

AGENDA
ELLETTSVILLE PLAN COMMISSION
Town Hall
1150 W. Guy McCown Drive
Ellettsville, Indiana
Thursday, January 11, 2024 - 6:00 P.M.

Pledge of Allegiance

Roll Call

Election of Officers

Approval of Minutes – December 7, 2023

Monthly Conflict of Interest Statement

Old Business

New Business

Development Plan Approval for an Optometry Clinic located at 5011 W. Charlestowne Way; Petitioner: Zac Short; Case No. PC 24-01

Preliminary Plat Approval for Three (3) Commercial Lots and One (1) Non-Buildable Lot in the Ellettsville Self Storage Subdivision, (5050 W. State Road 46); Petitioner: Mini Mall U.S. Storage Properties Master L.P.; Case No. PC 24-03

Planning Department Update

Next Meeting – February 1, 2024

Privilege of the Floor – Non-Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs and activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

The Town of Ellettsville Plan Commission is inviting you to a scheduled Zoom meeting.

Topic: Ellettsville Plan Commission

Time: Jan 11, 2024 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88522271925?pwd=aFBweS90K1RWcUZiQW9JQlEo3RVBGQT09>

Meeting ID: 885 2227 1925

Passcode: 992530

One tap mobile

+13126266799,,88522271925#,,,,*992530# US (Chicago)

+16469313860,,88522271925#,,,,*992530# US

Dial by your location

- +1 312 626 6799 US (Chicago)
- +1 646 931 3860 US
- +1 929 205 6099 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US
- +1 253 205 0468 US

Meeting ID: 885 2227 1925

Passcode: 992530

December 7, 2023

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, December 7, 2023, at Town Hall. David Drake called the meeting to order at 6:00 p.m. and led the Pledge of Allegiance.

Roll Call: Members participating were: David Drake, President; Dan Swafford, Vice President; Steve Hale; Sandra Hash; Pamela Samples; Ryan Skaggs and Pat Wesolowski. Denise Line, Planning Director, Mike Burns, Assistant Planner, and Darla Brown, Town Attorney, were also present.

Approval of the Minutes

David Drake entertained a motion to approve the minutes for the regular meeting on November 2, 2023. Dan Swafford made a motion to approve the minutes for November 2, 2023. Steve Hale seconded the motion. Motion carried.

Monthly Conflict of Interest Statement

Old Business

New Business

Development Plan Approval for a Commercial Coffee/Food Service Establishment (Biggy Coffee) located at 609 W. Temperance Street; Petitioner: James Goetz; Case No. PC 23-18

Denise Line, Planning Director, explained the request for Development Plan approval of a 1,381 ft² commercial coffee/food establishment on a 0.38-acre lot. The property is zoned Commercial-3 and its use is permitted by right. The plan allows for three parking spots with one being accessible. All items from tech review have been resolved except the compaction test on the alley west of the property. This test will be done by the Street Department. Staff recommends approval with the condition the business owner repairs the alley along its property line if the compaction test determines asphalt needs repaired or replaced. This condition needs to be completed prior to issuance of Certificate of Occupancy.

Jim Goetz, Petitioner, explained he is in charge of operations and detailed the types of products offered and the traffic pattern for the drive-through. The existing canopy will remain, and the placement of the menu board would allow 8-10 cars to be in line without causing a backup on W. Temperance Street. After discussion it was decided that three parking spots is not be sufficient to accommodate the employees and the Petitioner agreed that parking would be added on the south side of the parcel.

Sarah Warlow, resident, expressed concern about the additional traffic making it difficult to use the alley to exit her property onto W. Temperance Street. After discussion, the Petitioner offered to move the menu board to the southeast corner of building allowing more cars to be in line and reducing congestion on the alley.

David Drake entertained a motion. Sandra Hash made a motion to approve the Development Plan for Biggy Coffee with the conditions the menu board is moved to the southeast corner of building, employee parking is added to the grassy area south of existing asphalt, and the owner repairs the existing asphalt alley within his property line if the compaction test fails, before the issuance of the Certificate of Occupancy. Steve Hale seconded. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Sandra Hash-yes; Pamela Samples-yes; Ryan Skaggs-yes; and Pat Wesolowski-yes. Motion Carried.

Planning Department Updates

Denise Line, Planning Director, advised next month's meeting is on January 11, 2024. She presented a plaque to Sandra Hash for her 23 years serving on the Plan Commission.

Plan Commission Comments

Privilege of the Floor

Adjournment

David Drake adjourned the meeting at 6:51 p.m.

David Drake, President

Dan Swafford, Vice President

Ryan Skaggs

Steve Hale

Sandra Hash

Pamela Samples

Pat Wesolowski

Mike Burns, Secretary



Town of Ellettsville

Department of Planning & Development

PC 24-01 – Development Plan Petition Staff Report

Petition

Case - PC 24-01 –Optometry Clinic. A request by Zac Short for development plan approval of an optometry clinic. The subject property is located at 5011 W. Charlestowne Way.



Zoning District	Property Use
North: C-3; General Commercial	Ellettsville Fire Department
South: R-3; Multi-Family Residential	Single Family Residential
East: C-3; General Commercial	Retail Shopping Center
West: C-3; General Commercial	Commercial Business

Considerations

1. The applicant is requesting approval of a development plan to construct an optometry clinic totaling 1.32 acres.
2. The property is zoned C-3; General Commercial, and the use is permitted by right.
3. The business will be accessed from W. State Road 46.
4. The Technical Advisory Committee met on November 12th and reviewed the plans as submitted. No significant deficiencies were reported, notes from the meeting are as follows:
 - Title Sheet – correct address and add “Development Plan”.
 - Add an additional accessible parking space.
 - Change all sidewalks to be five (5) feet.
 - Fire hydrant behind Jack’s Defeat Creek Mall is not easily accessible.
 - Knox Box System.
 - Building does not need a sprinkler system.
 - Petitioner’s engineer to check on the fire alarm.
 - Not a Town street
 - Will follow the recommendations from Rick Coppock for stormwater drainage.
 - A stop sign will need to be added for entering the street from the parking lot.
 - Title sheet - Change the note and contact information for the sanitary sewer to state the requirements shall be in accordance with the Eastern Richland Sewer Corporation sewer specifications.
 - Show and label the existing storm sewers to delineate them from the proposed storm sewers.
 - Provide the inverts and the casting number where the proposed storm drains tie into the existing storm inlet in Charlestowne Way.
 - Currently the plan shows three parking lot underdrains crossing Charlestowne Way and connecting to the existing water quality pond on the west side of the road. These underdrain outlets will need to be connected and have only one crossing under the road or preferably connect to the existing inlet the storm sewer connects to at the drive location.
 - The spot elevation label on the sidewalk connection to W. State Road 46 needs to be corrected at the connection to the building sidewalk.
 - Show a curb detail for DC1 that indicates a 1½ inch lip to maintain the flow in the gutter line to the inlet. Provide additional spot elevations at the drive to prevent Charlestowne Way from draining into the parking lot.
 - Didn’t see anything separating the parking area and the sidewalk such as a curb. Will the separation be done with curbing or will parking bumpers be specified?
 - The storm inlet detail for a Type E inlet has not been provided. Details are provided for asphalt pavement, Inlet type A, standing curb and curb and gutter. Are these used on the project?
 - The retaining wall detail has not been included. The wall will need to be a reinforced concrete wall based on the location. Modular retaining walls will not be approved.
 - Check and have the water meter location approved by the utilities department.
 - The existing sanitary manhole in the parking will need the casting adjusted to grade and modifications approved by Eastern Richland Sewer Corp.
 - Handicap ramps will need to be provided on each side of the drive.
 - Show landscaping / street trees along the SR 46 and Charlestowne Way frontage.
 - Check with Ellettsville Utilities for the grease trap requirements.

5. The development plan meets the minimum requirements of the Ellettsville Town Code and Tech Review comments have been addressed.
6. Plan Commission shall consider the following in determining whether to approve a development plan:
 - a. Compatibility of the development plan with surrounding land uses;
 - b. Compatibility of the development plan with the recommendations of the comprehensive plan;
 - c. Adequate provisions for internal management of traffic;
 - d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
 - e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;
 - f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
 - g. Adequate on-site management of stormwater, and erosion control;
 - h. Adequate provision for green space and or landscaping;
 - i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
 - j. Adequate protection of existing limestone structures; and
 - k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
7. There are approximately 23 parking spaces and two (2) accessible parking spaces. Town Code provides for one (1) space per two patients and one (1) space per peak-hour staff. It is unknown at this time the number of patients or peak-hour staff. Therefore, staff finds the parking for the business is sufficient.
8. The site meets or exceeds all setback requirements.
9. When necessary to accommodate the particular needs of the development plan under review or the particular needs of the community which will be impacted, higher standards and greater requirements shall be included as required by the Plan Commission.

Plan Commission Action

The Plan Commission action on the development plan can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration No. 6.

- a. *Compatibility of the development plan with surrounding land uses.*
 Optometry clinics are permitted by right in the C-3 district, and, therefore, would be considered compatible with surrounding land uses. In addition, the use will have little direct impact on adjacent properties.
- b. *Compatibility of the development plan with the recommendations of the comprehensive plan.*

Commercial uses are encouraged along W. State Road 46.

c. Adequate provisions for internal management of traffic.

Traffic will enter and exit from W. State Road 46 and adequate traffic flow has been accommodated in the Development Plan. The Fire Department has approved the radius of turns and curves on the Development Plan. The number of parking spaces is sufficient.

d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.

All traffic should come from W. State Road 46. There is no reason for concern at this time as it also serves as ingress/egress for Charlestowne Manor.

e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.

Infrastructure will be included on site as required by Fire and Building codes.

f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.

W. State Road 46 is maintained by the Indiana Department of Transportation.

g. Adequate on-site management of stormwater, and erosion control.

Stormwater and erosion control will be managed in accordance with Town and State regulations.

h. Adequate provision for green space and or landscaping.

The Petitioner has voluntarily included landscaping for the project along W. Charlestowne Way.

i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.

The Petitioner voluntarily agreed to include landscaping which will serve as a buffer along W. Charlestowne Way.

j. Adequate protection of existing limestone structures.

There are no limestone structures indicated on site.

k. Provision of pathways, trails and our sidewalks for all non-industrial developments.

Sidewalks will be added pursuant to the Development Plan.

As of the time of the writing of this report, there have been no written concerns regarding the development plan received by Staff.

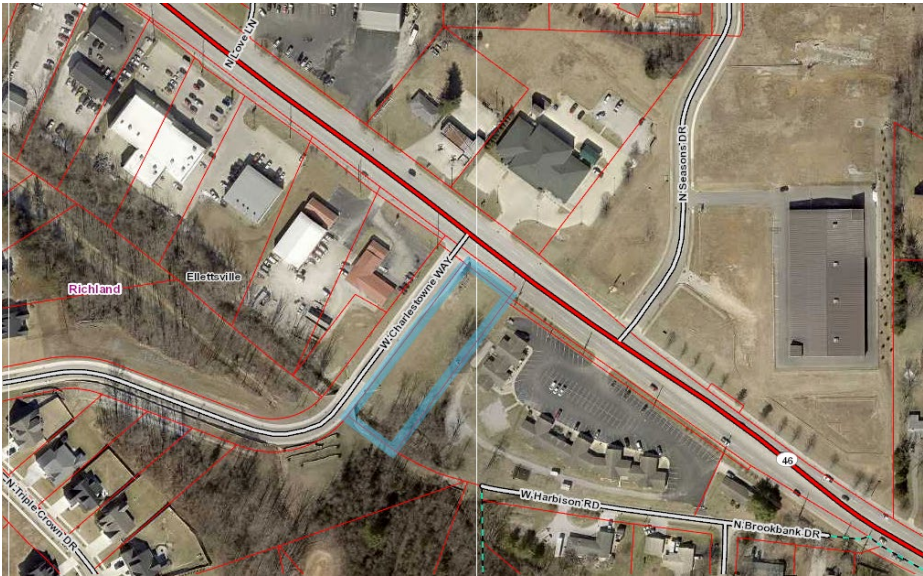
Development Plan approval shall be predicated on the criteria listed under consideration No. 6. If the Plan Commission does find that the development plan is in agreement with those items, the Plan Commission shall approve the development plan. Additionally, the Plan Commission may include any conditions they feel are necessary and relevant to develop the property in an appropriate manner.

Recommendations from the Technical Review Meeting either have been addressed or will be addressed by the time of building approval. Additionally, it is Staff opinion that the requirements of the Development Plan section from the Town of Ellettsville Code of Ordinances have been reasonably achieved. Staff recommends the Plan Commission approve the development plan with the following conditions: (1) Provide approval (in writing) from Utilities for the water meter location; (2) Provide documentation from Ellettsville Utilities as to whether a grease trap is required; and (3) a landscape buffer along W. State Road 46.

The Plan Commission may add conditions only to the extent they are relevant to the overall benefit to the Town. If the Plan Commission does not find that all criteria have been met, they shall state specifically which criteria have not been met and how they could reasonably be achieved.

Submitted by Denise Line
Director, Ellettsville Planning
January 11, 2024

Site Photos





Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes

Optometry Clinic

Project Description

Location: 5011 W. Charlestowne Way
Size: 1.32 +/- Acres
Current Zoning: C-3: General Commercial

Planning

- Title Sheet – correct address and add “Development Plan”.
- Add an additional accessible parking space.
- Change all sidewalks to be five (5) feet.

Fire

- Fire hydrant behind Jack’s Defeat Creek Mall is not easily accessible.
- Knox Box System.
- Building does not need a sprinkler system.
- Petitioner’s engineer to check on the fire alarm.

Street

- Not a Town street
- Will follow the recommendations from Rick Coppock for stormwater drainage.
- A stop sign will need to be added for entering the street from the parking lot.

Engineer

- Title sheet - Change the note and contact information for the sanitary sewer to state the requirements shall be in accordance with the Eastern Richland Sewer Corporation sewer specifications.
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- Check with Ellettsville Utilities for the grease trap requirements.

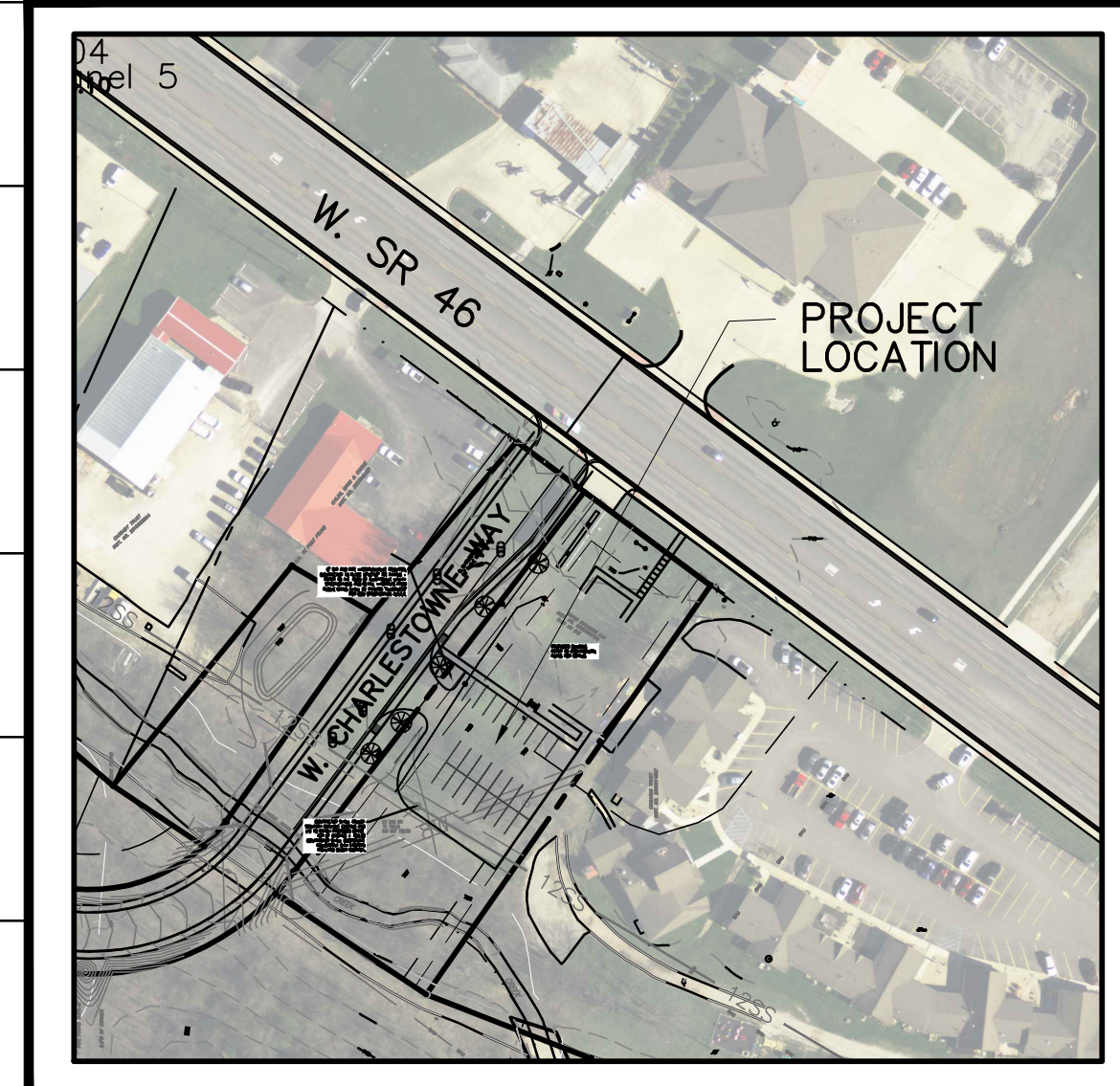
Summary

The Development Plan request is for an Optometry Clinic. The Technical Review Committee met on December 12, 2023, to discuss the Development Plan. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer; Planning Director Denise Line; Assistant Planner, Mike Burns; Kip Headdy, Street Commissioner, Fire/Commercial Inspector Ron Vandeventer. Also, in attendance was A.J. Willis, Project Engineer and representative for the Petitioner. Town Engineering Consultant, Rick Coppock, provided his comments by email. Comments included are those that have been received by the Planning Department. Any additional comments from the Technical Review committee that are not listed above shall still be taken into consideration. Plan Commission should approve the development plan after the above-mentioned items have been addressed but may also add conditions as they see fit. Any requested revisions may be submitted in electronic form, with paper copies only necessary after Plan Commission approval.

