

AGENDA
ELLETTSVILLE PLAN COMMISSION
Town Hall
1150 W. Guy McCown Drive
Ellettsville, Indiana
Thursday, August 8, 2024 - 6:00 P.M.

Pledge of Allegiance

Roll Call

Approval of Minutes – July 11, 2024

Monthly Conflict of Interest Statement

Old Business

New Business

Voluntary Annexation of 5517 N. Union Valley Road, Bloomington (6.23 Acres);
Petitioner: Valu-built, Inc.; Case No. PC 24-21

Development Plan Approval for an Office Building located at 509 W. Temperance Street;
Petitioners: Marc Cornett Architects and Dennis Burch; Case No. PC 24-19

Resolution 02-2024 to Authorize the Ellettsville Planning Director to Temporarily Waive
the Requirement of Two Access Points for the Charlestowne Manor Subdivision

Resolution 03-2024 Recommending Repeal of the Town of Ellettsville, Indiana, Zoning
Ordinance, Subdivision Control Ordinance and Maps and the Adoption of the Town of
Ellettsville, Indiana, Unified Development Ordinance and Maps

Planning Department Update

Next Meeting – September 5, 2024

Privilege of the Floor – Non-Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs and activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

The Town of Ellettsville Plan Commission is inviting you to a scheduled Zoom meeting.

Topic: Plan Commission

Time: Aug 8, 2024 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/81849773530?pwd=b9QaMMAI0aCgxD08CgwB3BnBkI53al.1>

Meeting ID: 818 4977 3530

Passcode: 321522

One tap mobile

+13092053325,,81849773530#,,,,*321522# US

+13126266799,,81849773530#,,,,*321522# US (Chicago)

Dial by your location

- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 931 3860 US
- +1 929 205 6099 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)

Meeting ID: 818 4977 3530

Passcode: 321522

July 11, 2024

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, July 11, 2024, at Town Hall. David Drake called the meeting to order at 6:00 p.m. and Ryan Skaggs led the Pledge of Allegiance.

Roll Call: Members participating were: David Drake, President; Dan Swafford, Vice President; Zach Michael; Pamela Samples; Ryan Skaggs and Pat Wesolowski. Denise Line, Planning Director, Mike Burns, Assistant Planner, and Darla Brown, Town Attorney were also present. Steve Hale was absent.

Approval of the Minutes

David Drake entertained a motion to approve the minutes for the regular meeting on May 2, 2024. Pat Wesolowski made a motion to approve the minutes for May 2, 2024. Pamela Samples seconded the motion. Motion carried.

New Business

Public Hearing on the Unified Development Ordinance

Denise Line, Planning Director explained the Unified Development Ordinance combines the Town Zoning Ordinance and the Subdivision Control Ordinances into one document. The steering committee met on numerous occasions to come up with the draft. Copies of this draft were delivered to Plan Commission members on June 24, 2024, to allow ample time for review. Shawn Dade was introduced for his presentation.

Shawn Dade, Taylor Siefker Williams, gave a presentation on the Unified Development Ordinance highlighting the main topics of all the nine chapters. An updated zoning map was also presented.

After discussion David Drake made a motion to send the Unified Development Ordinance to the Town Council with a favorable recommendation. Pat Wesolowski seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Zach Michael-yes; Pamela Samples-yes; Ryan Skaggs-yes and Pat Wesolowski-yes. Motion Carried.

David Drake made a motion to send the Zoning Map to the Town Council with a favorable recommendation and Pat Wesolowski seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Zach Michael-yes; Pamela Samples-yes; Ryan Skaggs-yes and Pat Wesolowski-yes. Motion Carried.

Planning Department Updates

Denise Line, Planning Director advised next month's meeting is on August 8, 2024, and there will be new business.

Plan Commission Comments

Privilege of the Floor

Adjournment

David Drake adjourned the meeting at 6:32 p.m.

David Drake, President

Dan Swafford, Vice President

Ryan Skaggs

Steve Hale

Pamela Samples

Zach Michael

Pat Wesolowski

Mike Burns, Secretary



Town of Ellettsville

Department of Planning & Development

PC 24-21 – Voluntary Annexation Petition Staff Report

Petition

Case - PC 24-21–Valu-built Annexation. A request by Valu-built, Inc., to voluntarily annex a parcel totaling approximately 6.23 acres of land. The subject parcel is located at 5517 N. Union Valley Road.

