramp
- Detectable Warning Surface
- TS Turning Space

INDIANA DEPARTMENT OF TRANSPORTATION

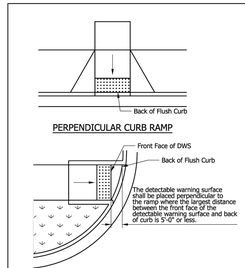
PERPENDICULAR CURB RAMP COMPONENT DETAILS

SEPTEMBER 2018

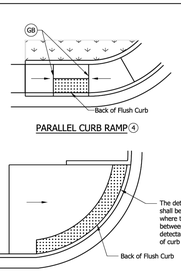
STANDARD DRAWING NO. E 604-SWCR-04

ELIZABETH W. PHILLIPS REGISTERED No. 10200124 STATE OF INDIANA PROFESSIONAL ENGINEER

/s/ Elizabeth W. Phillips	03/29/18
DESIGN STANDARDS ENGINEER	DATE
/s/ John Leckie	04/25/18
CHIEF ENGINEER	DATE

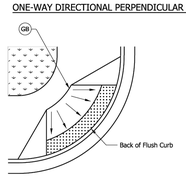


PERPENDICULAR CURB RAMP

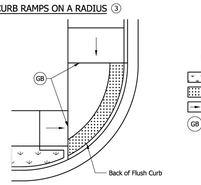


PARALLEL CURB RAMP (4)

ONE-WAY DIRECTIONAL PERPENDICULAR CURB RAMPS ON A RADIUS (3)



BLENDED TRANSITION CURB RAMP (5)



DEPRESSED CORNER CURB RAMP (5) (7)

NOTES:

1. A detectable warning surface shall be placed at each street, highway, or railroad crossing. See Standard Drawing E 604-SZWK-03 for a detectable warning surface placement at a sidewalk driveway crossing.
2. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break.
3. Where the distance from the face of the detectable warning surface is 5 ft or less from the back of curb, the detectable warning surface shall be placed perpendicular to the ramp. Where the distance from the face of the detectable warning surface is more than 5 ft from the back of curb, the detectable warning surface shall be placed at the back of curb as shown or in an alternate placement configuration. See Standard Drawing E 604-SWCR-13 for alternate detectable warning surface placement.
4. The detectable warning surface on a parallel curb ramp shall be placed on the turning space at the flush transition between the street and turning space at the back of curb.
5. The detectable warning surface on a blended transition or depressed corner shall be placed at the back of curb as shown or in an alternate placement configuration. See Standard Drawing E 604-SWCR-13 for alternate detectable warning surface placement.
6. See Standard Drawing E 604-SWCR-14 for detectable warning surface details.

LEGEND:

- Buffer or Other Non-Walkable Surface
- Detectable Warning Surface (DWS)
- Ramp
- GB Grade Break

INDIANA DEPARTMENT OF TRANSPORTATION

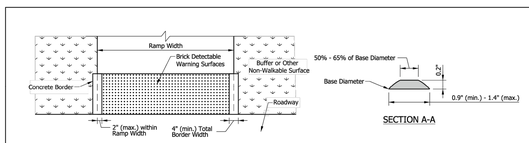
DETECTABLE WARNING SURFACE PLACEMENT AND CONFIGURATION

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-12

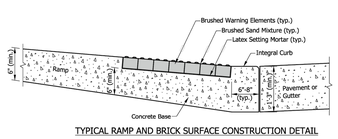
ELIZABETH W. PHILLIPS REGISTERED No. 10200124 STATE OF INDIANA PROFESSIONAL ENGINEER

/s/ Elizabeth W. Phillips	03/29/18
DESIGN STANDARDS ENGINEER	DATE
/s/ John Leckie	04/25/18
CHIEF ENGINEER	DATE

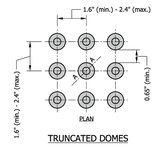


BRICK DETECTABLE WARNING SURFACE WITH CONCRETE BORDER (6) (7)

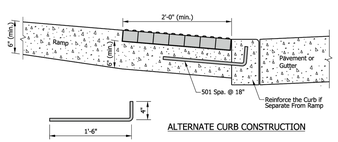
SECTION A-A



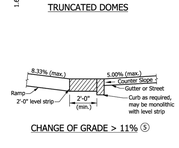
TYPICAL RAMP AND BRICK SURFACE CONSTRUCTION DETAIL



TRUNCATED DOMES



ALTERNATE CURB CONSTRUCTION



CHANGE OF GRADE > 11% (5)