Submitted by Denise Line
Director, Ellettsville Planning
December 12, 2023

PROPOSED: 5079 W. SR 46 CHARLESTOWNE DEVELOPMENT PLAN

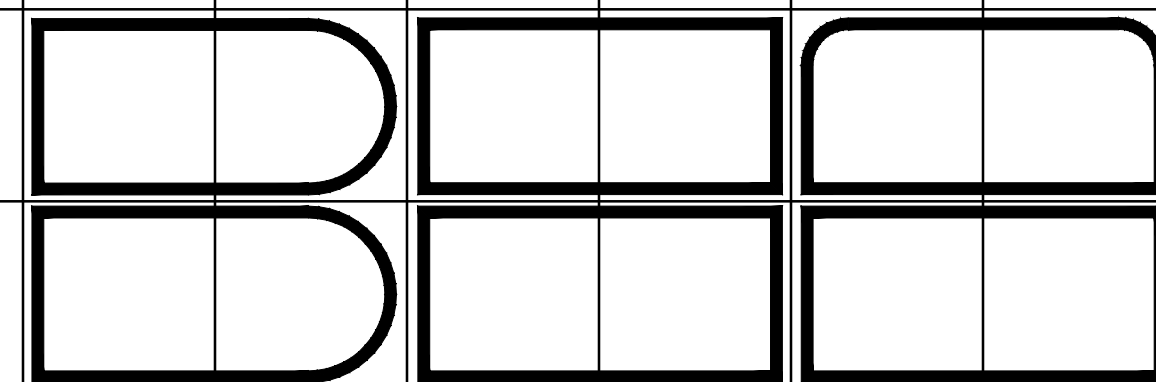
5079 W. SR 46
ELLETTSVILLE, INDIANA 47404



VICINITY/LOCATION MAP
NOT TO SCALE

UTILITY CONTACT INFORMATION			
GAS VECTREN 205 S. MADISON ST. BLOOMINGTON, IN 47401 DOUG ANDERSON (812)330-4009	WATER TOWN OF ELLETTSVILLE, IN 1150W GUY MCCOWN DRIVE ELLETTSVILLE, INDIANA 47429 (812) 876-2297	SEWER EASTERN RICHLAND SEWER CORP. DUKE ENERGY PO BOX 505 ELLETTSVILLE, INDIANA 47429 (812) 876-2297	ELECTRIC 1619 W. DEFFENBAUGH ROAD KOKOMO, INDIANA 46902 JM SHIELDS (317)375-2071
TELEPHONE SMITHVILLE TELEPHONE 1600 W TEMPERANCE STREET ELLETTSVILLE, INDIANA 47429 (812) 876-2211	CABLE TELEVISION COMCAST 2450 SOUTH HENDERSON STREET BLOOMINGTON, IN 47404 SCOTT TEMPLETON (812)355-7822	UNDERGROUND UTILITY LOCATION INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5544	

SHEET INDEX	
SHEET NO.	SHEET NO.
C101	GENERAL NOTES
C201	SITE, UTILITY, AND LANDSCAPE PLAN
C301	GRADING & DRAINAGE PLAN
C401-C402	MISCELLANEOUS DETAILS



BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana 47404 (812) 332-8030

architecture
civil engineering
planning

<p>OWNER/DEVELOPER: CEA BUILDERS LLC (ZAC SHORT) 4540 N. TRIPLE CROWN DRIVE BLOOMINGTON, IN 47404</p>	<p>THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS</p>		<p>Certified By: JEFFREY S. FANYO, P.E. IND. REG. NO. 60018283</p>	<p>Revisions 5079 W. SR 46 CHARLESTOWNE PROJECT NO. 402356</p>
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GENERAL NOTES

1. BOUNDARY AND TOPO BY BYNUM FANYO AND ASSOCIATES, 528 NORTH WALNUT STREET, BLOOMINGTON, INDIANA 47404. PHONE (812) 332-8030
2. DEVELOPER: BARDI BUILDERS, LLC
3. PROJECT ADDRESS: 5079 W ST RD 46, BLOOMINGTON, INDIANA 47404
4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.
7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
8. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

GENERAL LEGEND

	PROPERTY LINE
	PROPERTY LINE
xxx/xxx	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGEND

- PROPOSED PRIVATE DOMESTIC SERVICE LINE:** DSL
FOR 2-INCH OR LESS SERVICE LINES FROM THE "W/L" TO THE METER SHALL BE EITHER TYPE "X" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MIN., REFER TO THE "P" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION. ONE LINE SHOWN SHALL BE CONNECTED AND SPLIT WITH VALVES AS INDICATED FOR ALL DOMESTIC AND COMMERCIAL PORTIONS OF THE BUILDINGS. SEE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.
- PROPOSED PUBLIC 6" FIRE HYDRANT LINE:** 6W
DUCTILE IRON PIPE SHALL BE MANUFACTURED BY AMERICAN, GRIFFIN, OR U.S. PIPE IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.51 AND AWWA C151. FOR 3-INCH THROUGH 12-INCH DIAMETER DIP, PRESSURE CLASS SHALL BE 350 THE MATERIAL AND CONSTRUCTION OF FITTINGS SHALL BE SIMILAR TO THOSE OF THE PIPES, FITTINGS WITH MECHANICAL JOINTS, BELL, AND SPOGOT JOINTS, AND FLANGE JOINTS, SHALL CONFORM TO THE DIMENSIONS AND WEIGHTS IN ACCORDANCE WITH THE LATEST REVISIONS OF AWWA C-110, ANSI A21.10, OR AWWA C-153, ANSI A21.53. FITTINGS SHALL BE CEMENT-LINED AND COATED AS STATED IN 4.4.4.1.1., OR MAY BE COATED WITH A 6 TO 8 MIL NOMINAL THICKNESS FUSION-BONDED EPOXY COATING CONFORMING TO ANSI/AWWA C550 AND C116/A21.16. SEE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.
- PROPOSED WATER VALVE PER TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS**
- PROPOSED FIRE HYDRANT, HYDRANTS FROM PRIVATE MAINS SHALL BE PAINTED YELLOW PER TOWN OF ELLETTSVILLE UTILITY SPECIFICATION 4.4.4.4, REFER TO DETAIL**
- 2" DOMESTIC METER YOKES/SETTER IN A 30" METER PIT PER CBU STANDARDS. COORDINATE FINAL SIZE OF REQUIRED METER WITH TOWN OF ELLETTSVILLE UTILITIES**
- PROPOSED ASTM D3034 SDR 35 PVC 6" MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS, 24" COVER MIN., REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS LEAVING PROPOSED BUILDING, SLOPE AT 1.04% MIN. TO CONNECTION TO PROPOSED SANITARY MAIN AS SEEN ON THE PLAN - REFER TO CONNECTION DETAIL. BACKFILL DETAIL OF PROPOSED PIPING AND CLEANOUT DETAIL - NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.**
- SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL SHADED AREAS**
- NOTE: ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.**

PARKING AND PAVEMENT NOTES

1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC DEVICES, 1988 EDITION AS AMENDED.
2. ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE ON ASPHALT PAVEMENT / YELLOW ON CONCRETE PAVEMENT AND SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE. ALL CURB RADIUS ARE TO BE 5' UNLESS INDICATED OTHERWISE.
4. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
5. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
6. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOLS.
7. CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL AT ALL INTERSECTIONS).
8. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY A.G.C. OF AMERICA, INC. AND THE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

EROSION CONTROL LEGEND

EXISTING CONTOUR		-----XXX-----
PROPOSED CONTOUR		-----XXX-----
TEMPORARY SILTATION FENCE, REFER TO DETAIL		---SF---
CONSTRUCTION LIMITS: DELINEATED BY PROPERTY LINE UNLESS OTHERWISE SPECIFIED		---CL---
TEMPORARY MULCH SEEDING - REFER TO DETAILS		MS
25' x 100' STONE PAD, 6" DEEP TO KEEP FROM TRACKING MUD OFF SITE - REFER TO DETAIL (TEMPORARY DURING CONSTRUCTION)		SP
TEMPORARY CONCRETE WASHOUT AREA - REFER TO DETAIL		CW
PERMANENT EROSION CONTROL MATTING - CURLEX NET-FREE BRAND 100% BIO-DEGRADABLE EROSION CONTROL BLANKET OR APPROVED EQUIVAL - REFER TO DETAIL		EC
NORTH AMERICAN GREEN BRAND SERIES SC-250' TURF REINFORCEMENT MATTING - PERMANENT - APPLY TO POND EMERGENCY OVERFLOW AS INDICATED		TR
D-50 RIP-RAP STORM OUTLET PROTECTION - REFER TO DETAIL AND PLAN FOR MIN. QUANTITY (PERMANENT)		RR
TEMPORARY SEDIMENT TRAP (TEMPORARY) AND TEMPORARY GRADING - REFER TO PLAN FOR LOCATIONS AND DETAILS ON DRAINAGE DETAILS SHEET (8602)		ST
GRAVEL YARD INLET PROTECTION (TEMPORARY) (TO BE USED ON ALL YARD INLETS) REFER TO DETAIL		DI
GRAVEL DONUT DROP INLET PROTECTION (TEMPORARY) - REFER TO DETAILS		DD
GRAVEL CURB INLET PROTECTION (TEMPORARY) (TO BE USED ON ALL CURB INLETS WITHIN THE SITE) - REFER TO DETAIL		CP
DANDY CURB BAG OR APPROVED EQUAL (TEMPORARY) (TO BE USED ON ALL CURB INLETS WITHIN PUBLIC ROADWAY) - REFER TO DETAIL AND MANUFACTURES SPECIFICATIONS		DB

EXISTING LEGEND

EXISTING FENCE		-X-X-X-
EXISTING WATER LINE		-W-
EXISTING OVERHEAD UTILITY LINES		-OHU-
EXISTING UNDERGROUND ELECTRIC LINES		-UGE-
EXISTING UNDERGROUND TELEPHONE LINES		-UGT-
EXISTING UNDERGROUND FIBER OPTIC LINES		-FO-
EXISTING GAS LINE		-GAS-
EXISTING SANITARY FORCEMAIN		-FM-
EXISTING CONTOUR		-----XXX-----
FLOW LINE		---->-->-->-->-->-->-->-->-->-->-->-->-->-->
EXISTING SANITARY SEWER AND MANHOLE		-O-
EXISTING STORM SEWER AND INLET		-S-
PROPERTY LINE		-----XXX-----

GRADING NOTES

1. NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED OR PLANTED.
2. AREAS OUTSIDE OF THE PAVEMENT PERIMETERS SHOWN TO BE SEEDED OR PLANTED SHALL RECEIVE 6" OF TOPSOIL. THIS TOPSOIL IS TO BE PLACED AND LEVELED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELOCATION OF THE FACILITY.
4. ALL AREAS NOT COVERED BY BUILDING OR PAVING ARE TO BE VEGETATED (SEEDED OR PER LANDSCAPE PLAN).
5. UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
6. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
7. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
8. CONTRACTOR SHALL COMPACT AND MAINTAIN A 30,000 SQ. FT. STONEBASE CONSTRUCTION LAYDOWN AREA W/ STONE ACROSS FROM THE CONSTRUCTION ENTRANCE AND STONE ACCESS TO THE BUILDING PAD.
9. THESE DOCUMENTS ARE SCHEMATIC IN NATURE AND CANNOT SHOW EVERY ITEM NEEDED FOR A COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATING STORM SYSTEM.
10. ALL FILL SHALL BE FREE OF VEGETABLE MATTER, RUBBISH, LARGE ROCK, AND OTHER DELETERIOUS MATERIAL. THE FILL MATERIAL SHOULD BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AS REQUIRED TO SECURE SPECIFIED COMPACTION. EACH LAYER SHOULD BE UNIFORMLY COMPACTED BY MEANS OF SUITABLE EQUIPMENT AS DICTATED BY THE TYPE OF FILL MATERIAL. UNDER NO CIRCUMSTANCES SHOULD A BULLDOZER OR SIMILARLY TRACKED VEHICLE BE USED AS COMPACTING EQUIPMENT. MATERIAL CONTAINING AN EXCESS OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF THE MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM DENSITY TEST D-698 (95 PERCENT OF MAXIMUM DRY DENSITY). IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET, SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE REACHED.

SITE IMPROVEMENT LEGEND

- (A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
- (C) PROPOSED REINFORCED CONCRETE PAVING - REFER TO DETAIL
- (F) PROPOSED CONCRETE PATIO OR SIDEWALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL. SIDEWALKS TO BE 4' WIDE MIN. TO RESIDENTIAL UNITS AND 5' WIDE MIN. ON PUBLIC SIDEWALKS UNLESS NOTED OTHERWISE
- (P) PROPOSED PERMEABLE BRICK PAVERS - REFER TO PERMEABLE BRICK PAVER SECTION DETAIL
- (SB) PROPOSED CONCRETE PATIO CURB - REFER TO PERMEABLE BRICK PAVER SECTION DETAIL
- (DCI) PROPOSED DEPRESSED CURB AND GUTTER - CONTRACTOR TO REFER TO DETAIL FOR "CONCRETE CURB AND GUTTER" BUT WITH 1 1/2" CURB HEIGHT TO CREATE A CURB AND GUTTER LOOK WHERE INDICATED TO MATCH EXISTING
- (DC) PROPOSED DEPRESSED CURB - CONTRACTOR TO REFER TO DETAIL FOR "CONCRETE STANDING CURB" BUT WITH 0" CURB HEIGHT TO CREATE A CURB LOOK WHERE INDICATED
- (R1) PROPOSED CONCRETE SIDEWALK TRANSITION TYPE '1' - REFER TO DETAIL
- (R2) PROPOSED CONCRETE SIDEWALK TRANSITION TYPE 'K' - REFER TO DETAIL
- (Z1) PROPOSED PARKING MARKING; PAINTED, SOLID, WHITE, 4" WIDE
- (Z1A) PROPOSED ADA PARKING MARKING AND CROSS-HATCH; PAINTED, SOLID, BLUE - REFER TO DETAIL
- (APS) ACCESSIBLE RESERVED PARKING SIGN, REFER TO DETAIL
- (VA) VAN ACCESSIBLE SUPPLEMENTAL SIGN ACCORDING TO NATIONAL ADA STANDARDS - FASTEN BELOW ACCESSIBLE RESERVED PARKING SIGN WHERE INDICATED, REFER TO DETAIL
- (RW) PROPOSED GABION BASKET RETAINING WALL - REFER TO DETAIL
- (SI) PROPOSED CONCRETE STAIRS WITH CHEEK WALLS AND HANDRAILS AS INDICATED ON PLANS - REFER TO THESE PLANS FOR DETAILS
- (S) PROPOSED CONCRETE STAIRS - NO HANDRAIL REQUIRED - 4' LONG STEPS, 6" TALL AS INDICATED ON GRADING PLAN WITH 2% MAX. SLOPE ON EACH STAIR
- (XX) PROPOSED NUMBER OF PARKING SPACES PER LOT
- SEE ARCHITECTURAL & STRUCTURAL DRAWINGS/SPECIFICATIONS FOR ALL SHADED AREAS

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, VIGOROUS CONDITION AND BE FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES SHALL BE STRAIGHT-TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES SHALL BE GUYED OR STAKED PLUMB AS SHOWN IN THE DETAILS.
5. ALL PLANTING MASS BEDS SHALL BE SPADE CUT UNLESS SPECIFIED WITH A MOW STRIP OR OTHER INSTALL EDGING. TREES TO HAVE A 5' DIAMETER MULCH RING.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, PRUNING, FERTILIZING, ETC., UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
13. ANY NEW OR TRANSPLANTED PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFLORIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUND COVER, ANNUAL AND HERBACEOUS PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. DURING THE GROWING SEASON ALL ANNUALS AND HERBACEOUS PERENNIALS SHALL REMAIN IN A HEALTHY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN ON PLANS.
19. ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DEBRIS-RAKED AND FINED-GRADED AS NEEDED, THEN MULCH SEEDED (OR SOODED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF IS ESTABLISHED.
20. ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

GRADING/DRAINAGE LEGEND

EXISTING CONTOUR		-----XXX-----
PROPOSED CONTOUR		-----XXX-----
PROPOSED INTENDED FLOWLINE DIRECTION		-FLX-
PROPOSED SPOT GRADE ELEVATION		XXXX.XX
TC=PROPOSED TOP OF CURB ELEVATION		TC=XXXX.XX
EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB		EP=XXXX.XX
TS=PROPOSED TOP OF STAIR ELEVATION		TS=XXXX.XX
BS=PROPOSED BOTTOM OF STAIR ELEVATION		BS=XXXX.XX
TW=PROPOSED TOP OF WALL ELEVATION		TW=XXXX.XX
BW=PROPOSED BOTTOM OF WALL ELEVATION		BW=XXXX.XX
FINISH FLOOR ELEVATION		FF=XXXX.XX
FINISH EDGE OF PAVEMENT AT GRADE		EF=XXXX.XX
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES		MEG=XXXX.XX
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER CBU STANDARDS. ALL STORM SEWER INFRASTRUCTURE SHALL BE PRIVATELY OWNED AND MAINTAINED UNLESS NOTED OTHERWISE ON THE PLANS.		-S-
PROPOSED DUAL WALL TYPE 'S' HOPE PERFORATED STORM PIPE UNDERDRAIN WRAPPED IN A SOCK SLOPED AT 0.5% MIN. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT, REFER TO POND DETAILS FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.		-4UD C.O.-
PROPOSED DUAL WALL TYPE 'S' HOPE PERFORATED STORM PIPE UNDERDRAIN WRAPPED IN A SOCK SLOPED AT 0.5% MIN. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT DETAIL.		-6UD C.O.-
PROPOSED 6" SDR 35 PVC PIPE TO POINT OF DISCHARGE AS SHOWN ON PLANS, 0.50% SLOPE MIN. WITH 24" COVER MIN. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT DETAIL.		-6ST C.O.-
STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILTRATION AND FOR GROWING GRASSES, SEDGES, PERENNIALS AND FORBS AS SPECIFIED ON THE LANDSCAPE PLAN. SEE SHEET C702 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE		SQ
SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS		

ON-SITE UTILITY NOTES

1. ALL WATER PIPE 6" AND LARGER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING TO ALL STATE AND LOCAL STANDARDS.
2. WATER MAIN FITTINGS 6" AND LARGER SHALL BE DUCTILE IRON CONFORMING TO AWWA/ANSI STANDARD SPECIFICATIONS C153/A21.53, LATEST REVISION.
3. 2" WATER MAINS SHALL BE SDR-21 (PR200) AND 4" PIPE MAY BE EITHER SDR-21 (PR200) OR C900 (DR-14).
4. ALL WATER SERVICE LINES CONNECTING TO 2" PVC MAINS SHALL BE 1" TYPE "K" COPPER. ALL SERVICE LINES FROM MAIN TO METER SHALL BE TYPE "K" COPPER WITH FLARED ENDS.
5. MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL WATER LINE BENDS, OFFSETS, TEES, PLUGS, ETC...
6. ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES AND TAPPING VALVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED, WITH RESILIENT SEAT AND NON-RISING STEM AND SHALL BE MANUFACTURED BY M & H VALVE COMPANY, DARLING VALVE AND MANUFACTURING COMPANY, KENNEDY VALVE COMPANY, OR MUELLER COMPANY.
7. FLUSH HYDRANTS SHALL BE PLACED AT THE ENDS OF ALL WATER MAINS AND AT ANY HIGH POINTS IN THE LINE.
8. AIR RELEASE VALVES SHALL BE PROVIDED AT ALL HIGH POINTS OF WATER MAINS AND SHALL BE VAL-MATIC BRAND AND SHALL INCORPORATE THE OPTIONAL VACUUM-CHECK FEATURE.
9. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN OR MUELLER CENTURIUM.
10. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
11. WATER AND SANITARY SEWER MAINS SHALL HAVE A MINIMUM COVER OF 4'-0" ABOVE TOP OF PIPE.
12. ALL SPRINKLER, DOMESTIC, AND SANITARY LEADS TO THE BUILDING SHALL END AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
13. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18").
14. GRAVITY SANITARY SEWER PIPE 6" TO 15" SHALL BE CONSTRUCTED OF SDR-35 PVC.
15. THE UPSTREAM ENDS OF ALL SANITARY SEWER LATERALS SHALL BE CLEARLY MARKED WITH A 4x4 TREATED POST EXTENDING 3' BELOW GRADE AND 1' ABOVE GRADE.
16. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
17. SEE SITE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS.
18. SITE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
19. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
20. ALL CATCH BASIN GRATE AND FRAMES ARE TO BE BY EAST JORDAN IRON WORKS.
21. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
22. BUILDING CONTRACTOR SHALL PROVIDE & INSTALL A PERMANENT INDICATING VALVE 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST & WILL REMAIN AS PART OF THE SYSTEM ONCE ALL TESTING IS COMPLETED. THE FIRE LINE MAIN WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE FIRE MAIN WITH THE BUILDING CONTRACTOR.
23. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ELLETTSVILLE UTILITIES PRIOR TO THE START OF CONSTRUCTION.
24. CONTRACTOR SHALL NOTIFY THE TOWN OF ELLETTSVILLE UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A T.O.E. INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS WEEKENDS, A T.O.E. DESIGNATED HOLIDAY, OR BEYOND NORMAL T.O.E. WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR T.O.E. WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE TOWN OF ELLETTSVILLE UTILITIES ENGINEERING DEPARTMENT AT (812)876-2297.

revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BYNUM FANYO & ASSOCIATES, INC.

bloomington, Indiana
(812) 332-2990 (Fax)

528 north walnut street
(812) 332-8030

certified by:

PROPOSED
5079 W SR 46 CHARLESTOWNE
DEVELOPMENT PLAN
5079 W SR 46
ELLETTSVILLE, IN

title: GENERAL NOTES & LEGENDS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C101
project no.: 402356

NOTE: ONLY NOTES ON THIS SHEET MARKED WITH AN APPLY TO THIS PROJECT.