Surrounding Zoning Districts & Uses



Zoning District	Property Use
North: AG/RR: Agricultural/Rural Reserve (County)	Single Family Residential
South: R-1; Single Family Residential	Single Family Residential
East: AG/RR: Agricultural/Rural Reserve (County)	Single Family Residential
West: R-1; Single Family Residential	Single Family Residential

Considerations

The petitioner is requesting to annex one (1) parcel totaling approximately 6.23 acres of land, located at 5571 N. Union Valley Road.

1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
 - a. Consent of 100% of the property owners within the area to be annexed.
 - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
2. The proposed annexation area is 59% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
3. The properties are currently zoned AG/RR, Agricultural/Rural Reserve, by Monroe County and is recommended to be designated as Residential-1, Single Family Residential upon annexation.
4. The property will be located in Council Ward 4.
5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

Plan Commission Action

The Plan Commission action shall be in the form of a *favorable, unfavorable, or no recommendation* to Town Council, which takes final action on the annexation petition.

Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of R-1, Single Family Residential, upon annexation.

Submitted by Denise Line
Director, Ellettsville Planning
August 8, 2024





Town of Ellettsville

Department of Planning & Development

FISCAL PLAN

Valu-built Annexation

Project Description

Location: 5517 N. Union Valley Road

Size: +/- 6.23 acres

Number of Parcels: 1

Current Zoning (Monroe County): AG/RR; Agricultural/Rural Reserve

Proposed Zoning: R-1; Single Family Residential

State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed are fifty-nine percent (59%) contiguous to the boundaries of the municipality;

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

1. The cost estimates for planned services to be furnished to the property to be annexed;
2. The method or methods of financing the planned services;
3. The organization and extension of services;
4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
6. The estimated effect on taxpayers in the Town of Ellettsville;
7. The effect of annexation on the Town of Ellettsville finances;
8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
9. A list of the property, property owner, parcel identification number and most recent assessed value.

Contiguity

The property to be annexed by the Town of Ellettsville has a total border of 1,831.33 feet and is contiguous along 1,078.94 feet. The total percentage contiguous is 59%, meeting contiguity requirements of Indiana Code and will be zoned Residential 1; Single Family Residential.

Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

Organization and Extension of Services

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

Financial Recommendations

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

1. Real Property Tax

- a. The net assessed valuations of the parcels as of May 10, 2024, is \$385,600 and will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.

2. Personal Property Tax

- a. There will likely not be personal property taxes associated with development of this parcel.

3. Local Income Tax (LIT)

- a. On July 1st of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the

proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.

4. Water/Sewer
 - a. There are no expected cost increases to the Town to provide these services.

Effect of Annexation

1. Estimated Effect on Taxpayers in Ellettsville
 - a. The estimated tax rate would increase from 0.5673 to 0.6169 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
 - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.004 would amount to approximately \$16.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
 - c. The annexation will not require any increase in expenditures.
 - d. The annexation of this parcel should have no noticeable effects on service levels.
 - e. The annexation will have minimal to no effect on annual debt service payments.
2. Estimated Effect on Municipal Finances
 - a. The estimated levy increase due to the annexation is \$1,860.52. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$7,935.99 over this time period compared to the growth rate without annexation.
 - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
3. Estimated Effect on Other Political Subdivisions
 - a. There is no outstanding Monroe County debt tied to income taxes to consider.
 - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
 - c. Richland Township currently has \$38,475 of outstanding debt spread across three years to consider.
 - i. Ellettsville would be required to repay a total of \$1,393.78 over those five years to cover the amount lost from annexation. (See appendix for yearly totals)
 - d. There is a tax rate totaling 0.014430 for Richland Township fire that would result in approximately \$22.69 per year that would be lost due to annexation.
 - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.12894, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
 - e. The circuit breaker does not come into effect for this annexation.

Parcels to be Annexed

1. Parcel ID No. 53-04-11-400-012.000-011
 - a. Property Owner – Ross B. Arvin Special Needs Trust
 - b. Property Address – 5517 N. Union Valley Road
 - c. Assessed Value (2023) - \$385,600

Other Considerations

1. The property is currently zoned AG/RR; Agricultural/Rural Reserve by Monroe County and all will be designated as R-1; Single Family Residential
2. The property will be assigned to Council Ward 4.