NOTES:

1. Detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified.
2. The detectable warning surface may be field cut. Truncated dome spacing between adjacent panels shall be within the ranges specified.
3. The detectable warning surface shall contrast visually with adjacent surfaces, either light-on-dark or dark-on-light.
4. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break.
5. The maximum counter slope of the gutter or street at the bottom of the ramp shall be 5.00%. Where the algebraic difference between the running slope and the counter slope exceeds 11%, a 2-ft minimum level strip should be provided at the bottom of the ramp.
6. Where a concrete border is used for forming, the border shall be cast monolithically with the curb ramp concrete. The concrete border shall not reduce the ramp width by more than 2 in. on each side.
7. Where forming other than a concrete border is used, the edge restraint shall not encroach upon the ramp width.

INDIANA DEPARTMENT OF TRANSPORTATION

DETECTABLE WARNING SURFACE DETAILS

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-14

ELIZABETH W. PHILLIPS REGISTERED No. 10200124 STATE OF INDIANA PROFESSIONAL ENGINEER

/s/ Elizabeth W. Phillips	03/29/18
DESIGN STANDARDS ENGINEER	DATE
/s/ John Leckie	04/25/18
CHIEF ENGINEER	DATE

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KATHERINE ELIZABETH STERN REGISTERED NO. PE11600307 STATE OF INDIANA PROFESSIONAL ENGINEER