NOTE TO CONTRACTOR

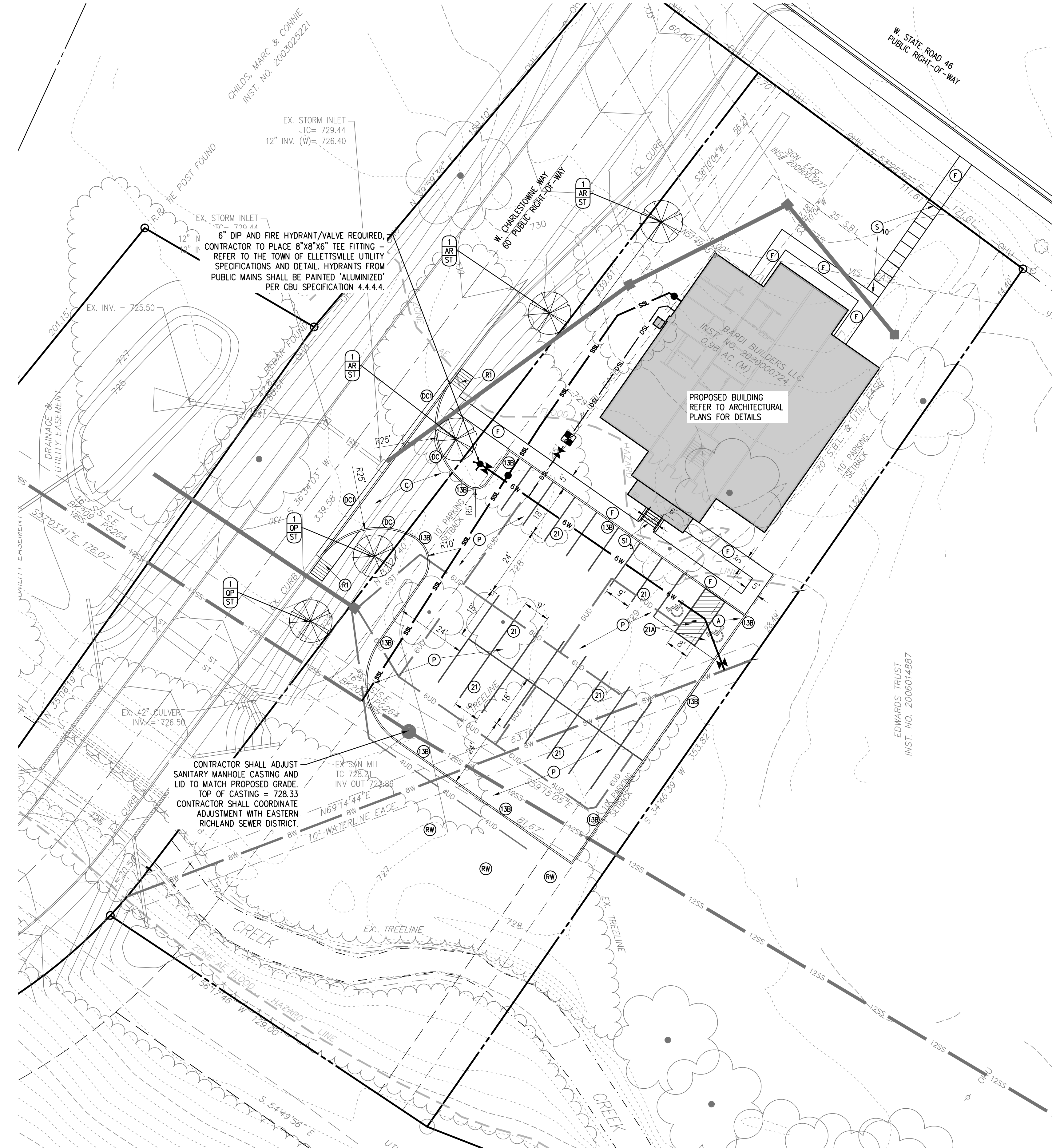
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

EXISTING LEGEND

EXISTING FENCE	— X — X — X
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	— XXX —
FLOW LINE	—>>>
EXISTING SANITARY SEWER AND MANHOLE	— ○ —
EXISTING STORM SEWER AND INLET	— □ —
PROPERTY LINE	— — — —

GENERAL LEGEND

— — — —	PROPERTY LINE
— · — · —	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT



SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
(C)	PROPOSED REINFORCED CONCRETE PAVING - REFER TO DETAIL
(F)	PROPOSED CONCRETE PATIO OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL. SIDEWALKS TO BE 4' WIDE MIN. TO RESIDENTIAL UNITS AND 5' WIDE MIN. ON PUBLIC SIDEWALKS UNLESS NOTED OTHERWISE
(P)	PROPOSED PERMEABLE BRICK PAVERS - REFER TO PERMEABLE BRICK PAVER SECTION DETAIL
(13B)	PROPOSED CONCRETE PATIO CURB - REFER TO PERMEABLE BRICK PAVER SECTION DETAIL
(DC1)	PROPOSED DEPRESSED CURB AND GUTTER - CONTRACTOR TO REFER TO DETAIL FOR 'CONCRETE CURB AND GUTTER' BUT WITH 1 1/2" CURB HEIGHT TO CREATE A CURB AND GUTTER LOOK WHERE INDICATED TO MATCH EXISTING
(DC)	PROPOSED DEPRESSED CURB - CONTRACTOR TO REFER TO DETAIL FOR 'CONCRETE STANDING CURB' BUT WITH 0" CURB HEIGHT TO CREATE A CURB LOOK WHERE INDICATED
(R1)	PROPOSED CONCRETE SIDEWALK TRANSITION TYPE 'H' - REFER TO DETAIL
(R2)	PROPOSED CONCRETE SIDEWALK TRANSITION TYPE 'K' - REFER TO DETAIL
(21)	PROPOSED PARKING MARKING; PAINTED, SOLID, WHITE, 4' WIDE
(21A)	PROPOSED ADA PARKING MARKING AND CROSS-HATCH; PAINTED, SOLID, BLUE - REFER TO DETAIL
(APS)	ACCESSIBLE RESERVED PARKING SIGN, REFER TO DETAIL
(VA)	VAN ACCESSIBLE SUPPLEMENTAL SIGN ACCORDING TO NATIONAL ADA STANDARDS - FASTEN BELOW ACCESSIBLE RESERVED PARKING SIGN WHERE INDICATED, REFER TO DETAIL
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(S)	PROPOSED CONCRETE STAIRS - NO HANDRAIL REQUIRED - 4' LONG STEPS, 6" TALL AS INDICATED ON GRADING PLAN WITH 2% MAX. SLOPE ON EACH STAIR
(XX)	PROPOSED NUMBER OF PARKING SPACES PER LOT
■	SEE ARCHITECTURAL & STRUCTURAL DRAWINGS/SPECIFICATIONS FOR ALL SHADED AREAS

UTILITY LEGEND

PROPOSED PRIVATE DOMESTIC SERVICE LINE: — DSL —
FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO THE METER SHALL BE EITHER TYPE 'K' COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MIN., REFER TO THE 'P' SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION. ONE LINE SHOWN SHALL BE CONNECTED AND SPLIT WITH VALVES AS INDICATED FOR ALL DOMESTIC AND COMMERCIAL PORTIONS OF THE BUILDINGS. SEE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

PROPOSED PUBLIC 6" FIRE HYDRANT LINE: — 6W —
DUCTILE IRON PIPE SHALL BE MANUFACTURED BY AMERICAN, GRIFFIN, OR U.S. PIPE IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.51 AND AWWA C151. FOR 3-INCH THROUGH 12-INCH DIAMETER DIP, PRESSURE CLASS SHALL BE 350. THE MATERIAL AND CONSTRUCTION OF FITTINGS SHALL BE SIMILAR TO THOSE OF THE PIPES. FITTINGS WITH MECHANICAL JOINTS, BELL AND SPIGOT JOINTS, AND FLANGE JOINTS, SHALL CONFORM TO THE DIMENSIONS AND WEIGHTS IN ACCORDANCE WITH THE LATEST REVISIONS OF AWWA C-110, ANSI A21.10, OR AWWA C-153, ANSI A21.53. FITTINGS SHALL BE CEMENT-LINED AND COATED AS STATED IN 4.4.4.1.1., OR MAY BE COATED WITH A 6 TO 8 MIL NOMINAL THICKNESS FUSION-BONDED EPOXY COATING CONFORMING TO ANSI/AWWA C550 AND C116/A21.16. SEE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

PROPOSED WATER VALVE PER TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS

PROPOSED FIRE HYDRANT, HYDRANTS FROM PRIVATE MAINS SHALL BE PAINTED YELLOW PER TOWN OF ELLETTSVILLE UTILITY SPECIFICATION 4.4.4.4, REFER TO DETAIL

2" DOMESTIC METER YOKESETTER IN A 30" METER PIT PER CBU STANDARDS. COORDINATE FINAL SIZE OF REQUIRED METER WITH TOWN OF ELLETTSVILLE UTILITIES

PROPOSED ASTM D3034 SDR 35 PVC — SBL — C.O.
6" MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS, 24" COVER MIN., REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS LEAVING PROPOSED BUILDING, SLOPE AT 1.04% MIN. TO CONNECTION TO PROPOSED SANITARY MAIN AS SEEN ON THE PLAN - REFER TO CONNECTION DETAIL, BACKFILL DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL SHADED AREAS

NOTE: ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

PLANT LIST

LARGE CANOPY DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
○	QP	QUERCUS PRINUS	CHESNUT OAK	2	2" CAL., B & B
○	AR	ACER RUBRUM	RED SUNSET MAPLE	3	2" CAL., B & B

XX PLANT QUANTITY
XX PLANT TYPE
XX REQUIREMENT DESIGNATION
PL=PARKING LOT PERIMETER PLANTINGS
IP=INTERIOR PLANTINGS
ST=STREET TREES

*CONTAINER OR BALL AND BURLAP CONDITION ACCEPTABLE

NOTE: SPECIES SHOWN THAT ARE NOT LISTED IN THE CITY OF BLOOMINGTON ZONING ORDINANCE, CHAPTER 20.06 TABLES OF RECOMMENDED PLANT MATERIALS ARE GIVEN BOTANICALLY COMPARABLE DENSITY VALUES.

revisions:
08/01/2019

ARCHITECTURE
CIVIL ENGINEERING
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certified by:

PROPOSED
5079 W SR 46 CHARLESTOWNE
DEVELOPMENT PLAN
5079 W SR 46
ELLETTSVILLE, IN

title: SITE, UTILITY, AND LANDSCAPING PLAN

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C201
project no.: 402356

SCALE: 1"=20'

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

GENERAL LEGEND

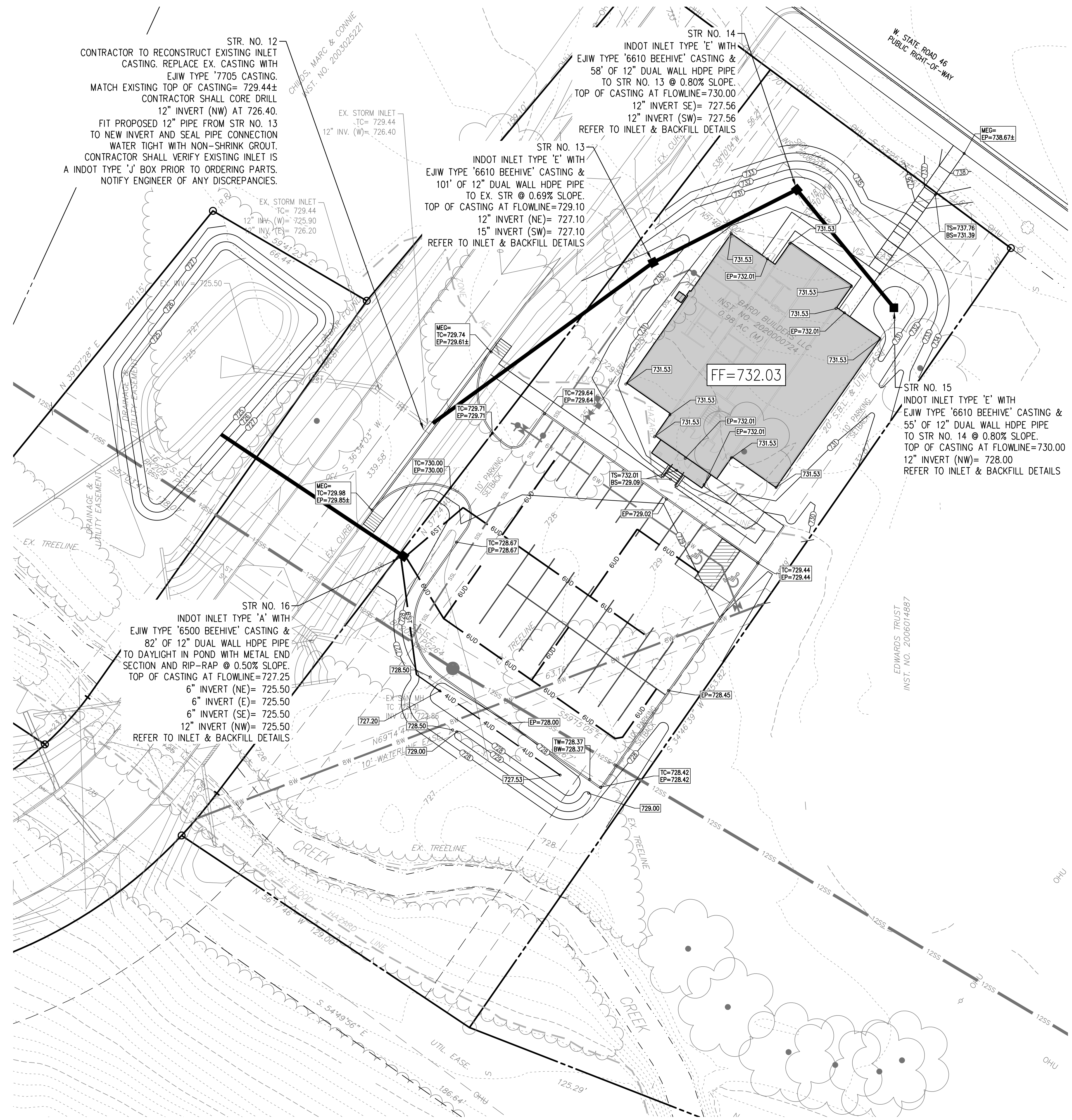
---	PROPERTY LINE
---	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
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X' SBL	SETBACK LINE
	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

EXISTING LEGEND

EXISTING FENCE	
EXISTING WATER LINE	
EXISTING OVERHEAD UTILITY LINES	
EXISTING UNDERGROUND ELECTRIC LINES	
EXISTING UNDERGROUND TELEPHONE LINES	
EXISTING UNDERGROUND FIBER OPTIC LINES	
EXISTING GAS LINE	
EXISTING SANITARY FORCEMAIN	
EXISTING CONTOUR	
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

GRADING/DRAINAGE LEGEND

EXISTING CONTOUR		XXX
PROPOSED CONTOUR		XXX
PROPOSED INTENDED FLOWLINE DIRECTION		FLS
PROPOSED SPOT GRADE ELEVATION		XXXX.XX
TC=PROPOSED TOP OF CURB ELEVATION		TC=XXX.XX
EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB		EP=XXX.XX
TS=PROPOSED TOP OF STAIR ELEVATION		TS=XXX.XX
BS=PROPOSED BOTTOM OF STAIR ELEVATION		BS=XXX.XX
TW=PROPOSED TOP OF WALL ELEVATION		TW=XXX.XX
BW=PROPOSED BOTTOM OF WALL ELEVATION		BW=XXX.XX
FINISH FLOOR ELEVATION		FF=XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE		EP=XXX.XX
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.		MEG=XXX.XX
PROPOSED STORM PIPE AND INLET/MANHOLE. REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER CBU STANDARDS. ALL STORM SEWER INFRASTRUCTURE SHALL BE PRIVATELY OWNED AND MAINTAINED UNLESS NOTED OTHERWISE ON THE PLANS.		4UD C.O.
PROPOSED DUAL WALL TYPE 'S' HOPE PERFORATED STORM PIPE UNDERDRAIN WRAPPED IN A SOCK SLOPED AT 0.5% MIN. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT. REFER TO POND DETAILS FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.		6UD C.O.
PROPOSED DUAL WALL TYPE 'S' HOPE PERFORATED STORM PIPE UNDERDRAIN WRAPPED IN A SOCK SLOPED AT 0.5% MIN. REFER TO PLAN FOR LOCATIONS AND PERMEABLE BRICK PAVEMENT SECTION DETAIL FOR MORE INFORMATION.		6ST C.O.
PROPOSED 6" SDR 35 PVC PIPE TO POINT OF DISCHARGE. AS SHOWN ON PLANS, 0.50% SLOPE MIN. WITH 24" COVER MIN. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT DETAIL.		6ST C.O.
STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILTRATION AND FOR GROWING GRASSES, SEDGES, PERENNIALS AND FORBS AS SPECIFIED ON THE LANDSCAPE PLAN. SEE SHEET C702 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE.		SW
SEE ARCHITECTURAL & STRUCTURAL DRAWINGS. DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS		



revisions:
08/01/2019

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BYNUM FANYO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030
bloomington, indiana
(812) 339-2990 (Fax)

certified by:

PROPOSED
5079 W SR 46 CHARLESTOWNE
DEVELOPMENT PLAN
5079 W SR 46
ELLETTSVILLE, IN

title: GRADING & DRAINAGE PLAN

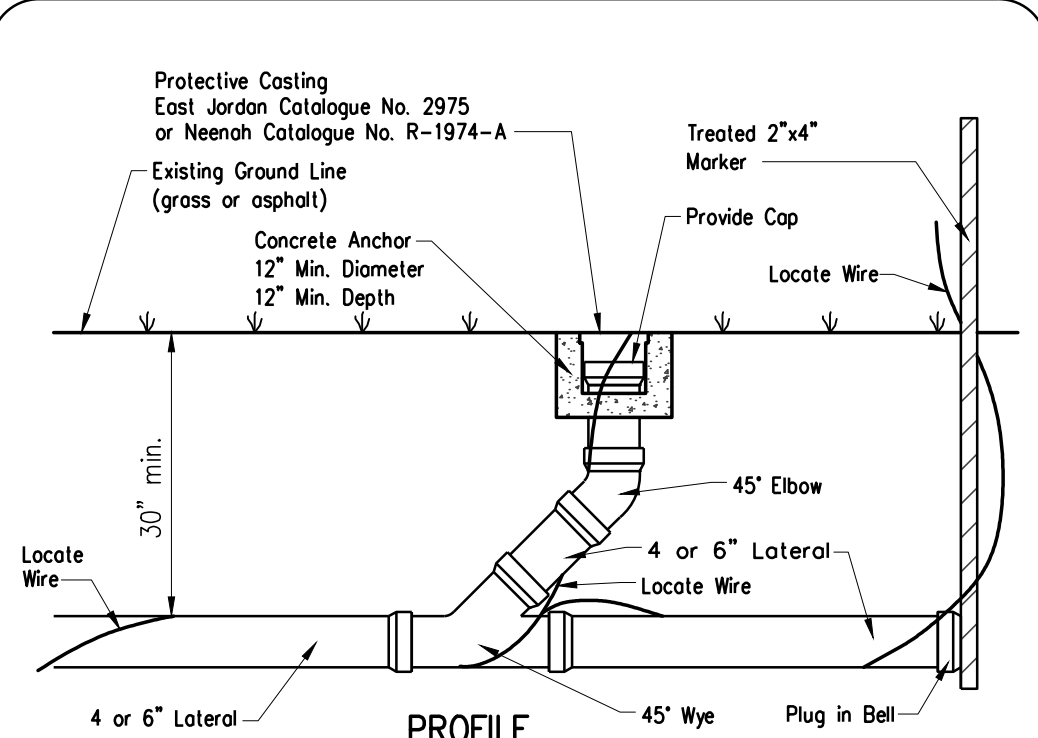
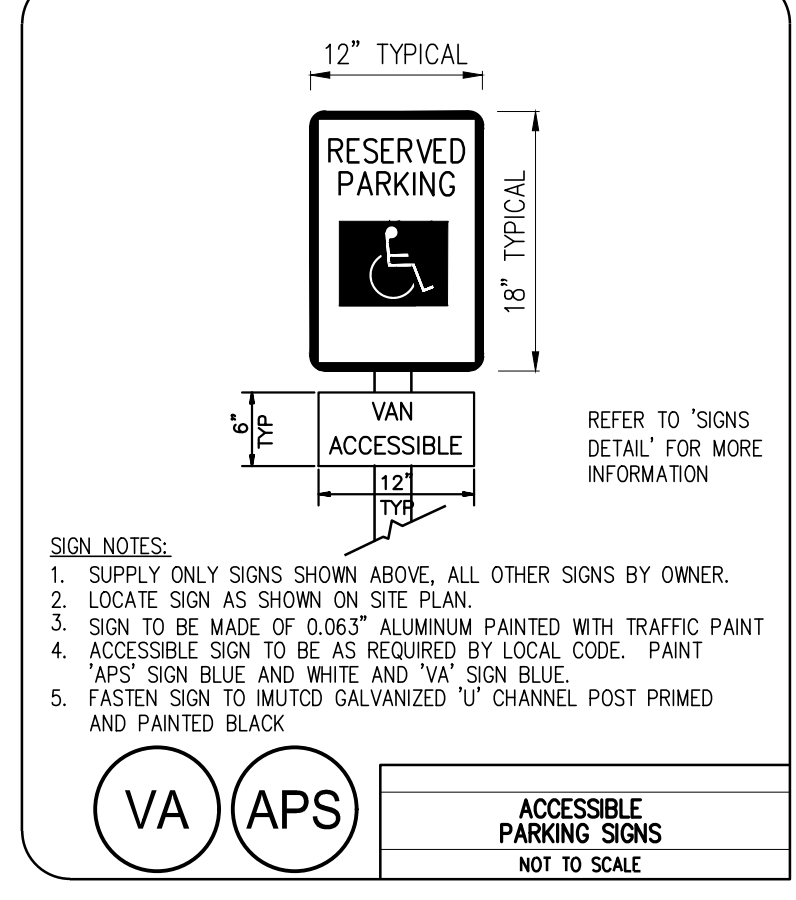
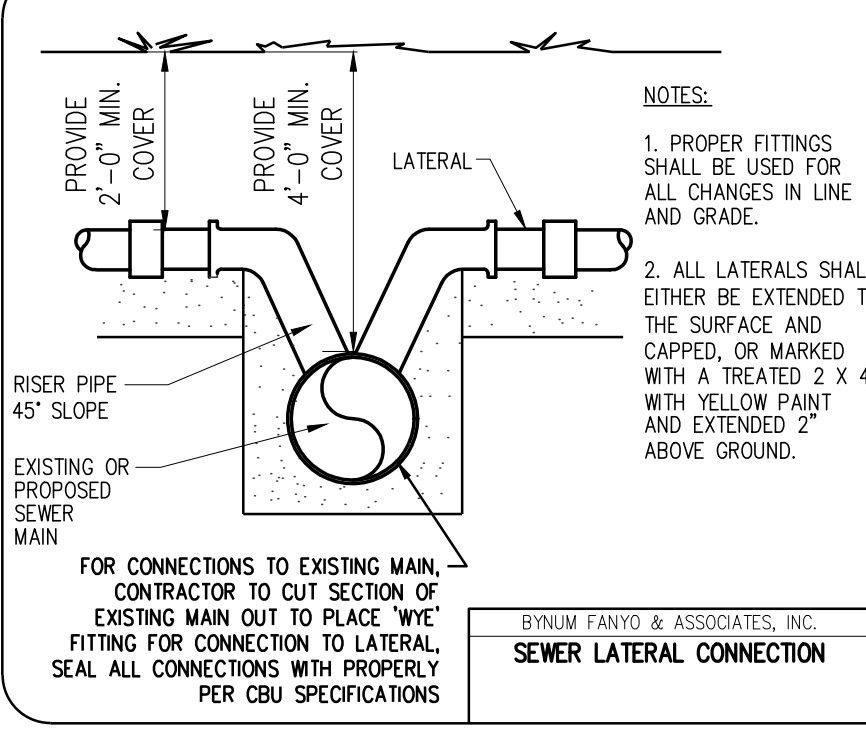
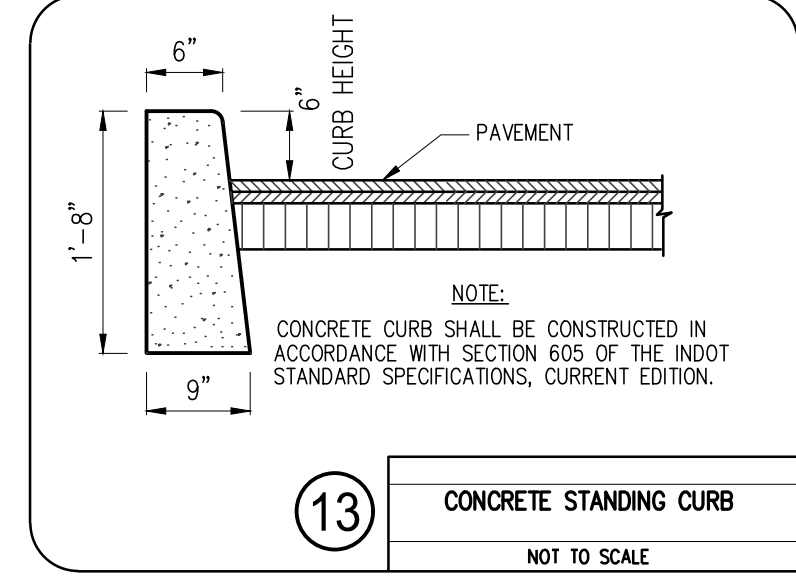
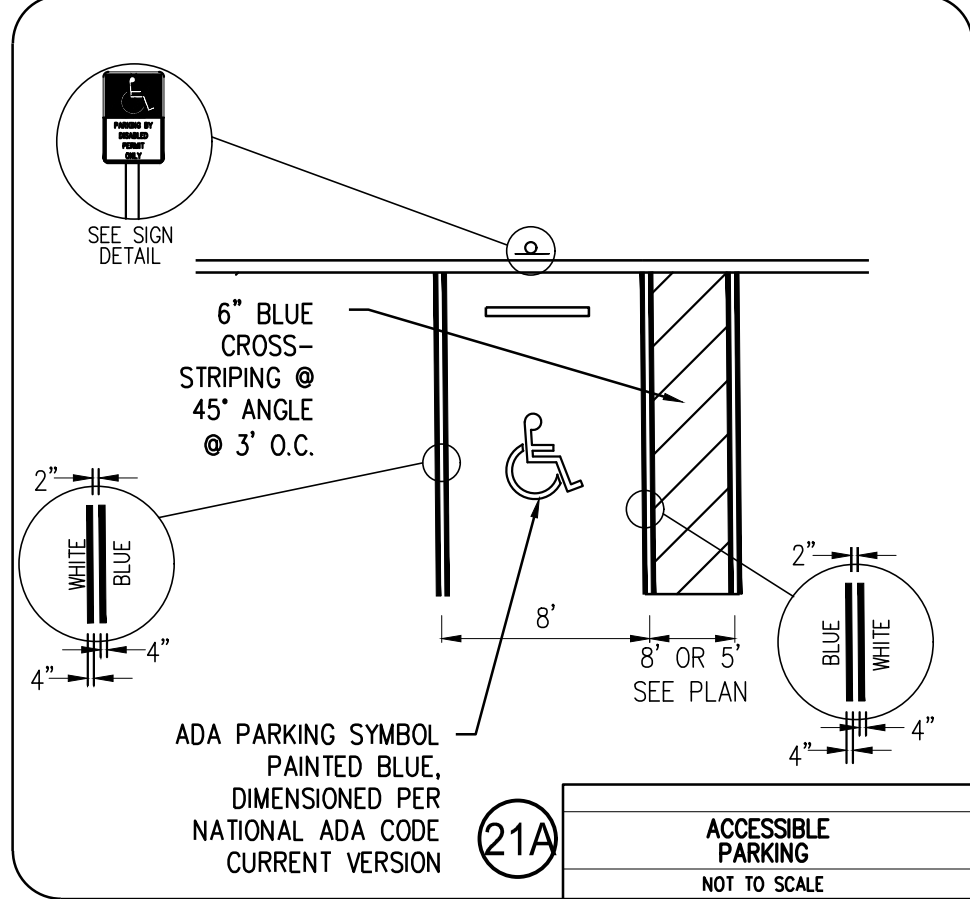
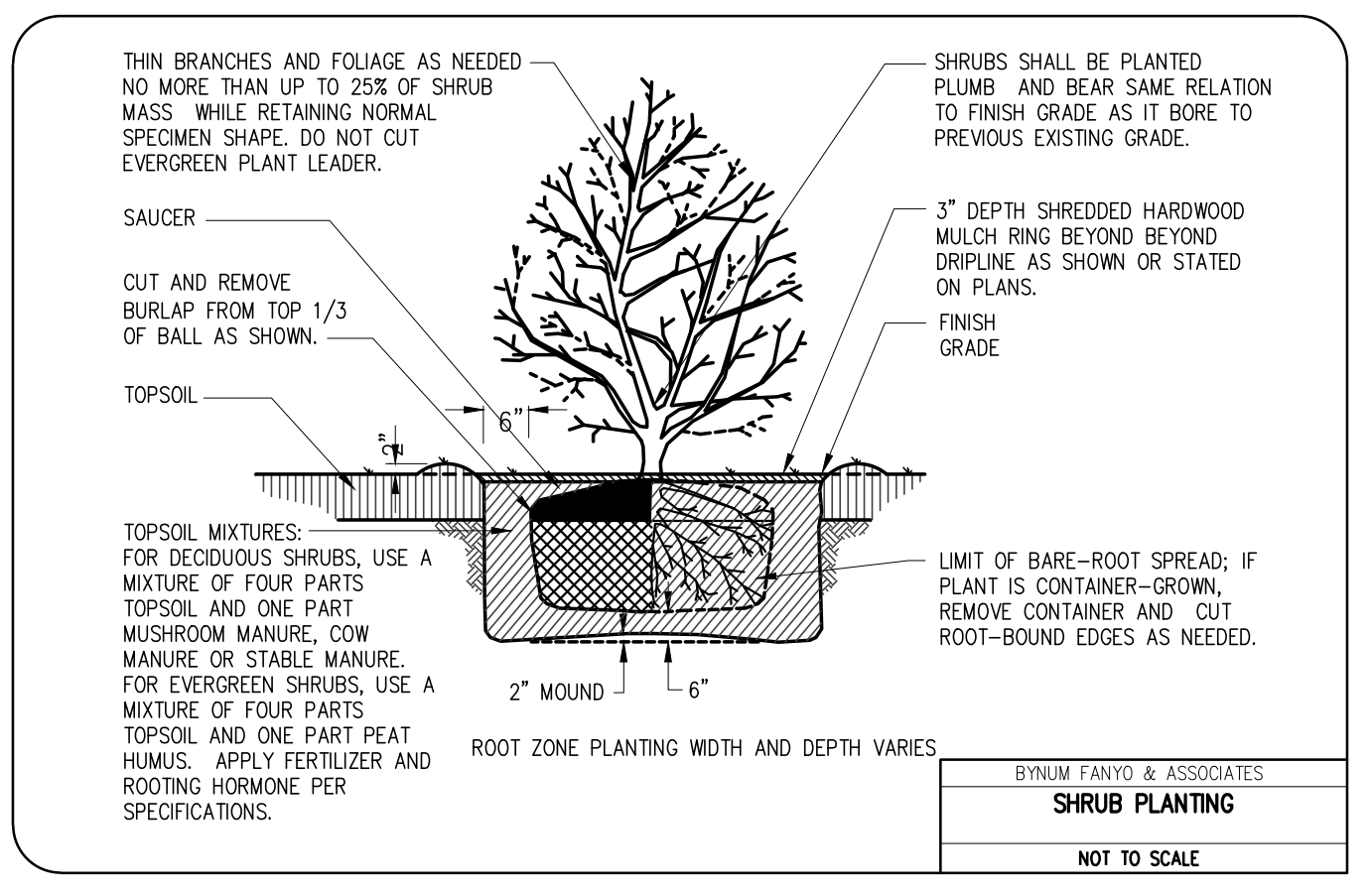
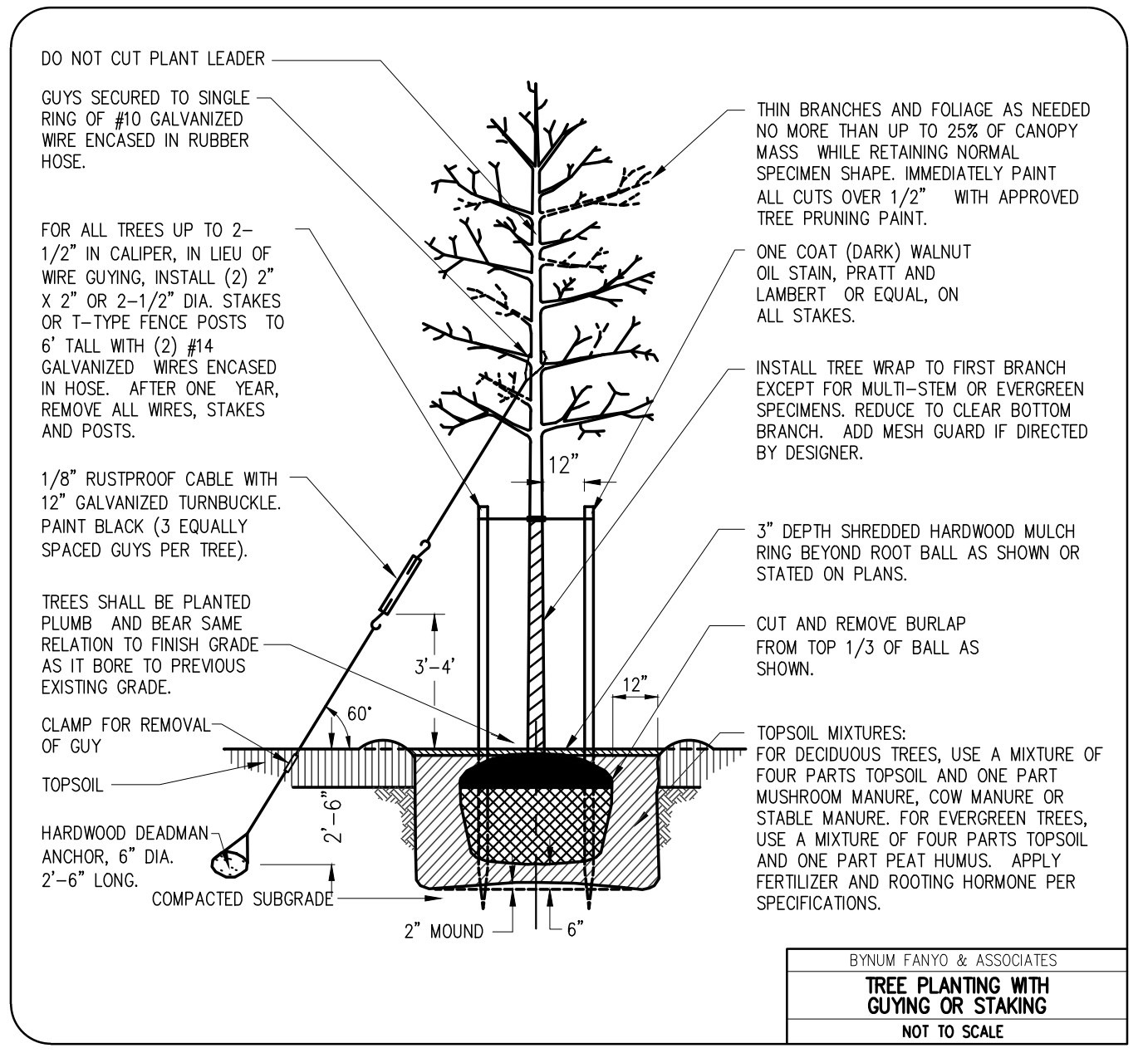
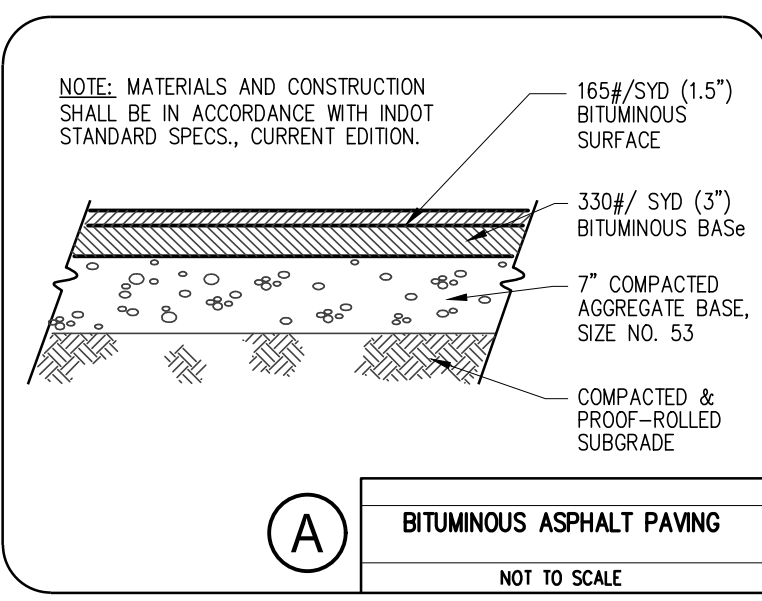
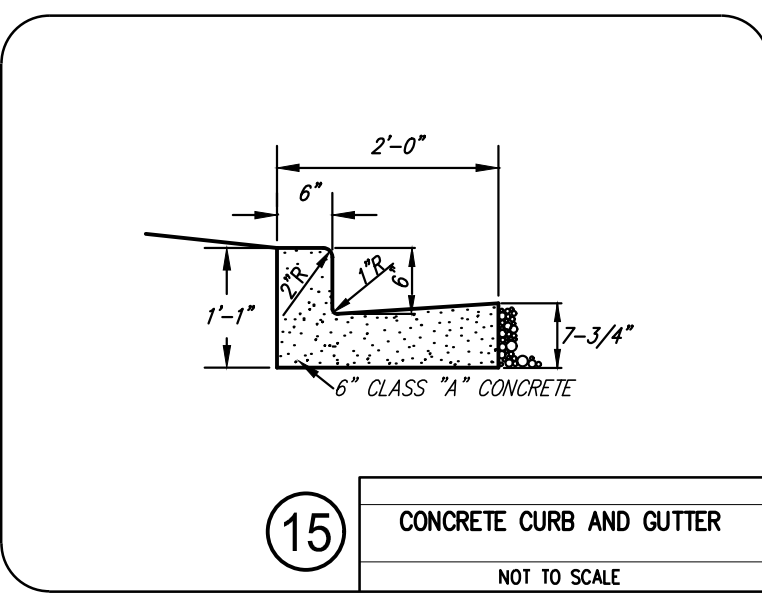
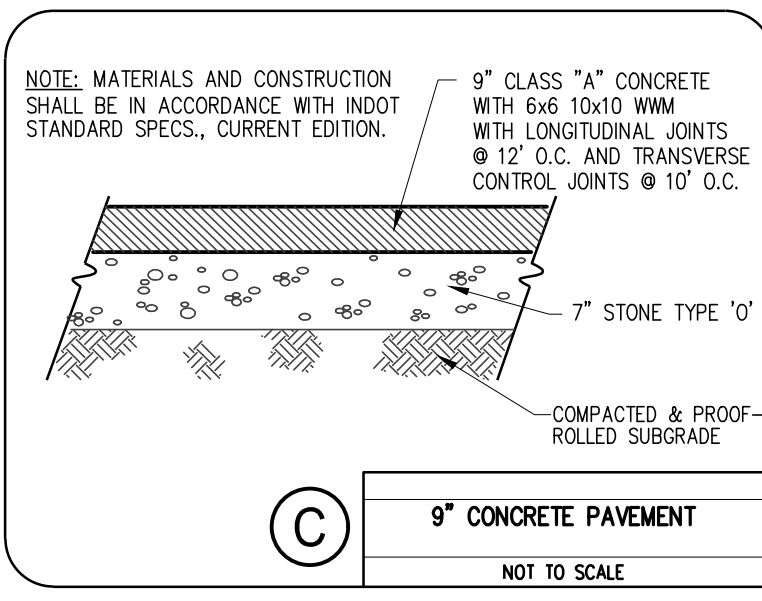
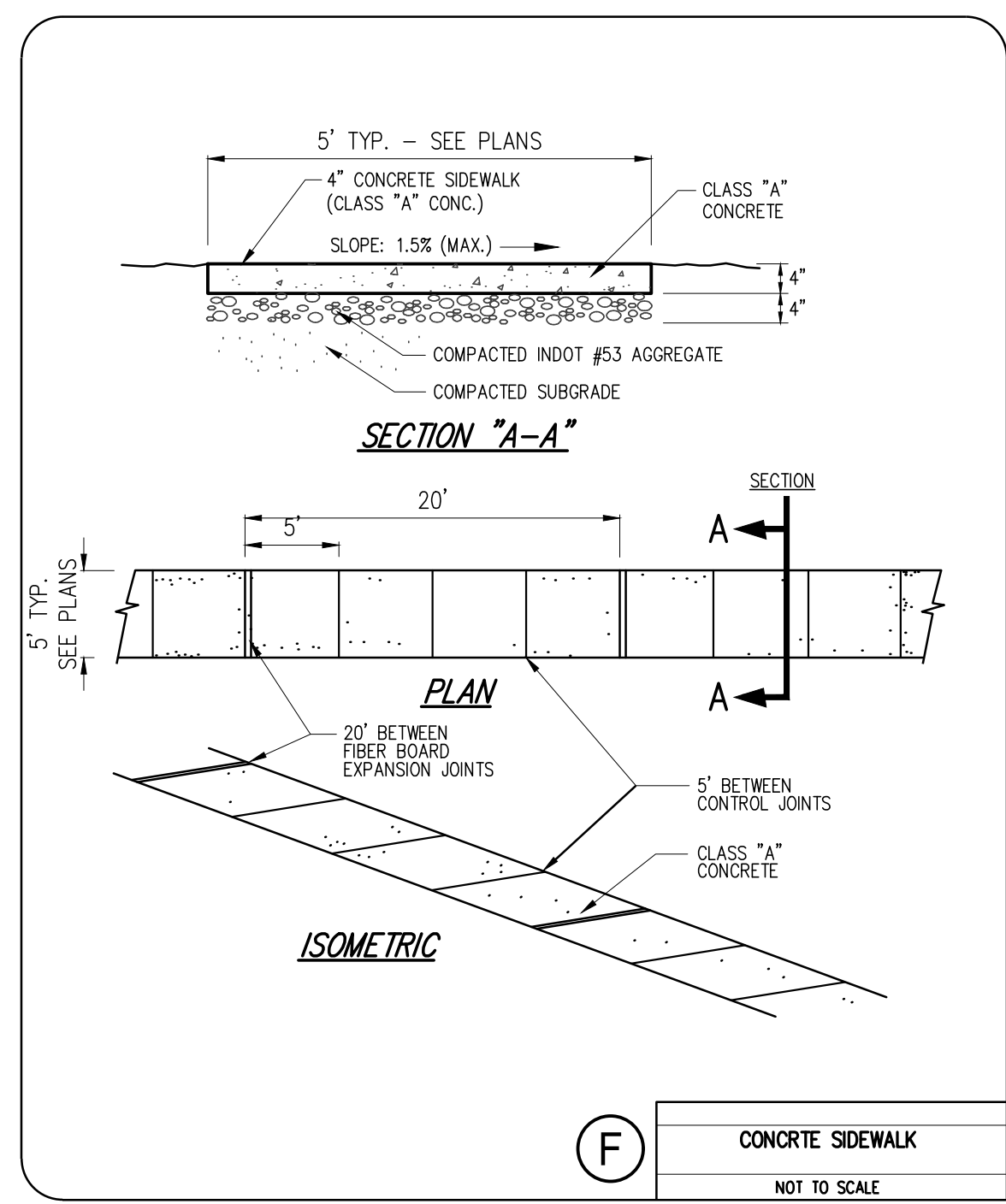
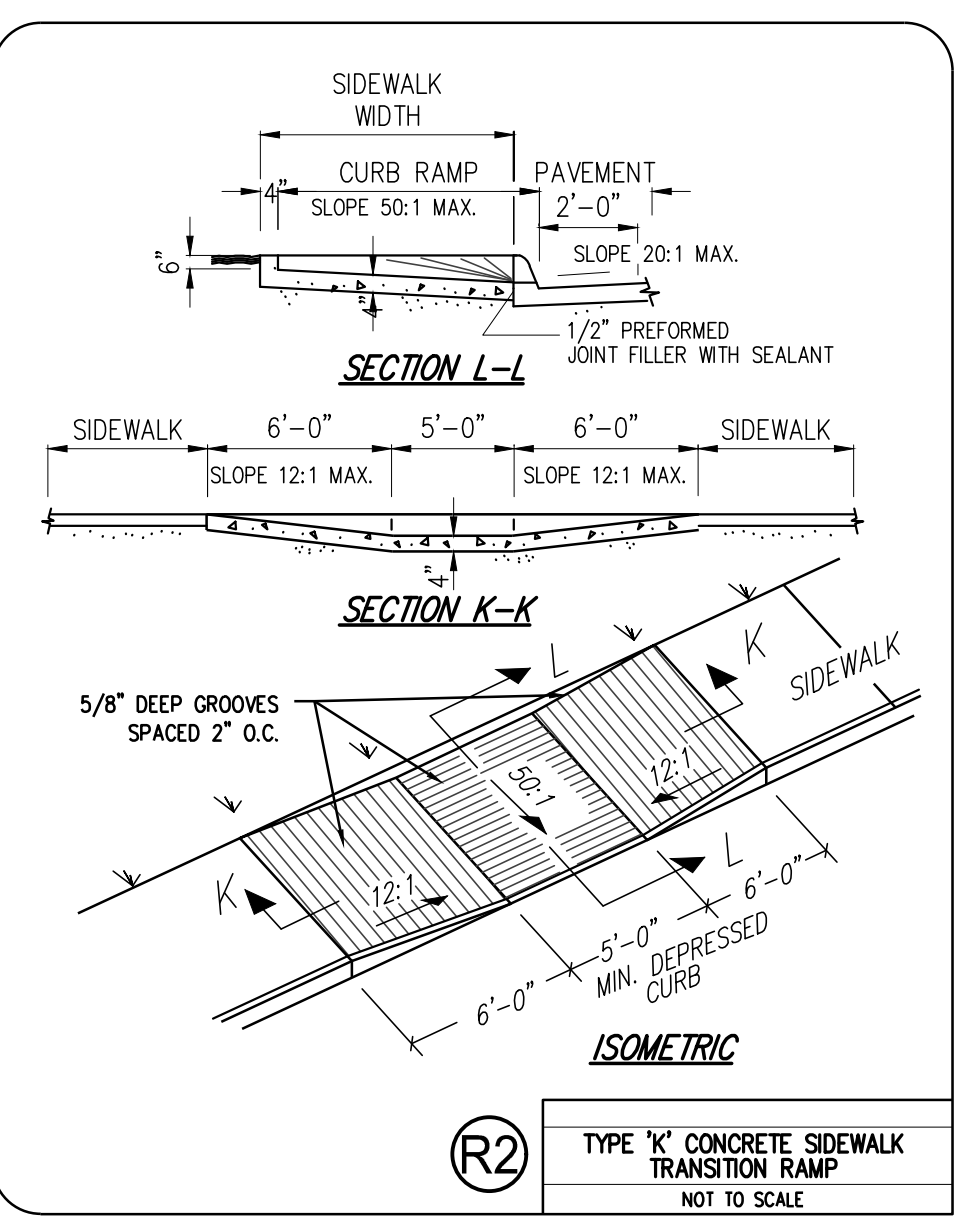
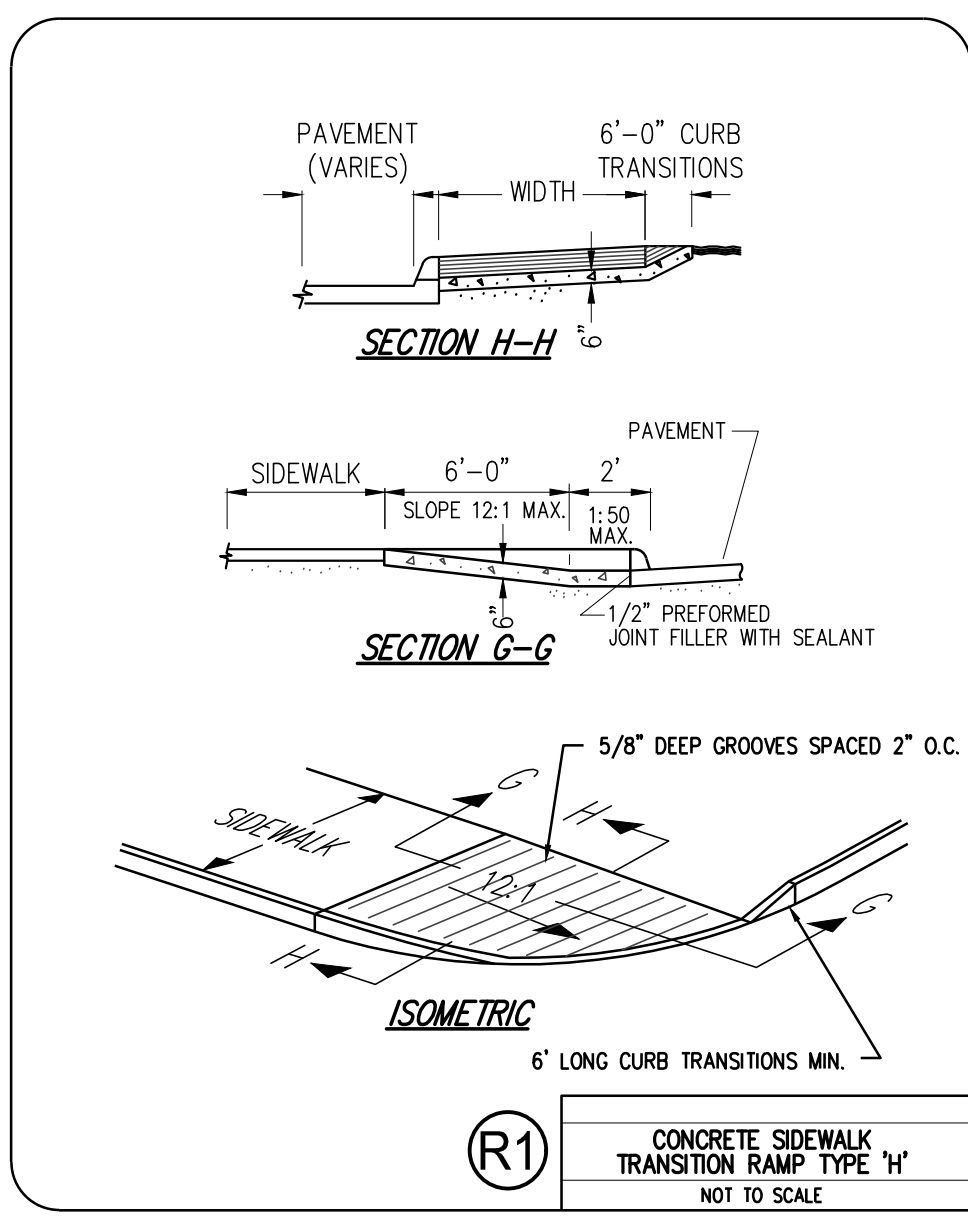
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C301
project no.: 402356