Summary

The purpose of this annexation is to bring two (2) parcels into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of A-1; Agricultural.

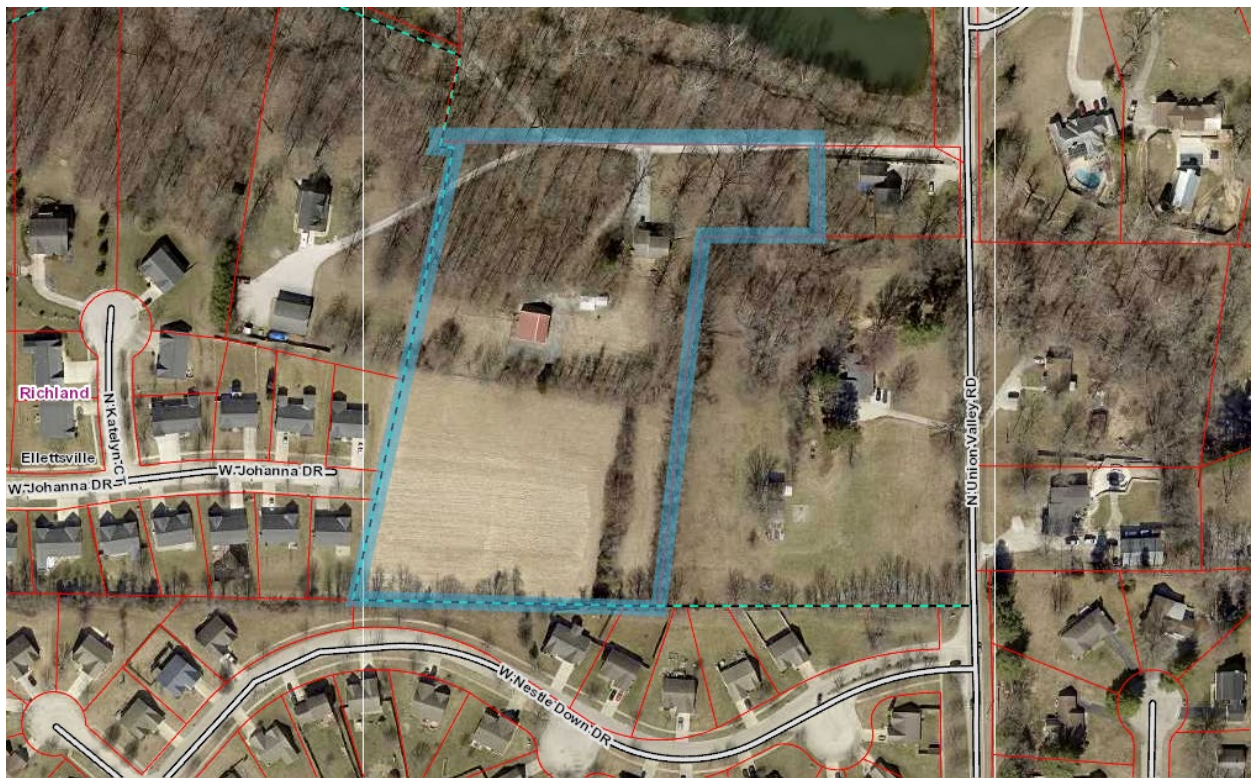
Legal Description

Part of the east half of Section 11, Township 9 North, Range 2 West, lying in Monroe County, Indiana, described as follows:

Commence at the southeast corner of said Section 11, said corner being marked by a railroad spike in the approximate centerline of Union Valley Road; thence North 00 degrees 09 minutes 15 seconds East 2,852.50 feet along the east line of said Section 11, to the northeast corner of the Jane E. Barker property as described in Deed Record 345, at page 443, in the office of the Recorder of Monroe County, Indiana, thence North 88 degrees 42 minutes 30 seconds West 220.00 feet along the north line and to the northwest corner of said Barker property, said point being the point of beginning of herein described parcel; thence South 00 degrees 09 minutes 15 seconds West 130 feet along the west line and to the southwest corner of said Barker property, said southwest corner being on the north line of the Gregory and Deborah Popp property as described in Deed Record Book 321, at page 240, in the office of the Recorder of Monroe County, Indiana, thence North 88 degrees 42 minutes 30 seconds West 169.35 feet along said north line and to the northwest corner of said Popp property; thence South 07 degrees 02 minutes 00 seconds West 498.00 feet along the west line and to the southwest corner of said Popp property and the north line of the Tom Ponton property as described in Deed Record Book 360, pages 498 and 499, in the office of the Recorder of Monroe County, Indiana; thence North 88 degrees 42 minutes 30 seconds West 428.50 feet along the north line of said Ponton property to the southeast corner of the Scott and Tracy Housel property as recorded in Deed Record Book 354, at page 100, in the office of the Recorder of Monroe County, Indiana; thence North 12 degrees 28 minutes 20 seconds East 636.96 feet along the east line of said Scott and Tracy Housel property; thence South 88 degrees 42 minutes 30 seconds East 521.59 feet to the point of beginning, containing 6.23 acres, more or less.