10/25/2023

BIGGBY COFFEE
609 W TEMPERANCE ST
ELLETTSVILLE, INDIANA

REVISIONS

BY	DATE

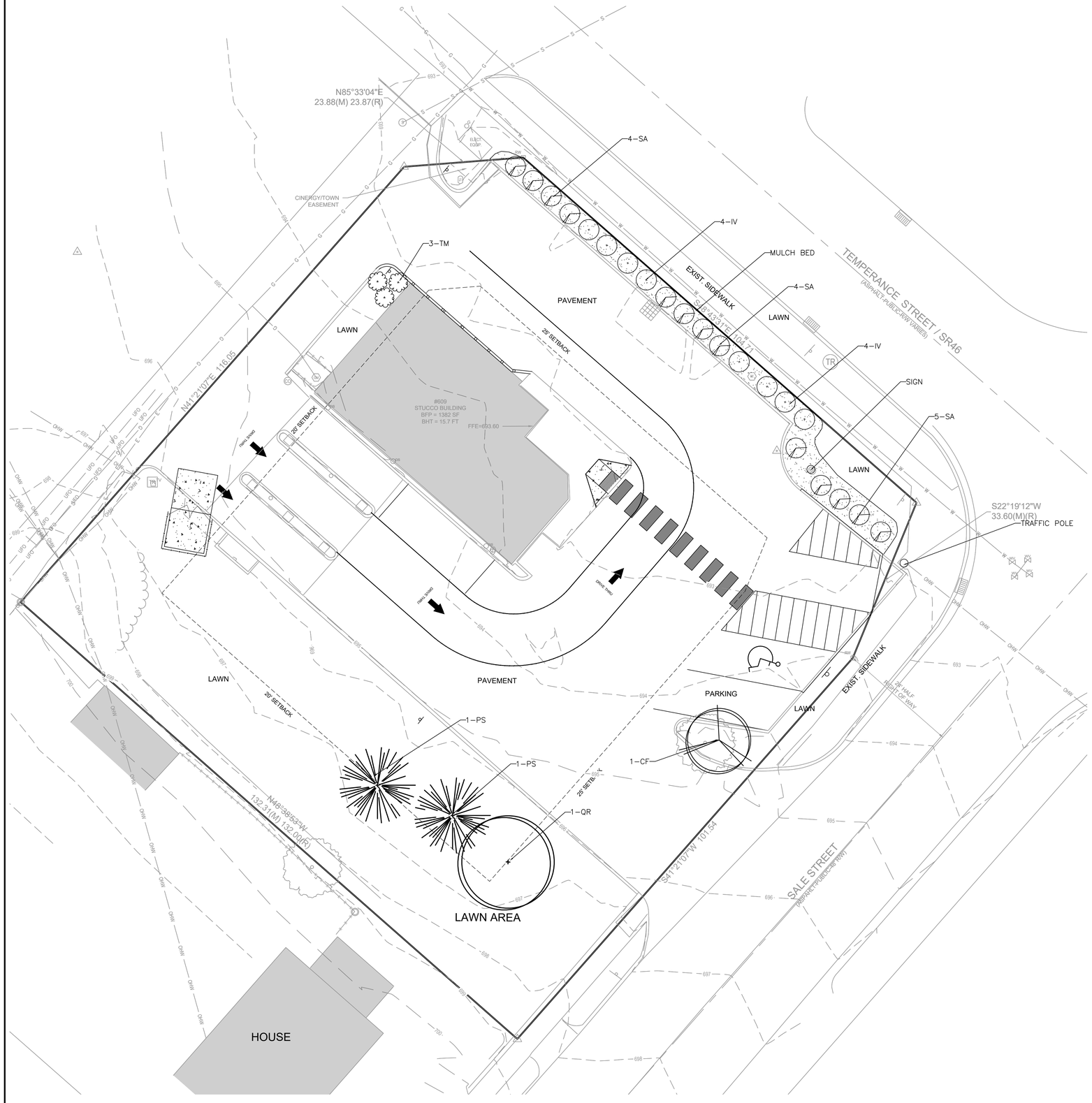
DESIGNED KES
DRAWN
CHECKED KES
DATE

JOB NUMBER 6685

SHEET C500

DATE 11/15/2023

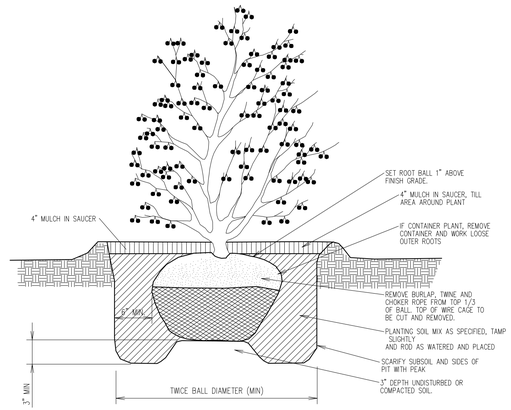
Misc. Details



GENERAL NOTES

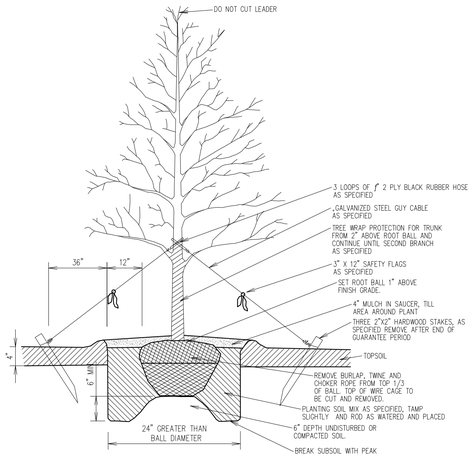
1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 10/2023.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND
ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)676-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

0 5 10
SCALE: 1"=10'



SHRUB PLANTING DETAIL

NO SCALE



TREE PLANTING & GUYING DETAIL

NO SCALE

PLANT TABLE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
		TREES			
CF	1	CORNUS florida	Flowering Dogwood	2" Caliper	
PS	2	PINUS strobus	White Pine	2" Caliper	
QR	1	QUERCUS rubra	Northern Red Oak	2" Caliper	
		SHRUBS			
SA	13	SPIRAEA Alba	Meadowsweet	3 Gallon	
TM	3	Taxus x media 'Densiformis'	Dense Yew	3 Gallon	
IV	8	ITEA virginica	Virginia Sweetspire	3 Gallon	

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(812) 336-6536 • smithdg@sbcglobal.net

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10/25/2023

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ELLETTSVILLE, INDIANA

BY	DATE
DK	11/15/23

REVISIONS
ADDED LANDSCAPE ALONG TEMPERANCE ST

DESIGNED	DRAWING	CHECKED	DATE
KES	KES		

JOB NUMBER 6685

SHEET L101

DATE 11/15/2023

Landscape PLan