SCALE: 1"=20'

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:



INSTALL A JOINT RESTRAINT DEVICE ON ALL JOINTS THAT ARE WITHIN THE MINIMUM LENGTH (L) TO BE RESTRAINED.

FOR SLIP-JOINT DUCTILE IRON PIPE USE: UN-FLANGE SERIES 1450, EBMA SERIES 1100 HD, EBMA SERIES 1700, OR APPROVED EQUAL.

FOR COUPLING TO MECHANICAL JOINT DUCTILE IRON PIPE USE: UN-FLANGE SERIES 1400 EBMA IRON METALIC, OR APPROVED EQUAL.

FOR SLIP JOINT PVC PIPE AND FITTINGS USE: EBMA SERIES 7500 OR APPROVED EQUAL FOR 2" - 8" PIPE.

MINIMUM LENGTH IN FEET TO BE RESTRAINED ON EACH SIDE OF FITTING (L) UNLESS NOTED OTHERWISE

4" OF COVER ON PIPE				VERTICAL OFFSET (UPPER/LOWER)		
H/L	H/D	EL/D	EL/D	H/D	EL/D	EL/D
11 1/2	22 1/2	45	90	11 1/2	22 1/2	45
6	9	13	27	6	9	13
8	12	18	36	8	12	18
10	15	22	45	10	15	22
12	18	27	54	12	18	27

PIPE SIZE	TEE-BRANCH LENGTH (RUN LENGTH=5')				REDUCER LENGTH ON LARGER SIDE				
IN	4	6	8	10	12	4	6	8	10
4	6	8	10	12	6	47	-	-	-
6	6	28	72	105	137	8	86	50	-
8	6	13	56	93	127	10	117	88	48
10	6	6	40	80	116	12	147	123	90
12	6	6	23	66	105	12	147	123	90

CHART REFLECTS THE FOLLOWING TYPICAL PARAMETERS:
-CL/M, SBL CLASSIFICATION, SHEARING STRENGTH=450/300 PSF WORST CASE
-BENCH TYPE S (MINI)
-DEPTH OF COVER 4" MINIMUM
-PIPE BEHIND 4" MINIMUM
-PIPE BEHIND IN CHANNEL
-BENT/FLANGE COMPENSATION OR SELECT MATERIAL
-TEST PRESSURE OF 200 PSF WITH 2:1 SAFETY FACTOR

BYNUM FANYO & ASSOCIATES, INC.
MECHANICAL JOINT RESTRAINT REQUIREMENT FOR D.I.P. WATER/FIRE LINE
N.T.S.

INSTALL A JOINT RESTRAINT DEVICE ON ALL JOINTS THAT ARE WITHIN THE MINIMUM LENGTH (L) TO BE RESTRAINED.

FOR SLIP-JOINT C900 PIPE USE, SEE EBMA MEGA-LUG STANDARDS OR APPROVED EQUAL.

FOR COUPLING TO MECHANICAL JOINT C900 PIPE USE, SEE EBMA MEGA-LUG STANDARDS OR APPROVED EQUAL.

FOR SLIP JOINT PVC PIPE AND FITTINGS USE: EBMA SERIES 7500 OR APPROVED EQUAL FOR 2" - 8" PIPE.

MINIMUM LENGTH IN FEET TO BE RESTRAINED ON EACH SIDE OF FITTING (L) UNLESS NOTED OTHERWISE, CALCULATED USING EBMA ROK'S RESTRAINT LENGTH CALCULATOR.

4" OF COVER ON PIPE				VERTICAL OFFSET (UPPER/LOWER)		
H/L	H/D	EL/D	EL/D	H/D	EL/D	EL/D
11 1/2	22 1/2	45	90	11 1/2	22 1/2	45
4	3	6	11	26	56	
6	3	6	11	26	79	
8	4	7	14	34	103	
10	4	9	17	41	124	
12	5	10	20	48	146	

PIPE SIZE	TEE-BRANCH LENGTH (RUN LENGTH=5')				REDUCER LENGTH ON LARGER SIDE				
IN	4	6	8	10	12	4	6	8	10
6	1	38	72	99	126	6	41	-	-
8	1	25	62	91	119	8	74	44	-
10	1	11	51	83	112	10	101	76	42
12	1	1	41	74	105	12	127	107	78

CHART REFLECTS THE FOLLOWING TYPICAL PARAMETERS:
-CL, SBL CLASSIFICATION, SHEARING STRENGTH=450/300 PSF WORST CASE
-BENCH TYPE S (MINI)
-DEPTH OF COVER 4" MINIMUM
-PIPE BEHIND 4" MINIMUM
-PIPE BEHIND IN CHANNEL
-BENT/FLANGE COMPENSATION OR SELECT MATERIAL
-TEST PRESSURE OF 200 PSF WITH 2:1 SAFETY FACTOR

BYNUM FANYO & ASSOCIATES, INC.
MECHANICAL JOINT RESTRAINT REQUIREMENT FOR PVC WATER LINE
N.T.S.

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

ARCHITECTURE
CIVIL ENGINEERING
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Bloomington, Indiana
(812) 339-2990 (Fax)

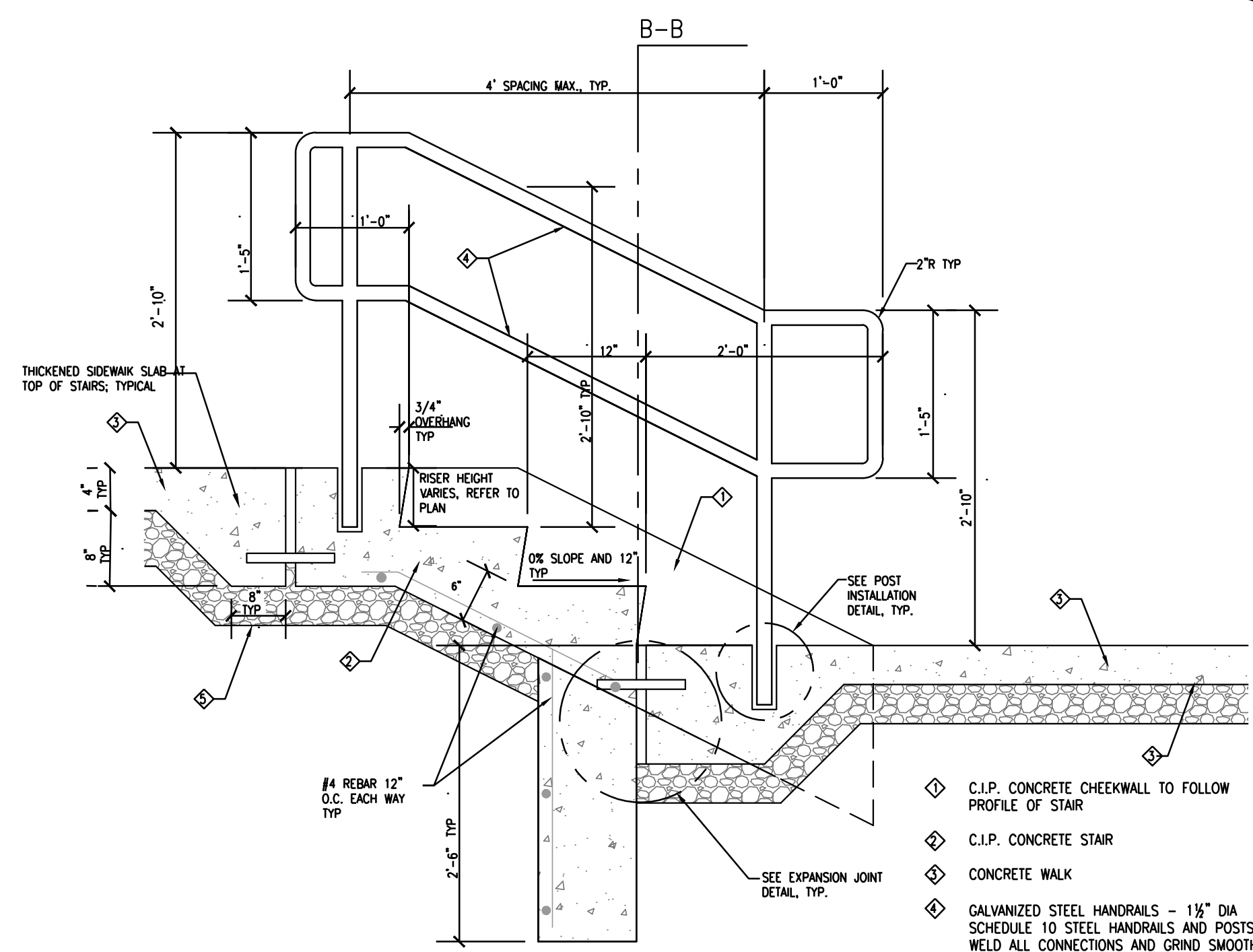
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
5079 W SR 46 CHARLESTOWNE
DEVELOPMENT PLAN
5079 W SR 46
ELLETTSVILLE, IN

title: MISCELLANEOUS DETAILS

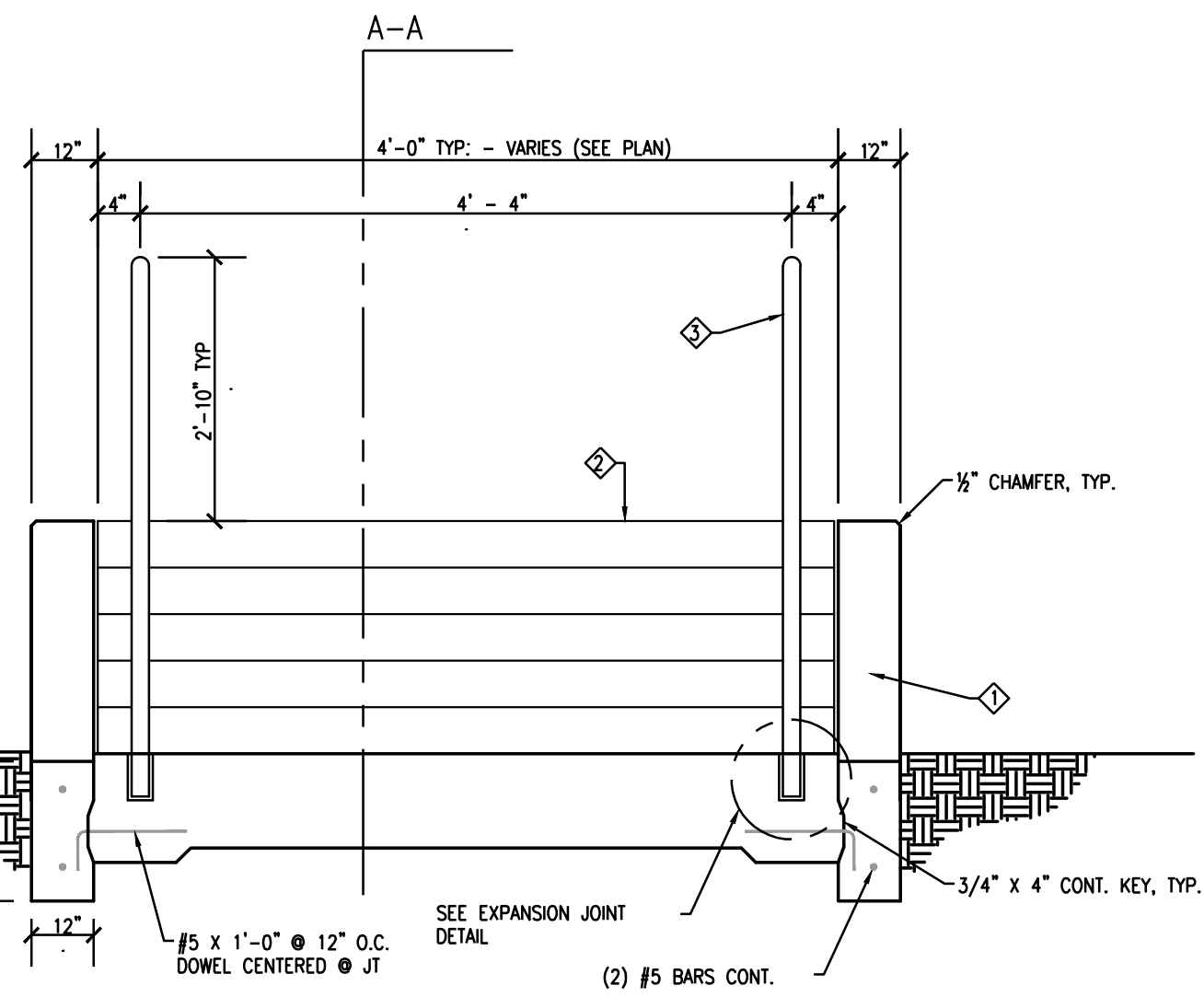
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C401
project no.: 402356



SECTION A-A

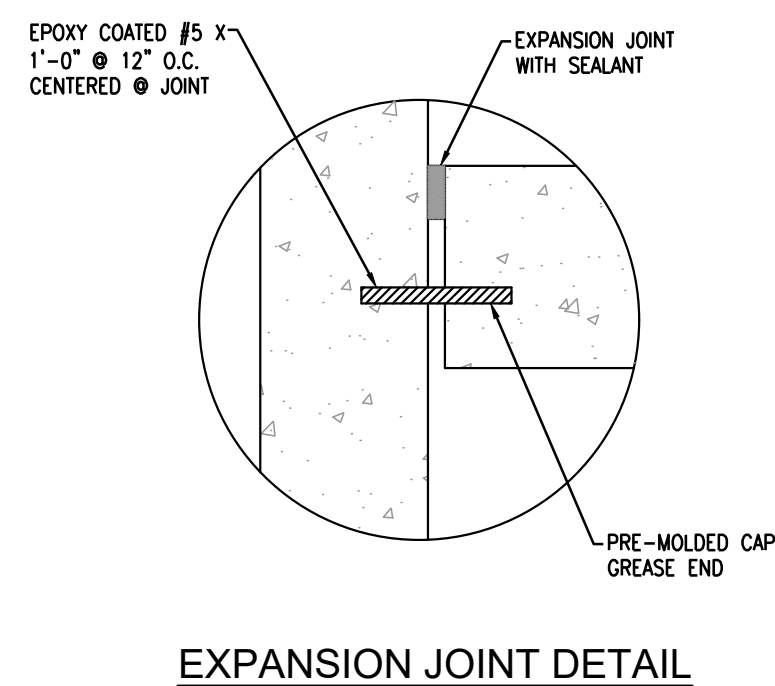
STAIRS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

- ◆ C.I.P. CONCRETE CHEEKWALL TO FOLLOW PROFILE OF STAIR
- ◆ C.I.P. CONCRETE STAIR
- ◆ CONCRETE WALK
- ◆ GALVANIZED STEEL HANDRAILS - 1 1/2" DIA. SCHEDULE 10 STEEL HANDRAILS AND POSTS, WELD ALL CONNECTIONS AND GRIND SMOOTH, SHOP PRIME AND PAINT COLOR SELECTED BY OWNER OR ARCHITECT
- ◆ COMPACTED #3 AGGREGATE 4" THICKNESS UNDER ALL STAIRS, LANDINGS, AND WALKS. NOT SHOWN IN ALL LOCATIONS FOR CLARITY.