ALSO CONVEYING:

An Ingress and Egress Easement and Maintenance Agreement recorded December 14, 2004, as Instrument Number 2004026683, as corrected by Surveyor's Affidavit recorded as Instrument Number 2013003570, all in the office of the Recorder of Monroe County, Indiana..





Town of Ellettsville

Department of Planning & Development

PC 24-19 – Development Plan Petition Staff Report



Zoning District	Property Use
North: C-3; General Commercial	Gas Station/Convenience Store
South: C-3; General Commercial & R-1; Single Family Residential	Parking Lot & Church
East: C-3; General Commercial	Health & Fitness Facility
West: C-3; General Commercial	Coffee/food Establishment

Considerations

1. The applicant is requesting approval of a development plan to construct an office building totaling .19 acres.
2. The property is zoned C-3; General Commercial, and the use is permitted by right.
3. The business will be accessed from W. Temperance Street.
4. The Technical Advisory Committee met on July 23rd and reviewed the plans as submitted. No significant deficiencies were reported, notes from the meeting are as follows:
 - The plans need to include a grading plan or show any elevations
 - Changes to the drive onto SR 46 and sidewalks will require a permit from INDOT
 - The plans need to show construction details for curbs, the concrete drainage channel, pavement, handicap ramps, bollards, sidewalks, pavement patching, topsoil depth, mulching and seeding, signage/signage island
 - Need to show dimension for the length of the employee parking
 - The parking space and lot dimensions need to be listed
 - Need to show the water line easement along SR 46
 - Need to show the front yard setback dimension
 - Site lighting locations to be provided.
 - Knox Box required
 - Fire Department information provided
 - Silt worm will be needed over the two entrances
 - Minimize site runoff
 - The point of entry is to be Fifth Street (alley)
 - Notify the Street and Fire Departments of any street closure.
 - Will maintain existing upgrade service for the water meter at the appropriate time
 - Applicant is putting a new line to existing utilities; Ellettsville Utilities will make the tap (there will not be a tap fee)
 - No hook-on fees because of existing utilities on site.
 - Old clay line will be retired at the curb
 - Water main will be redirected to the manhole
5. The development plan meets the minimum requirements of the Ellettsville Town Code and Tech Review comments have been addressed.
6. Plan Commission shall consider the following in determining whether to approve a development plan:
 - a. Compatibility of the development plan with surrounding land uses;
 - b. Compatibility of the development plan with the recommendations of the comprehensive plan;
 - c. Adequate provisions for internal management of traffic;
 - d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
 - e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;

- f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
 - g. Adequate on-site management of stormwater, and erosion control;
 - h. Adequate provision for green space and or landscaping;
 - i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
 - j. Adequate protection of existing limestone structures; and
 - k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
7. There are approximately 6 parking spaces that include two (2) accessible parking spaces, two (2) for clients and two (2) for employees. Staff finds the parking for the business is sufficient.
 8. The site meets or exceeds all setback requirements.
 9. When necessary to accommodate the particular needs of the development plan under review or the particular needs of the community which will be impacted, higher standards and greater requirements shall be included as required by the Plan Commission.

Plan Commission Action

The Plan Commission action on the development plan can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration No. 6.

- a. *Compatibility of the development plan with surrounding land uses.*

Office buildings are permitted by right in the C-3 district, and, therefore, would be considered compatible with surrounding land uses. In addition, the use will have little direct impact on adjacent properties.

- b. *Compatibility of the development plan with the recommendations of the comprehensive plan.*

Commercial uses are encouraged along W. Temperance Street.