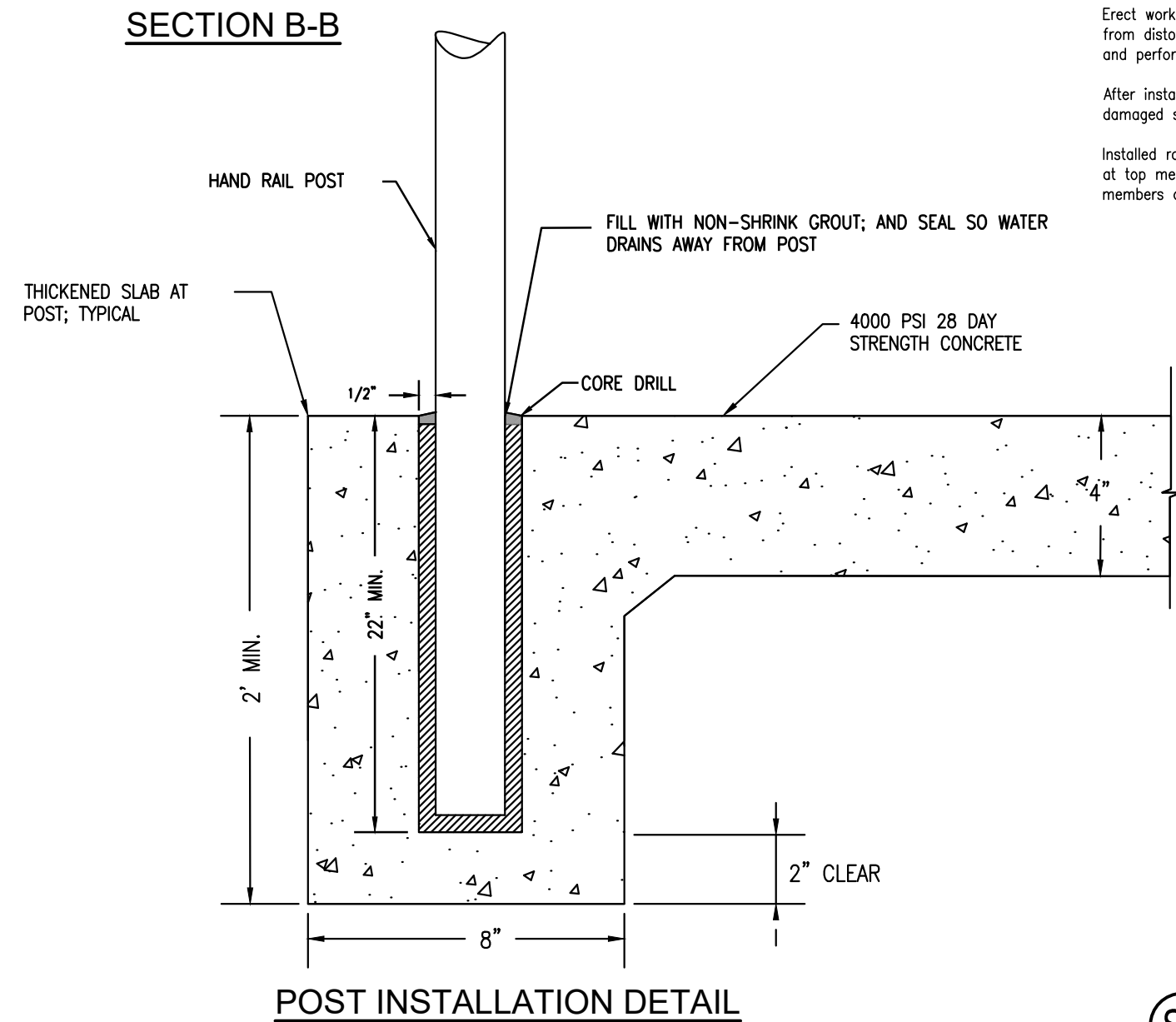


SECTION B-B

- ◆ C.I.P. CONCRETE CHEEKWALL TO MATCH PROFILE OF STAIRS
- ◆ C.I.P. CONCRETE STAIRS
- ◆ GALVANIZED STEEL HANDRAIL - SEE SECTION A-A (SHOP PRIME AND PAINTED - COLOR BY OWNER OR ARCHITECT)

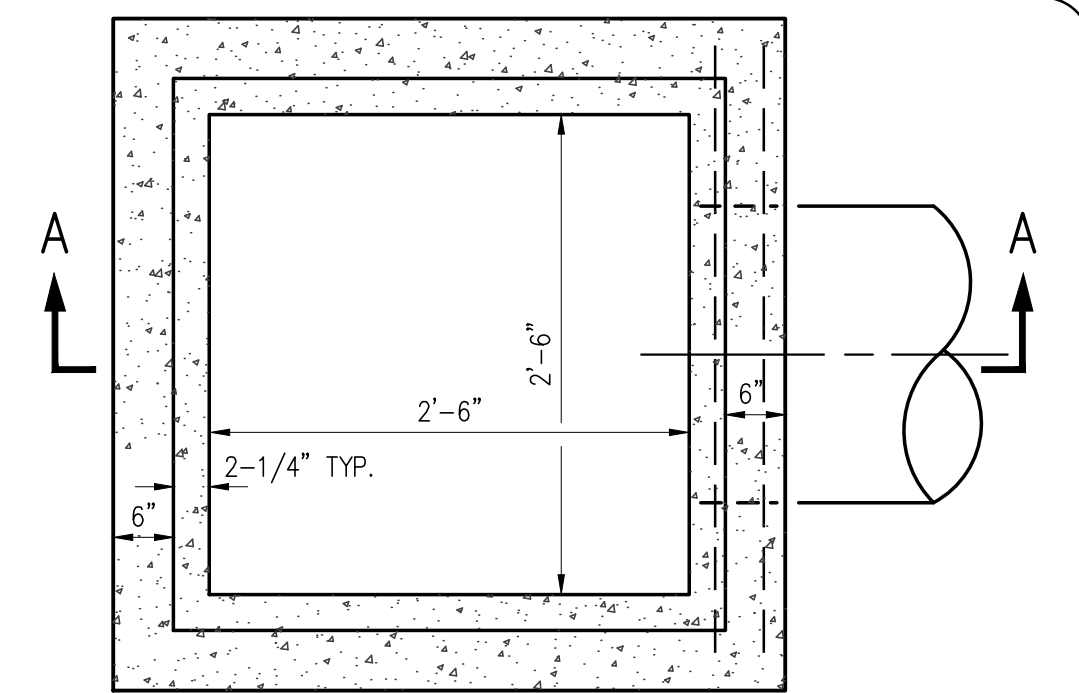


EXPANSION JOINT DETAIL

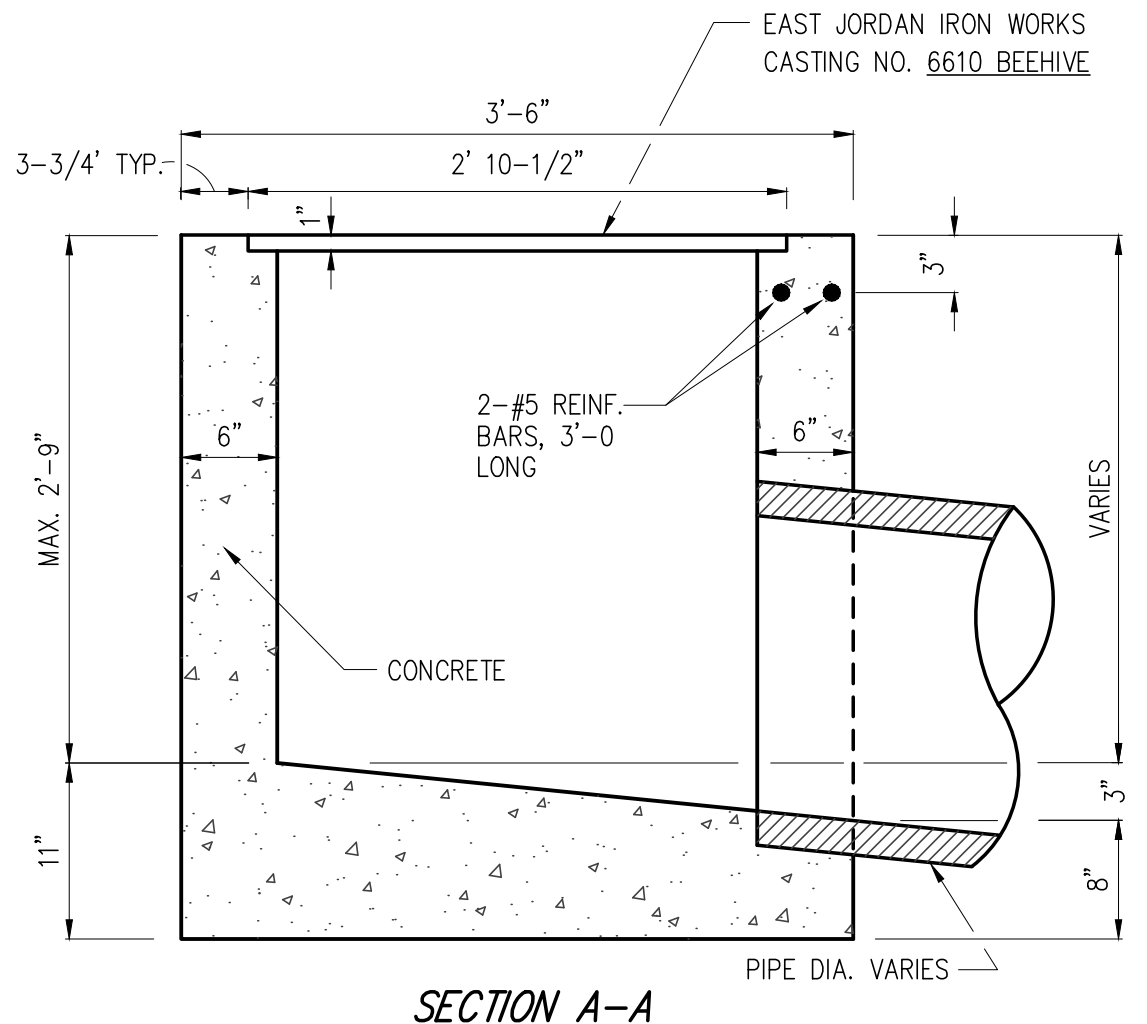


POST INSTALLATION DETAIL

(S1) CONCRETE STAIRS WITH CHEEK WALL DETAILS
NOT TO SCALE



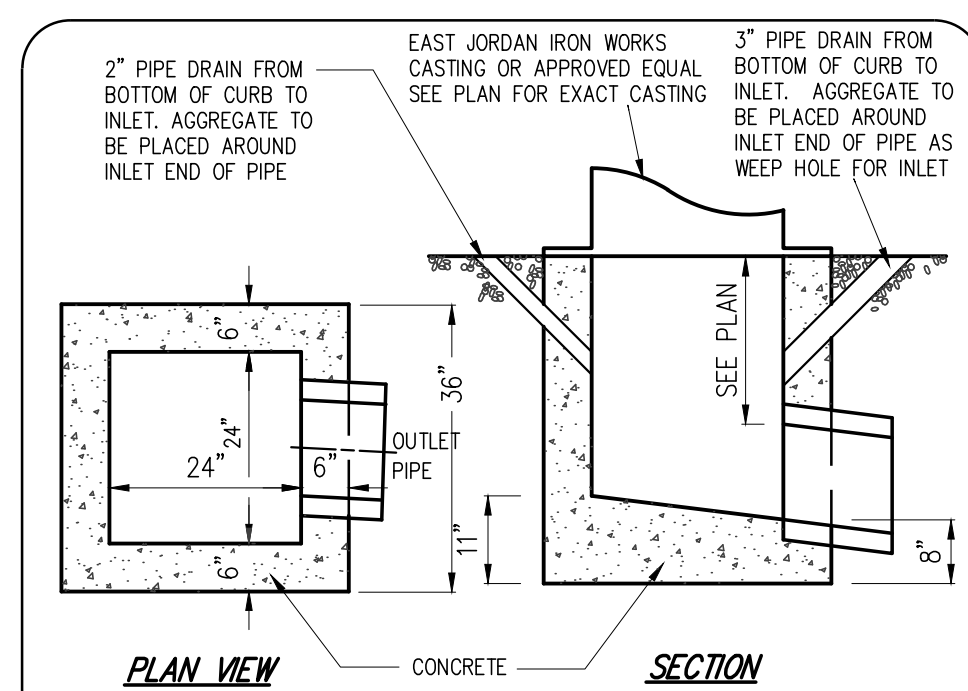
PLAN



SECTION A-A

- NOTES:**
- ALL PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND THE STANDARD SPECIFICATIONS (MIN. 50 FT. OF REINFORCING STEEL PER LINEAR FOOT OF BARREL SHALL 0.12).
 - JOINTS BETWEEN SECTIONS OF PRECAST MANHOLES SHALL BE IN ACCORDANCE WITH ASTM C-443.

STORM INLET TYPE E
NOT TO SCALE



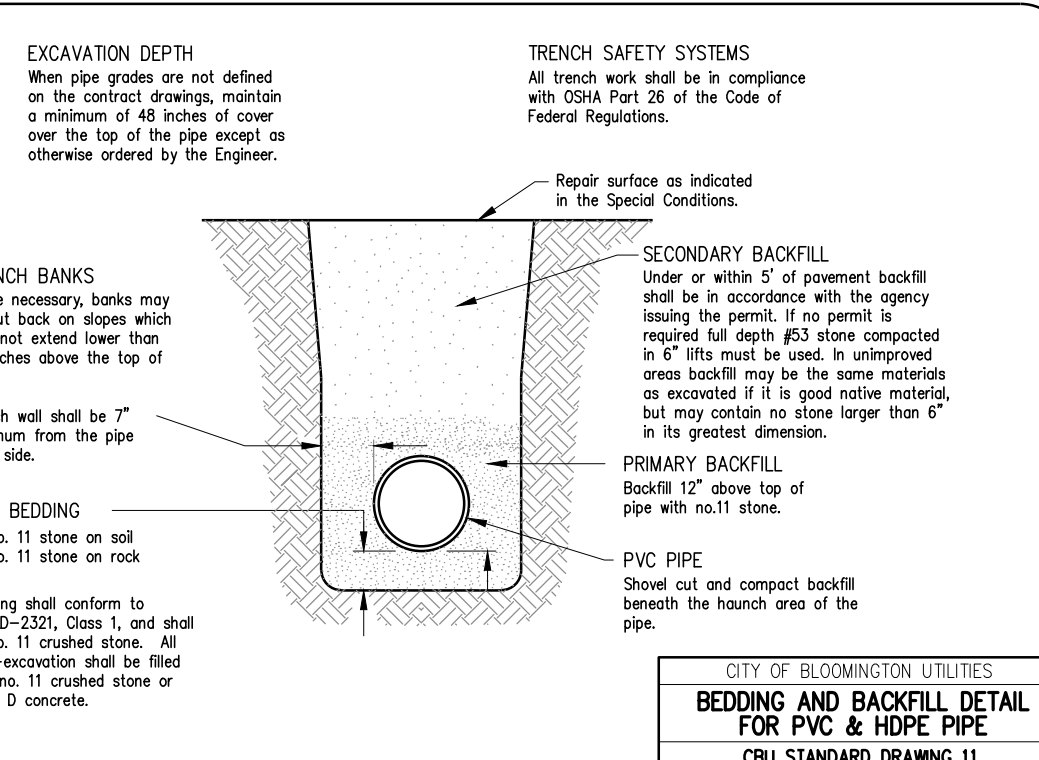
PLAN VIEW and **SECTION**

NOTE: FOR INLET INVERT ELEVATIONS SEE STRUCTURE NOTE OR STRUCTURE DATA TABLE.

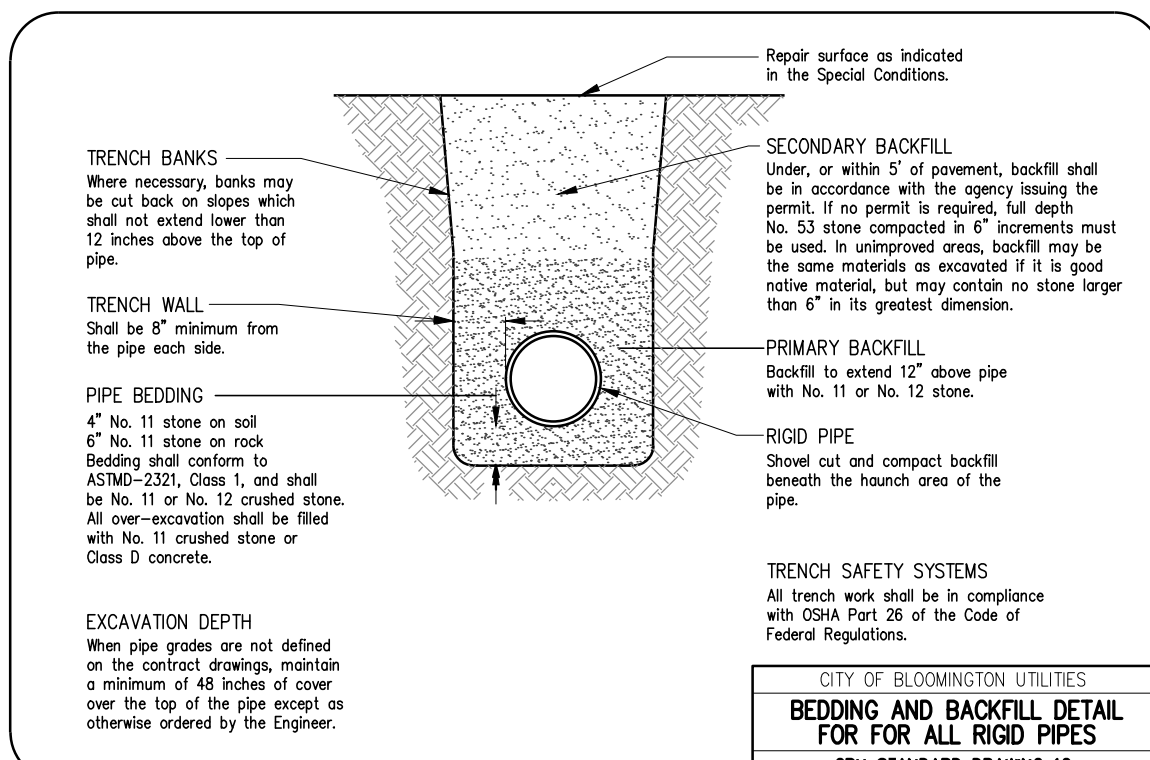
STORM INLET TYPE A
NOT TO SCALE

GENERAL NOTES:

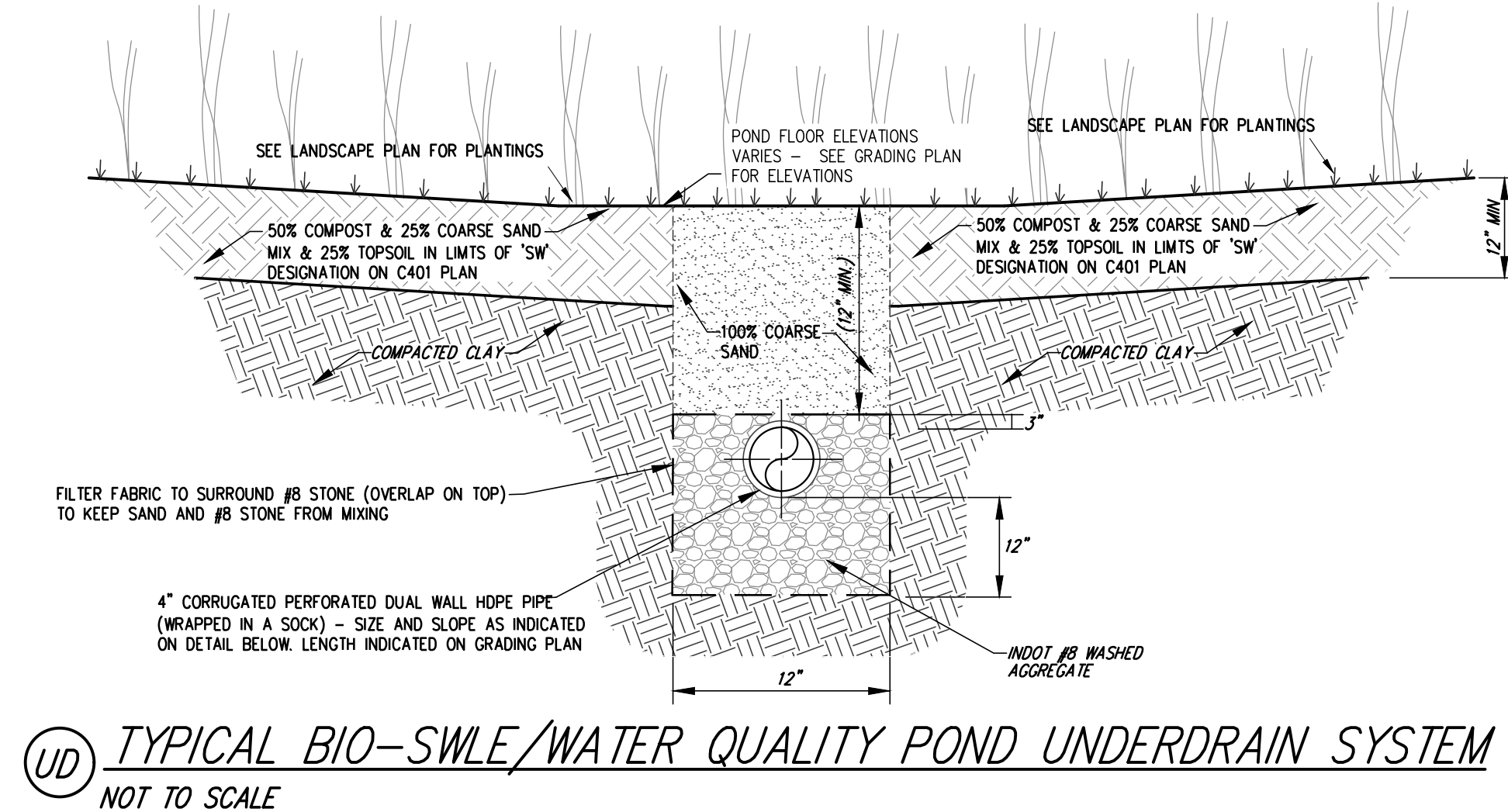
- Supply components required for proper anchorage of handrail.
- A. Grout: Cure drill & set in concrete.
- B. Expansion Anchors: Type and size to fit application.
- Verify all dimensions and exist. conditions before beginning work.
- Fabricate bends smooth and wrinkle free. "Tig" weld components together. Grind welds smooth and finish to match.
- Fit and shop assembly in largest practical sections for delivery to site and installation. Perform field welding in accordance with AWS D1.1.
- Erect work square, level, accurate to sizes and free from distortion or defects detrimental to appearance and performance.
- After installation, touch up field welds, scratched or damaged surfaces to match specified finish.
- Installed railings to resist lateral forces of 200 lbs. at top member, without permanent set or damage to members or anchors.



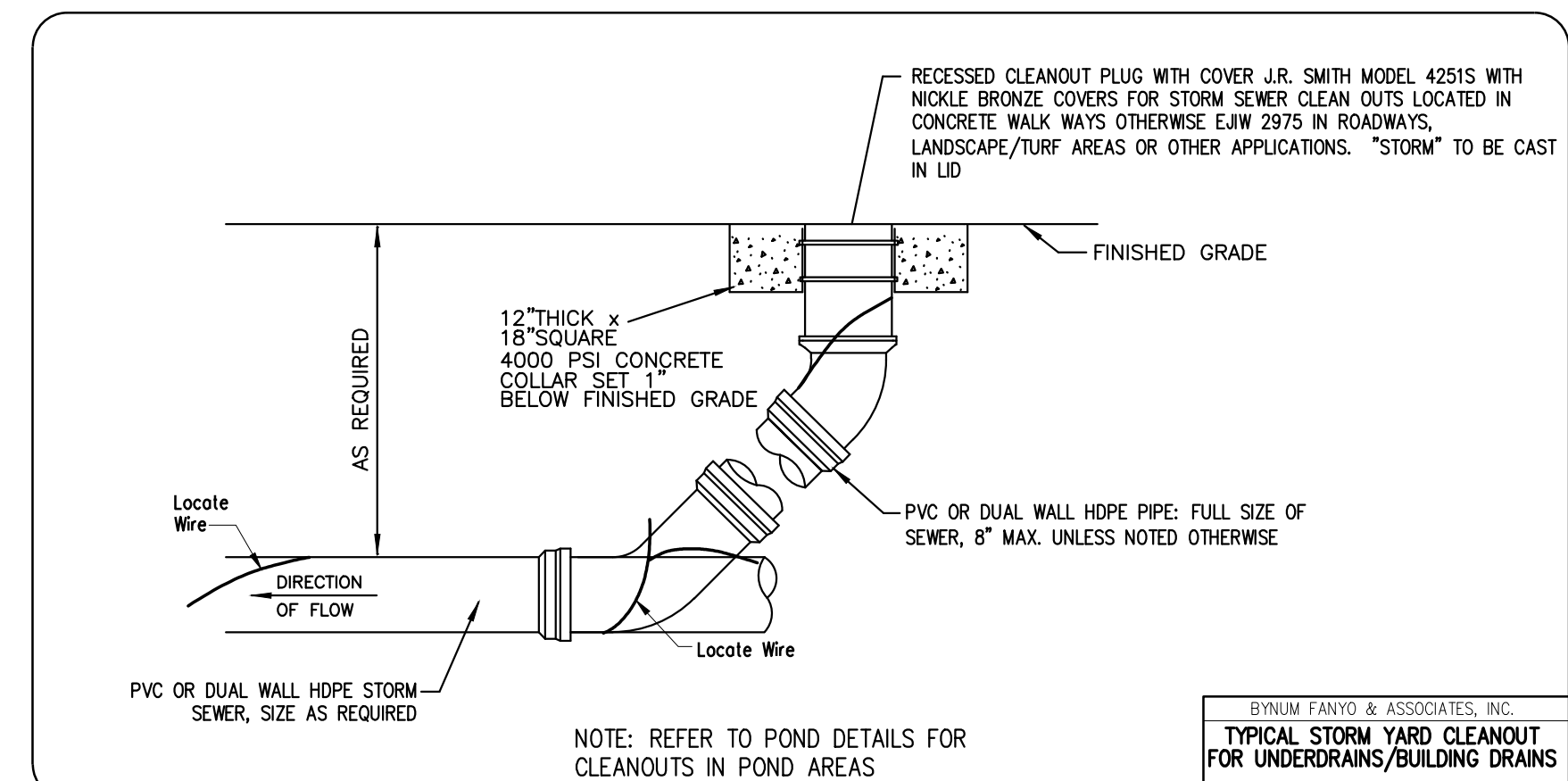
CITY OF BLOOMINGTON UTILITIES
BEDDING AND BACKFILL DETAIL FOR PVC & HDPE PIPE
CBJ STANDARD DRAWING 11



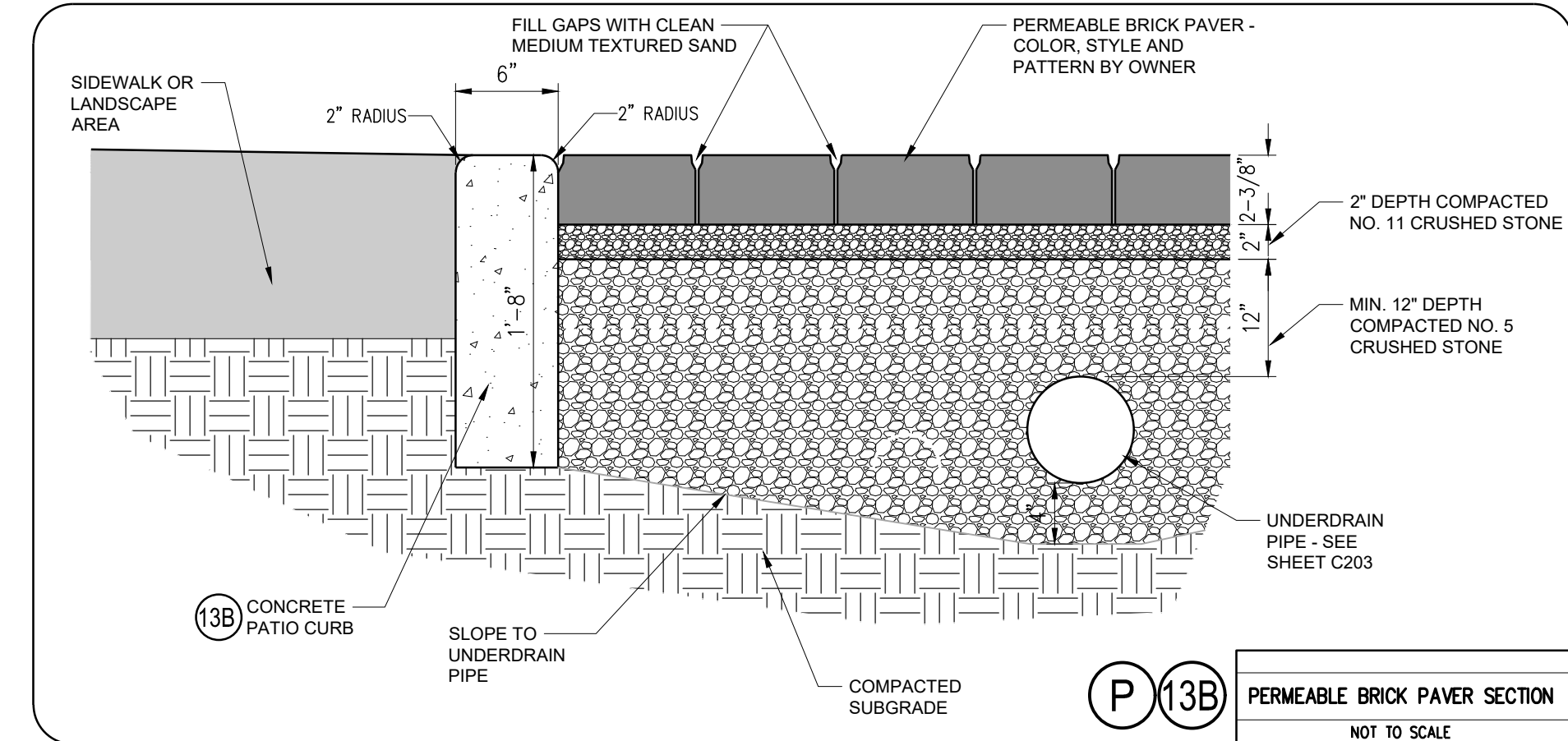
CITY OF BLOOMINGTON UTILITIES
BEDDING AND BACKFILL DETAIL FOR ALL RIGID PIPES
CBJ STANDARD DRAWING 12



(UD) TYPICAL BIO-SWLE/WATER QUALITY POND UNDERDRAIN SYSTEM
NOT TO SCALE



TYPICAL STORM YARD CLEANOUT FOR UNDERDRAINS/BUILDING DRAINS
NOT TO SCALE



(P13B) PERMEABLE BRICK PAVEMENT SECTION
NOT TO SCALE

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revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

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Bloomington, Indiana
(812) 339-2990 (Fax)

528 north walnut street
(812) 332-8030

certified by:

PROPOSED
5079 W SR 46 CHARLESTOWNE
DEVELOPMENT PLAN
5079 W SR 46
ELLETTSVILLE, IN

title: MISCELLANEOUS DETAILS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C402
project no.: 402356



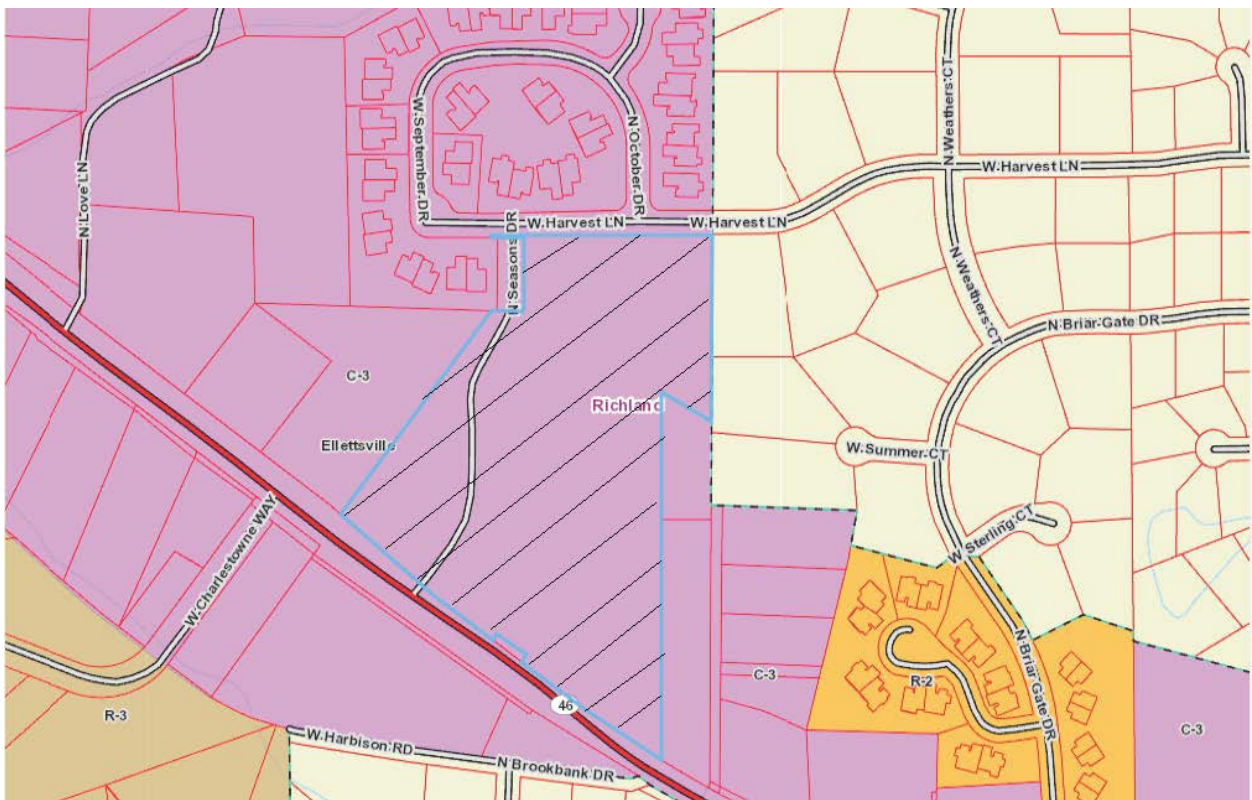
Town of Ellettsville

Department of Planning & Development

PC 24-03– Preliminary Plat Staff Report

Petition

Case - PC 24-03 – Ellettsville Self Storage Subdivision. A request by Mini Mall U.S. Storage Properties Master L.P. for consideration of primary approval for the Ellettsville Self-Storage Subdivision, preliminary plat. The subject property is located at 5050 W. State Road 46.



Zoning District	Property Use
North: C-3; General Commercial	Two-Family Residential
South: C-3; General Commercial County: LR-Low Density Residential	Commercial Platted Residential
East: C-3; General Commercial	Single-Family Residential
West: C-3; General Commercial	Town of Ellettsville

Considerations

1. The petition for preliminary plat approval for 5050 W. State Road 46 originally came before the Plan Commission at its October 5, 2023, meeting. The Plan Commission gave a conditional approval requiring which the Petitioner did not agree to and shortly thereafter sold the property to Mini Mall U.S. Storage Properties Master L.P.
2. The applicant, Mini Mall U.S. Storage Properties Master L.P., is requesting preliminary plat approval for a total of four (4) commercial lots totaling 9.44 acres.
3. Three (3) commercial lots will be platted, and one (1) lot is an existing regional detention facility. Of the three (3) commercial lots, one is developed and two are vacant.
4. The lots are zoned C-3; General Commercial and will be for commercial development.
5. The subdivision will be accessed from W.State Road 46 and N. Seasons Drive.
6. The lots will meet all size and dimensional requirements.
7. New infrastructure will be constructed to Town requirements.
8. The Tech Review Committee met on September 19th at Town Hall. Comments received from Town Departments are attached. All items have been addressed.
9. A letter of credit will be required to cover any outstanding items prior to recording of the final plat.
10. That the applicant agrees to the Commitments and has given permission to their representative, Bynum Fano & Associates, to sign the Commitments.

Plan Commission Action

The Plan Commission action on the preliminary plat can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

It is of Staff opinion that the proposed plat will meet all required zoning and subdivision regulations and there are no significant concerns with the proposed plat. This section will be parallel to W. State Road 46 and will continue to spur development in that corridor. Therefore, Staff recommends that the Plan Commission approve the Ellettsville Self Storage Subdivision, preliminary plat with the following condition: Signed Commitments.



Submitted by Denise Line
Director, Ellettsville Planning
January 11, 2024

Photos





Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes Ellettsville Self Storage Subdivision

Project Description

- Location:** 5050 W. State Road 46
- Size:** 4 Lots; +/- 9.44 Acres
- Current Zoning:** C-3: General Commercial

Planning

- Native shade trees are to be planted an average of every 50 feet along the front of the lots.
- Utilities and drainage easements are to be on the perimeter of the property, not less than 20 feet wide.

Utilities

- Provide a drainage easement from the Autumn Ridge subdivision that is piped across the site to the detention pond adjacent to the fire station.
- Harvest Lane setback is considered a rear yard since no building front on Harvest Lane, so the setback needs changed accordingly.
- Change all setbacks because they double when the boundary changes zoning districts.

Summary

The preliminary plat request is for the Ellettsville Self Storage Subdivision. The Technical Review Committee met on September 19th to discuss the preliminary plat. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer; Planning Director Denise Line; Assistant Planner, Mike Burns; Fire Chief Kevin Patton; and Commercial Inspector Ron Vandeventer. Also, in attendance was A.J. Willis, Project Engineer, and representative for the Petitioner. Comments included are those that have been received by the Planning Office. Any additional comments from the Technical Review committee that are not listed above shall still be taken into consideration. Plan Commission should approve the development plan after the above-mentioned items have been addressed but may also add conditions as they see fit.

Any requested revisions may be submitted in electronic form, with paper copies only necessary after Plan Commission approval.