- c. *Adequate provisions for internal management of traffic.*

Traffic will enter and exit from W. Temperance Street and adequate traffic flow has been accommodated in the Development Plan. The Fire Department has approved the use as there is room to get their equipment on the lot as presented in the Development Plan. The number of parking spaces is sufficient.

- d. *Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.*

All traffic will come from W. Temperance Street and S. Fifth Street will be utilized for the two (2) employee parking spaces. There is no reason for concern at this time as two employees will be accessing S. Fifth Street.

- e. *Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.*

Infrastructure will be included on site as required by Fire and Building codes.

f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.

W. Temperance Street is maintained by the Indiana Department of Transportation.

g. Adequate on-site management of stormwater, and erosion control.

Stormwater and erosion control will be managed in accordance with Town and State regulations.

h. Adequate provision for green space and or landscaping.

The Petitioner has voluntarily included landscaping for the project.

i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.

The Petitioner voluntarily agreed to include landscaping which will serve as a buffer along W. Temperance Street and S. Sale Street.

j. Adequate protection of existing limestone structures.

There are no limestone structures indicated on site.

k. Provision of pathways, trails and our sidewalks for all non-industrial developments.

Sidewalks will be added pursuant to the Development Plan.

As of the time of the writing of this report, there have been no written concerns regarding the development plan received by Staff.

Development Plan approval shall be predicated on the criteria listed under consideration No. 6. If the Plan Commission does find that the development plan is in agreement with those items, the Plan Commission shall approve the development plan. Additionally, the Plan Commission may include any conditions they feel are necessary and relevant to develop the property in an appropriate manner.

Recommendations from the Technical Review Meeting either have been addressed or will be addressed by the time of building approval. Additionally, it is Staff opinion that the requirements of the Development Plan section from the Town of Ellettsville Code of Ordinances have been reasonably achieved. Staff recommends the Plan Commission approve the development plan.

The Plan Commission may add conditions only to the extent they are relevant to the overall benefit to the Town. If the Plan Commission does not find that all criteria have been met, they shall state specifically which criteria have not been met and how they could reasonably be achieved.

Submitted by Denise Line
Director, Ellettsville Planning
January 11, 2024



Site Photos







Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes

Development Plan for 509 W. Temperance Street

Project Description

Location: 509 W. Temperance Street

Size: .19 +/- Acres

Current Zoning: C-3; General Business

Planning & Engineer

- The plans need to include a grading plan or show any elevations
- Changes to the drive onto SR 46 and sidewalks will require a permit from INDOT
- The plans need to show construction details for curbs, the concrete drainage channel, pavement, handicap ramps, bollards, sidewalks, pavement patching, topsoil depth, mulching and seeding, signage/signage island
- Need to show dimension for the length of the employee parking
- The parking space and lot dimensions need to be listed
- Need to show the water line easement along SR 46
- Need to show the front yard setback dimension
- Site lighting locations to be provided.

Fire

- Knox Box required
- Fire Department information provided

MS4

- Silt worm will be needed over the two entrances
- Minimize site runoff

Street

- The point of entry is to be Fifth Street (alley).
- Notify the Street and Fire Departments of any street closures

Utilities

- Will maintain existing upgrade service for the water meter at the appropriate time
- Applicant is putting a new line to existing utilities; Ellettsville Utilities will make the tap (there will not be a tap fee)
- No hook-on fees because of existing utilities on site.
- Old clay line will be retired at the curb
- Water main will be redirected to the manhole

Summary

The Development Plan request is for an office building at 509 W. Temperance Street. The Technical Review Committee met on July 23, 2024, to discuss the Development Plan. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer; Planning Director Denise Line; Assistant Planner, Mike Burns; Kip Headdy, Street Commissioner, Fire/Commercial Inspector Ron Vandeventer, and Dillon Plummer, MS4 Inspector. Also, in attendance were Dennis Birch Project Engineer, representing the Petitioner. Town Engineering Consultant, Rick Coppock, provided his comments by email. Comments included are those that have been received by the Planning Department. Any additional comments from the Technical Review committee that are not listed above shall still be taken into consideration. Plan Commission should approve the development plan after the above-mentioned items have been addressed but may also add conditions as they see fit. Any requested revisions may be submitted in electronic form, with paper copies only necessary after Plan Commission approval.

Submitted by Denise Line
Director, Ellettsville Planning
July 23, 2024

Proposed Office Building for:

ALTERNATIVE CARE SOLUTIONS, LLC

509 W. Temperance St.
Ellettsville, Indiana 47429

Project Number 2024-07

July 29, 2024

UTILITY CONTACT INFORMATION

GAS	SEWER AND WATER	ELECTRIC
VECHREN 205 S. MADISON ST. BLOOMINGTON, IN 47401	ELIETTSVILLE UTILITIES 1150 W. CIVIL McCOMB DR. ELIETTSVILLE, IN 47427	DUKE ENERGY 1619 W. BERTHOUDACH RD KOKOMO, INDIANA 46902
DOUG ANDERSON (812)334-4099	MIKE FARMER (812)876-2297	JIM SHELDON (317)375-2071
TELEPHONE	CABLE TELEVISION	UNDERGROUND UTILITY LOCATION
AI&T P.O. BOX 56 BLOOMINGTON, IN 47402	SUNSHINE TELECOM, LLC 1601 W. TEMPERANCE ST. ELIETTSVILLE, IN 47429 (800)742-4084	INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5444

OWNER:

Tiffany Norris
1010 E. Ruby Creek Dr., - Ellettsville, IN 47429
Ph. 812.671.0247
tiffany@altcarsolutions.com

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C.102	PROPOSED SITE PLAN
C.103	PROPOSED SITE GRADING and UTILITIES PLAN
C.104	PROPOSED LANDSCAPE PLAN
C.105	MISCELLANEOUS SITE DETAILS
C.106	GENERAL SITE NOTES
	ARCHITECTURAL PLANS
-	COVER - SHEET INDEX
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A.102	PROPOSED FLOOR PLAN
A.201	PROPOSED NORTH and SOUTH BUILDING ELEVATIONS
A.202	PROPOSED EAST and WEST BUILDING ELEVATIONS, BUILDING SECTIONS

ARCHITECTURE

mca Marc Cornett Architects
101 E. Kirkwood Ave. - Bloomington, IN 47408
Ph. 812.325.5964
marccornett2016@gmail.com