Submitted by Denise Line
Director, Ellettsville Planning
October 5, 2023

DRAFT

COMMITMENTS CONCERNING THE USE OR DEVELOPMENT OF REAL ESTATE MADE IN CONNECTION WITH APPROVAL OF A PRELIMINARY SUBDIVISION PLAT

Ellettsville Self Storage Subdivision

In accordance with Indiana Code § 36-7-4-1015, the owner of the real estate located in the Town of Ellettsville, Monroe County, Indiana, which is identified below (the “Real Estate”) makes the COMMITMENTS below concerning the use of the real estate:

LEGAL DESCRIPTION OF REAL ESTATE:

Part of the Northeast quarter of Section 14, Township 9 North, Range 2 West, Richland Township, Monroe County, Indiana and more particularly described in Instrument number 2020005444 as recorded in the Office of the Monroe County, Indiana, Recorder.

Commonly known as: 4550 N. Old State 46, Bloomington, Indiana 47404

Parcel number 53-04-14-100-025.000-013

USE COMMITMENTS:

1. No businesses of any kind shall be permitted to operate out of the storage units located on Lot 1.
2. The storage units located on Lot 1 shall not be used for permanent or temporary housing.

A copy of the Ellettsville Self Storage Subdivision Plat, Project number 402339, consisting of three (3) pages, is attached hereto and incorporated herein by reference.

THESE COMMITMENTS shall run with the land, be binding on the owner of the real estate, subsequent owners of the real estate and other person acquiring interest therein. These commitments may be modified or terminated by decision of the Ellettsville Plan Commission made at a public hearing after proper notice has been given.

THE COMMITMENTS contained in this instrument shall be effective upon approval of the Ellettsville Self Storage Subdivision petition, Petition PC 24-03 **and** by execution of this document by the owner of the Real Estate and shall continue in effect until modified or terminated by the Ellettsville Plan Commission.

The undersigned hereby authorizes the Ellettsville Clerk Treasurer to record these Commitments in the Office of the Monroe County Recorder, Monroe County, Indiana.

In witness whereof, owner has executed this instrument this _____ day of _____, 2024.

Mini Mall U.S. Storage Properties Master L.P.

By: _____

Printed: _____

STATE OF INDIANA)
) SS:
COUNTY OF MONROE)

Before me, a Notary Public in and for said County and State, personally appeared _____, who having been duly sworn, stated that any representations herein contained are true.

Witness my hand and Notarial Seal this ____ day of _____, 2023.

, Notary Public
Residing in Monroe County, Indiana

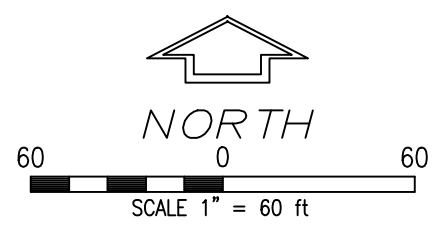
My Commission Expires:

This Instrument prepared by Darla S. Brown, Attorney at Law STURGEON & BROWN, P.C.
110 West Seventh Street, Bloomington, Indiana 47404 (812) 332-9476

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless otherwise required by law. Darla S. Brown

ELLETTSVILLE SELF STORAGE SUBDIVISION PRELIMINARY PLAT

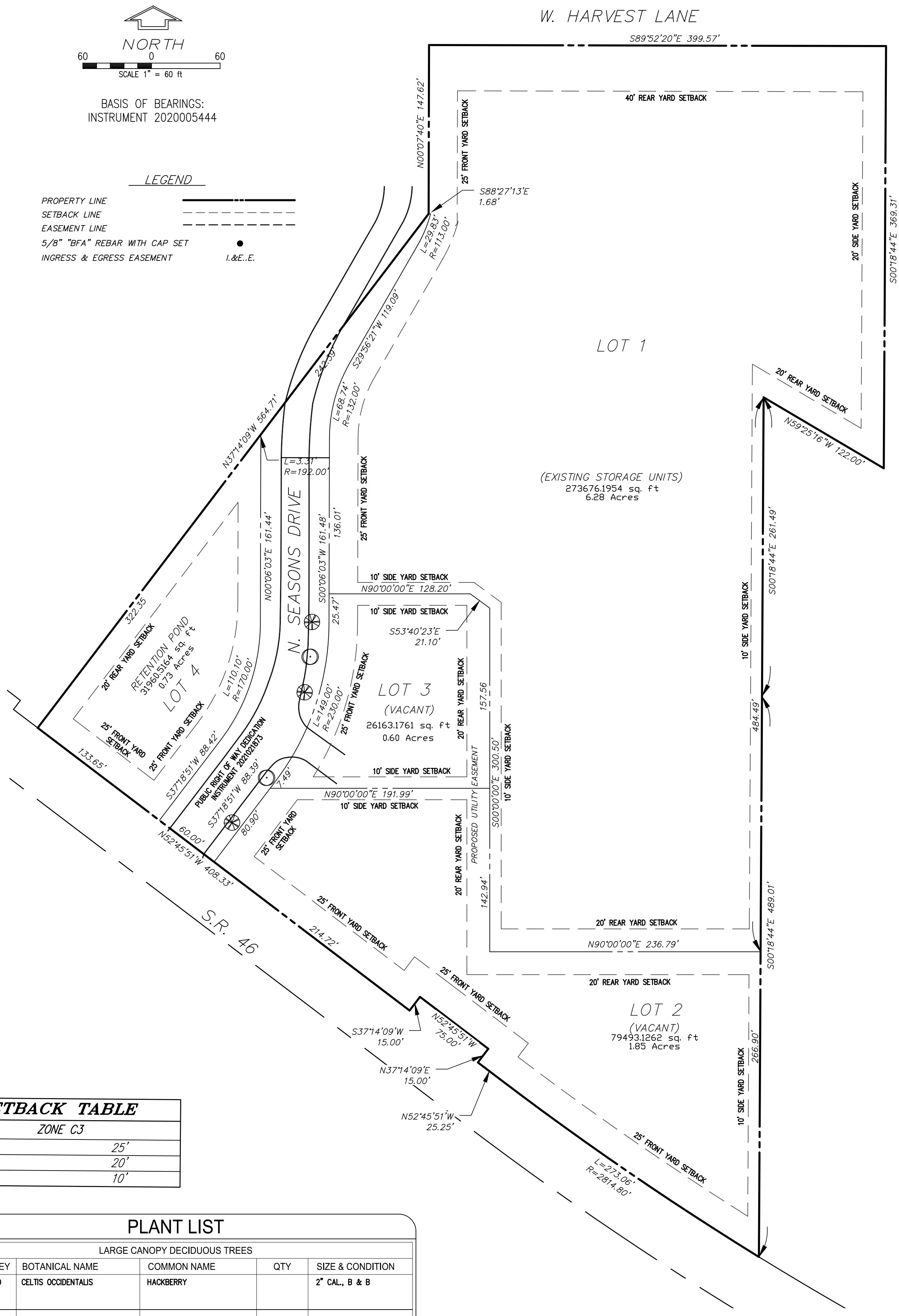
RECORDER
STAMP



BASIS OF BEARINGS:
INSTRUMENT 2020005444

LEGEND

PROPERTY LINE	
SETBACK LINE	
EASEMENT LINE	
5/8" "BFA" REBAR WITH CAP SET	
INGRESS & EGRESS EASEMENT	



SETBACK TABLE	
ZONE C3	
FRONT	25'
REAR	20'
SIDE	10'

PLANT LIST					
LARGE CANOPY DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	CO	CELTIS OCCIDENTALIS	HACKBERRY		2" CAL., B & B
	LT	LIRIODENDRON TULIPIFERA	TULIP TREE		2" CAL., B & B
ST=STREET TREES					

INU2911BN LP, the owner of the real estate shown and described herein, does hereby lay off, plat, and subdivide said real estate in accordance with this plat.

This subdivision shall be known and designated as ELLETTSVILLE SELF STORAGE SUBDIVISION. All streets and alleys shown, and not heretofore dedicated, are hereby dedicated to the public.

This subdivision shall consist of 4 Lots numbered 1-4

Front, rear and side yard building setback lines are hereby established as shown on this plat. Between which lines and the property lines of the adjacent streets no building or other structure shall be erected or maintained.

The strips of ground varying in width as shown on this plat and marked "Easement" are reserved for the use of public utilities for the installation of water and sewer mains, poles, ducts, lines, and wires, subject at all times to the proper authorities and to the easement herein reserved. No permanent or other structures shall be erected or maintained upon said strips of land, but owners, of lots in this subdivision, shall take their title subject to the rights of the public utilities, and to the rights of the owners of other lots in this subdivision.

WITNESS our Hands and Seals this _____ day of _____, 20_____.

INU2911BN LP

BY: _____ Signature _____ Title _____

BY: _____ Printed _____

STATE OF INDIANA)
COUNTY OF MONROE) SS:

Before me, the undersigned Notary Public, in and for the said county and state, personally appeared _____, acknowledging the execution of the foregoing instrument as their voluntary act and deed for the purpose therein expressed.

Witness my Hand and Notarial Seal this _____ day of _____, 20_____.

County of Residence _____

Commission Expires _____

Notary Public, Written _____

Notary Public, Printed _____

SURVEYOR'S CERTIFICATE

I, Charles D. Graham, certify that I am a registered professional land surveyor licensed under the laws of Indiana, that this plat accurately represents a survey made by me on June 27, 2020; that the monuments shown on it exist; and that their locations, sizes, types, and materials are accurately shown.

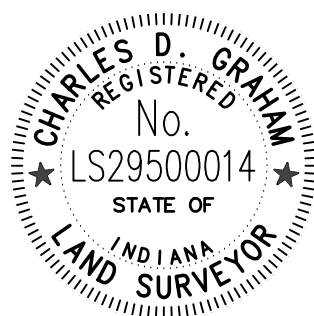
PREPARED BY:

Charles D. Graham

Charles D. Graham

Registration No. LS29500014

I affirm under penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.



TOWN PLAN COMMISSION APPROVAL – PLANNING AND ZONING ADMINISTRATOR

I, _____, being the Planning and Zoning Administrator and designated authority of the Town Planning Commission for the Town of Ellettsville, State of Indiana, hereby certify that the said authority duly approved this plat of Ellettsville Self Storage Subdivision and is hereby accepted the _____ day of _____, 20_____.

Planning and Zoning Administrator

TOWN OF ELLETTSVILLE PLAN COMMISSION APPROVAL

Under the authority provided by Chapter 153– Municipal Code Ordinance adopted by the Town of Ellettsville, Indiana, 2003, this plat was given approval by the Town of Ellettsville Plan Commission at a meeting held on the _____ day of _____, 20_____.

President, Plan Commission

Secretary

ACCEPTANCE OF EASEMENT VACATION BY TOWN COUNCIL

Be it resolved by the Town Council of the Town of Ellettsville, Indiana that the right of way dedication shown on the attached plat of ELLETTSVILLE SELF STORAGE SUBDIVISION exists and that the 60 foot wide ingress, egress & utility easement described within Instrument 2001011043 is hereby vacated. Adopted by the Town Council of the Town of Ellettsville, Indiana, this _____ day of _____, 20_____.

President, Town Council

Clerk – Treasurer

PLAN COMMISSION NOTE:
None of the terms of this plat, except the private restrictive covenants, shall be changed without the approval of the Plan Commission.

DESCRIPTION (Source of Title = Instrument 2023012095)

Part of the Northeast quarter of Section 14, Township 9 North, Range 2 West, Richland Township, Monroe County, Indiana, more particularly described as follows:

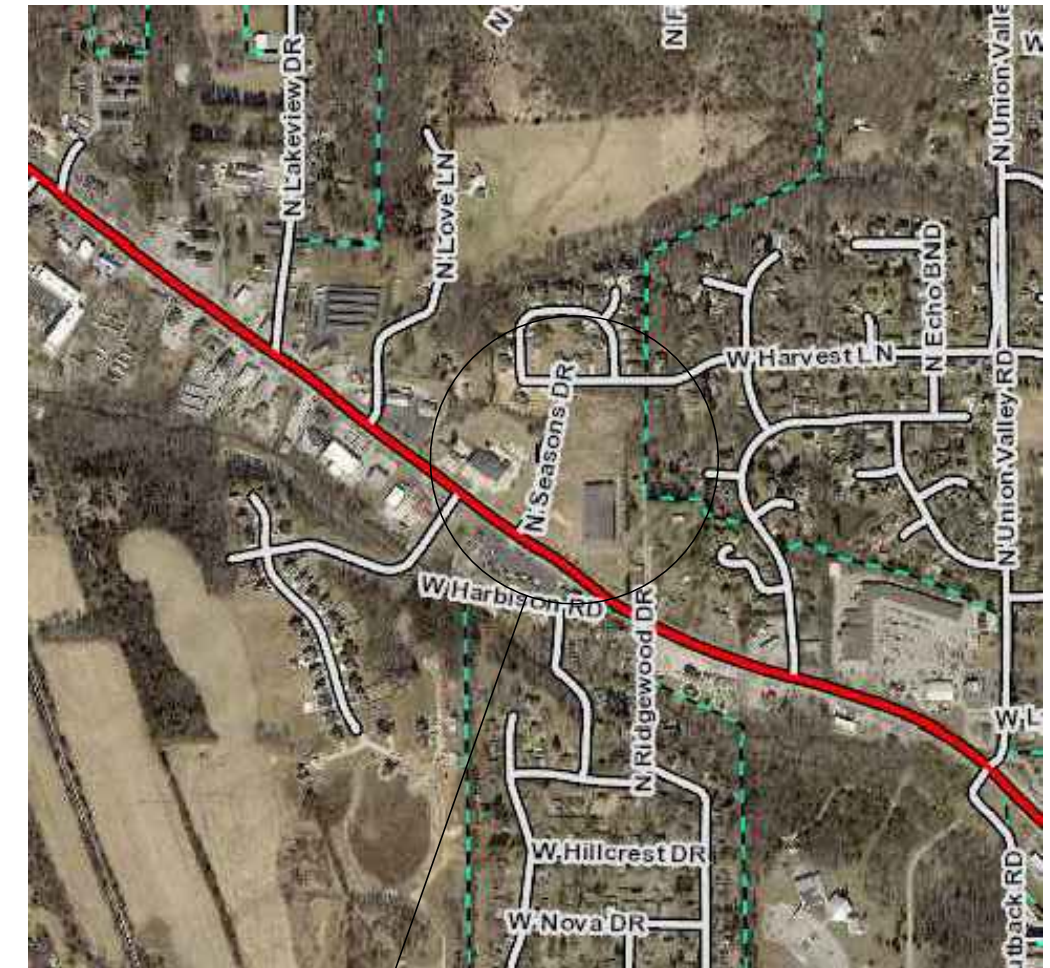
Commencing at a rebar with cap set at the Northwest corner of said Northeast quarter 898.93 feet; thence South 88 degrees 22 minutes 24 seconds East along the North line of said Northeast quarter 881.67 feet to a rebar found at the Northwest corner of Lot 113 of Autumn Hills, being the point of beginning; thence continuing South 00 degrees 18 minutes 44 seconds West along said West line 369.31 feet to a rebar with cap set at the Northeast corner of a 0.55 acre parcel recorded in Deed Record 461, page 163, office of the Recorder of Monroe County, Indiana; thence North 59 degrees 25 minutes 16 seconds West along the North line of said parcel 122.00 feet to a rebar with cap; thence South 00 degrees 18 minutes 44 seconds West along the West line of said parcel 261.49 feet to a rebar with cap set at the Northwest corner of a 1.26 acre parcel recorded in Deed Record 481, page 129, office of the Recorder of Monroe County, Indiana; thence continuing South 00 degrees 18 minutes 44 seconds West along the West line of said parcel 489.01 feet to a rebar with cap set on the North right-of-way line of State Road No. 46, being a point on a curve to the right with a radius of 2634.79 feet, a central angle of 05 degrees 56 minutes 16 seconds, and a chord of 272.94 feet bearing North 55 degrees 43 minutes 58 seconds West; thence along said North right-of-way the following six courses: 1) Northwesterly an arc distance of 273.06 feet; 2) North 52 degrees 45 minutes 51 seconds West 25.25 feet; 3) North 37 degrees 14 minutes 09 seconds East 15.00 feet; 4) North 52 degrees 45 minutes 51 seconds West 75.00 feet; 5) South 37 degrees 14 minutes 09 seconds West 15.00 feet; 6) North 52 degrees 45 minutes 51 seconds West 408.33 feet to a rebar with cap; thence leaving said right-of-way, North 37 degrees 14 minutes 09 seconds East 564.71 feet to a rebar with cap; thence North 00 degrees 07 minutes 40 seconds East 147.62 feet to a rebar with cap; thence South 89 degrees 52 minutes 20 seconds East 399.57 feet to the point of beginning, containing 10.019 acres, more or less.

Less and except the parcel conveyed to the Town of Ellettsville, Monroe County, Indiana by that certain public right of way dedication deed dated August 6, 2021 and recorded November 23, 2021 as Document No. 2021021873

ELLETTSVILLE SELF STORAGE SUBDIVISION PRELIMINARY PLAT



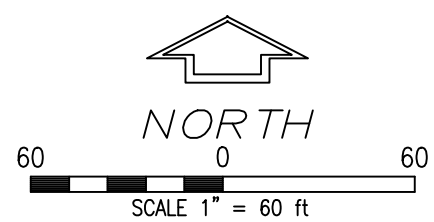
VICINITY MAP (NOT TO SCALE)



PROJECT LOCATION

FOR IAC 865-12 SURVEYOR'S REPORT REFER TO INSTRUMENT # xxxxxxxx IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA

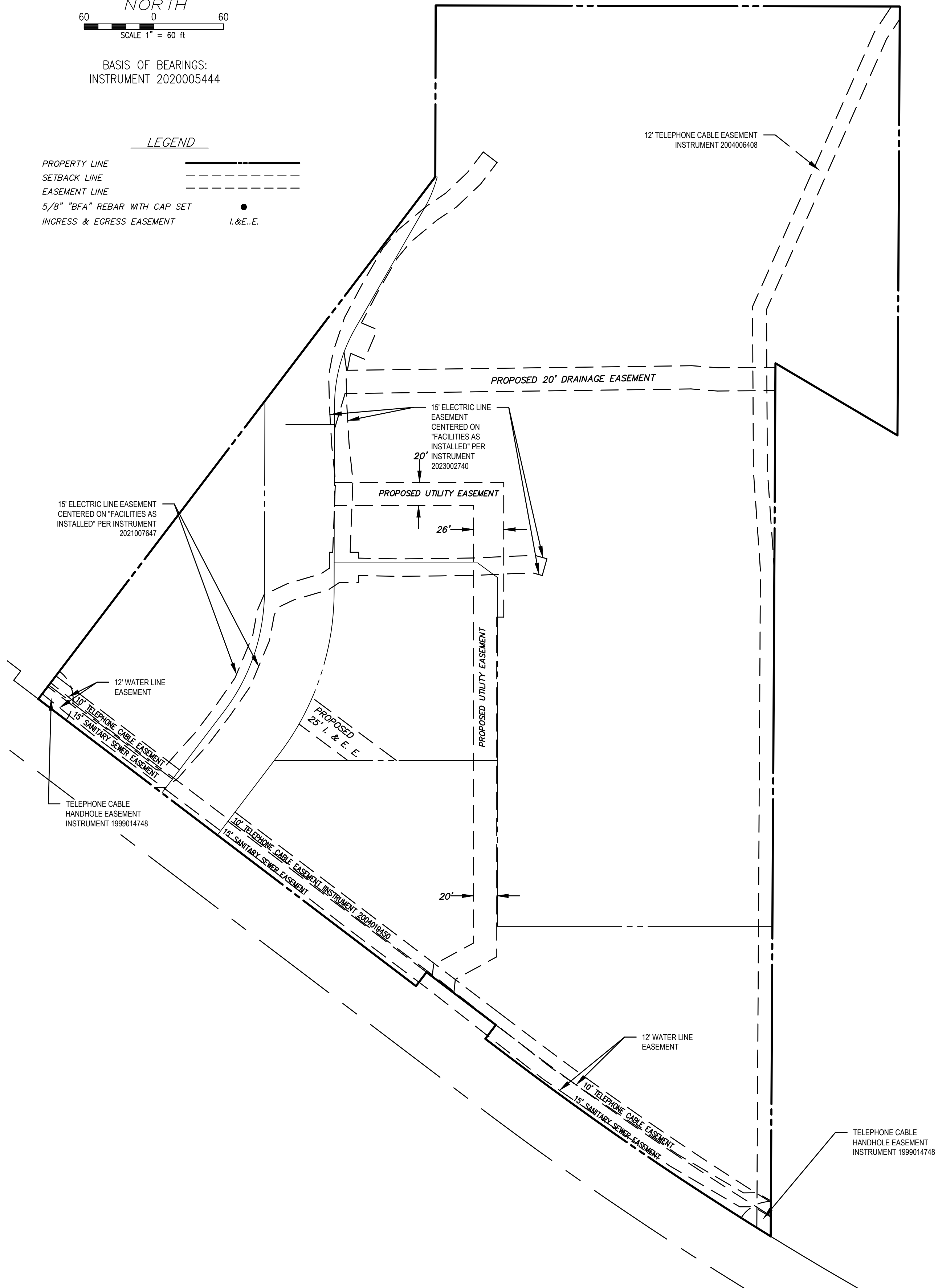




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