CERTIFIED



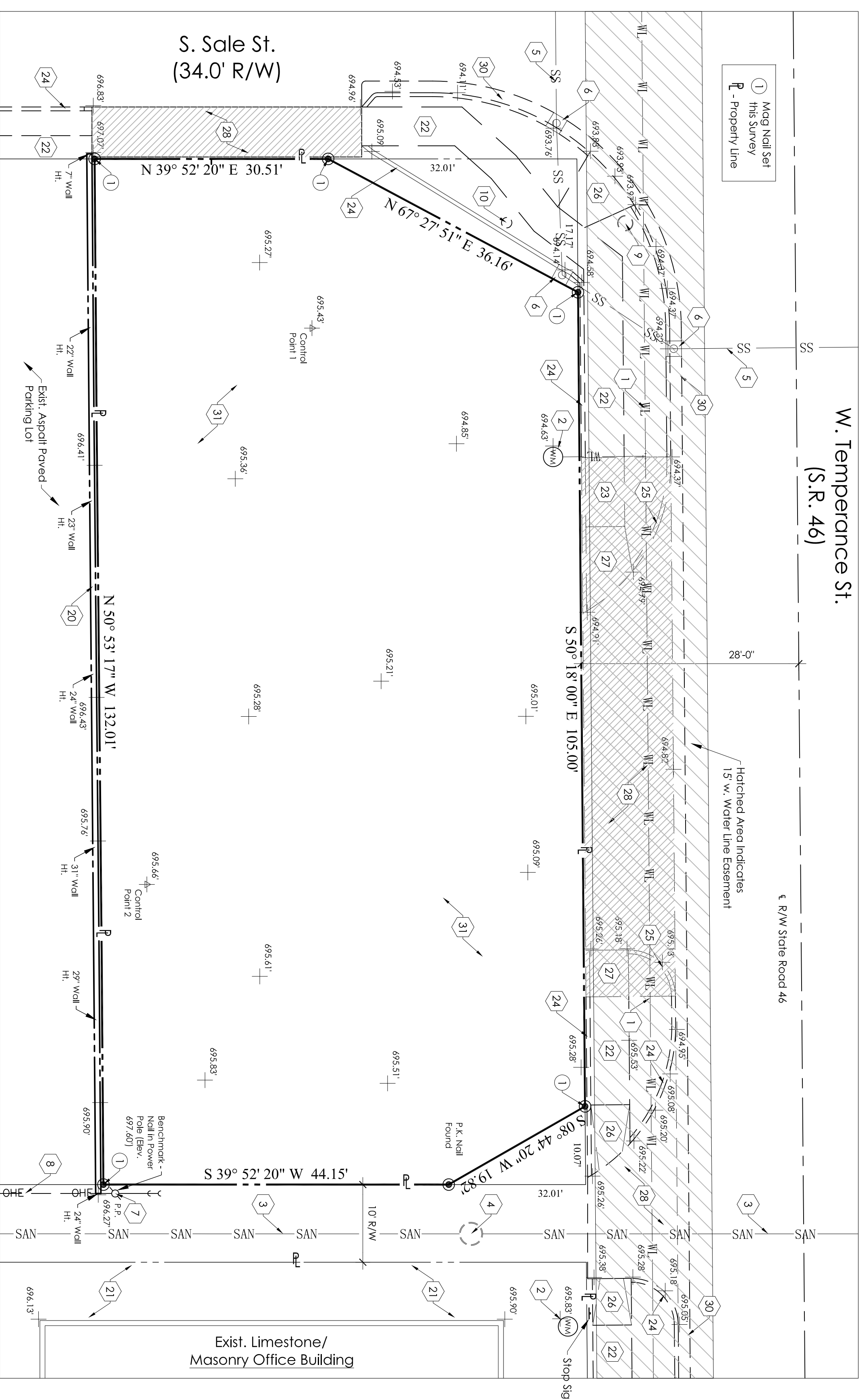
Marc H. Cornett

LAND SURVEYOR:
KEVIN B. POTTER, L.S.
 369 E. CUNNINGHAM STREET
 MARTINSVILLE, INDIANA 46151
 Ph. 812-325-8083

EXISTING SITE SURVEY LEGEND

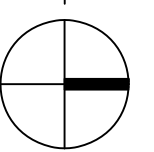
- 1 EXISTING 12' dia. WATER MAIN (to REMAIN)
- 2 EXISTING DOMESTIC WATER METER (to REMAIN)
- 3 EXISTING 8" dia. SANITARY SEWER MAIN (to REMAIN)
- 4 EXISTING SANITARY SEWER MANHOLE (to REMAIN)
- 5 EXISTING 15" dia. STORM SEWER MAIN (to REMAIN)
- 6 EXISTING STORM SEWER CURB INLET (to REMAIN)
- 7 EXISTING UTILITY POLE and GUY WIRE (to REMAIN)
- 8 EXISTING OVERHEAD ELECTRIC POWER LINE (to REMAIN)
- 9 EXISTING TRAFFIC MANHOLE (to REMAIN)
- 10 EXISTING 1/2" dia. TRAFFIC LIGHT/POLE (to REMAIN)
- 20 EXISTING 8" H.K. CMU RETAINING WALL (to REMAIN)
- 21 EXISTING CONCRETE PAD (to REMAIN)
- 22 EXISTING CONCRETE SIDEWALK (to REMAIN)
- 23 EXISTING CONCRETE SIDEWALK (T.B.R.)
- 24 EXISTING 6" CONCRETE CURB (to REMAIN)
- 25 EXISTING 6" CONCRETE CURB (T.B.R.)
- 26 EXISTING RAMPS (to REMAIN)
- 27 EXISTING RAMPS (T.B.R.)
- 28 EXISTING CONCRETE APRON (to REMAIN)
- 29 EXISTING CONCRETE APRON (T.B.R.)
- 30 EXISTING CONCRETE CURB and GUTTER (to REMAIN)
- 31 EXISTING ASPHALT PAVING (T.B.R.)

Lot Area: 7,832 s.f.
 Impervious Surface Coverage:
 7,832 s.f. (100.0%)
 Previous Surface Area:
 0 s.f. (0.0%)



Existing:
A Site Survey and Demolition Plan

Scale: 1" = 10'



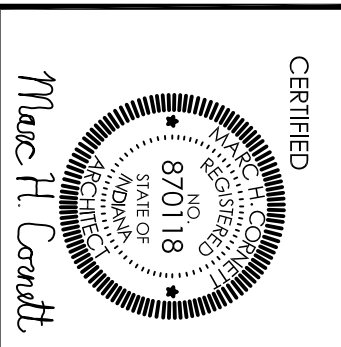
NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER of ANY INACCURACIES in LOCATION or ELEVATION of ANY CONFLICTS PRIOR to and AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE to CONTRACTOR for UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE to CONFLICTING ELEVATIONS.

Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY:
 CHECKED BY: MNC

EXISTING SITE SURVEY and DEMOLITION PLAN
C.101

REVISIONS



mca MARC CORNETT ARCHITECTS

101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marcconnett@yahoo.com

LAND SURVEYOR:
KEVIN B. POTTER, L.S.
 369 E. CUNNINGHAM STREET
 MARTINSVILLE, INDIANA 46151
 Ph. 812-325-8083

SITE PLAN LEGEND

- 1 EXISTING 12" dia. WATER MAIN (to REMAIN)
- 2 EXISTING DOMESTIC WATER METER (to REMAIN)
- 3 EXISTING 8" dia. SANITARY SEWER MAIN (to REMAIN)
- 4 EXISTING SANITARY SEWER MANHOLE (to REMAIN)
- 5 EXISTING 15" dia. STORM SEWER MAIN (to REMAIN)
- 6 EXISTING STORM SEWER CURB INLET (to REMAIN)
- 7 EXISTING UTILITY POLE and GUY WIRE (to REMAIN)
- 8 EXISTING OVERHEAD ELECTRIC POWER LINE (to REMAIN)
- 9 EXISTING TRAFFIC MANHOLE (to REMAIN)
- 10 EXISTING 16" dia. TRAFFIC LIGHT/POLE (to REMAIN)
- 11 PROPOSED DOMESTIC WATER SERVICE LINE
- 12 PROPOSED 4" Dia. SANITARY SEWER LATERAL and CLEANOUT
- 13 PROPOSED UNDERGROUND ELECTRIC SERVICE
- 14 PROPOSED 2" Dia. EVMC CONDUIT
- 15 PROPOSED ELECTRIC METER CENTER
- 16 EXISTING 8" THK. CMU RETAINING WALL (to REMAIN)
- 17 EXISTING CONCRETE PAD (to REMAIN)
- 18 EXISTING CONCRETE SIDEWALK (to REMAIN)
- 19 EXISTING CONCRETE SIDEWALK (T.B.R.)
- 20 EXISTING 6" CONCRETE CURB (to REMAIN)
- 21 EXISTING 6" CONCRETE CURB (T.B.R.)
- 22 EXISTING RAMP (to REMAIN)
- 23 EXISTING CONCRETE APRON (to REMAIN)
- 24 EXISTING CONCRETE CURB and GUTTER (to REMAIN)
- 25 EXISTING ASPHALT PAVING (T.B.R.)
- 26 EXISTING CONCRETE APRON (to REMAIN)
- 27 EXISTING RAMP (T.B.R.)
- 28 EXISTING CONCRETE APRON (to REMAIN)
- 29 EXISTING CONCRETE CURB and GUTTER (to REMAIN)
- 30 EXISTING ASPHALT PAVING (T.B.R.)
- 31 PROPOSED 5" W. CONCRETE SIDEWALK
- 32 PROPOSED 6" CONCRETE CURB
- 33 PROPOSED CONCRETE RAMP
- 34 PROPOSED CONCRETE APRON
- 35 PROPOSED CONCRETE CURB and GUTTER
- 36 PROPOSED ASPHALT PAVING
- 37 PROPOSED H.C. ACCESS RAMP
- 38 PROPOSED CONCRETE DRAINAGE CHANNEL
- 39 PROPOSED CONCRETE PARKING BARRIER
- 40 PROPOSED ONE-STREET PARKING (REPAVE AREA AS SHOWN)
- 41 PROPOSED 12" x 4" CONCRETE CURB (from PARKING to BUILDING FACE TRANSITION)
- 42 PROPOSED 4 1/2" dia. x 3 ft. STEEL PIPE BOLLARD(S)
- 43 PROPOSED CONCRETE SIGNAGE ISLAND
- 44 PROPOSED 36" h. STREET SIGN
- 45 PROPOSED YARD AREA
- 46 PROPOSED LANDSCAPE AREA
- 47 PROPOSED SMALL DECIDUOUS ORNAMENTAL/LANESCAPE TREE
- 48 PROPOSED LARGE DECIDUOUS TREE

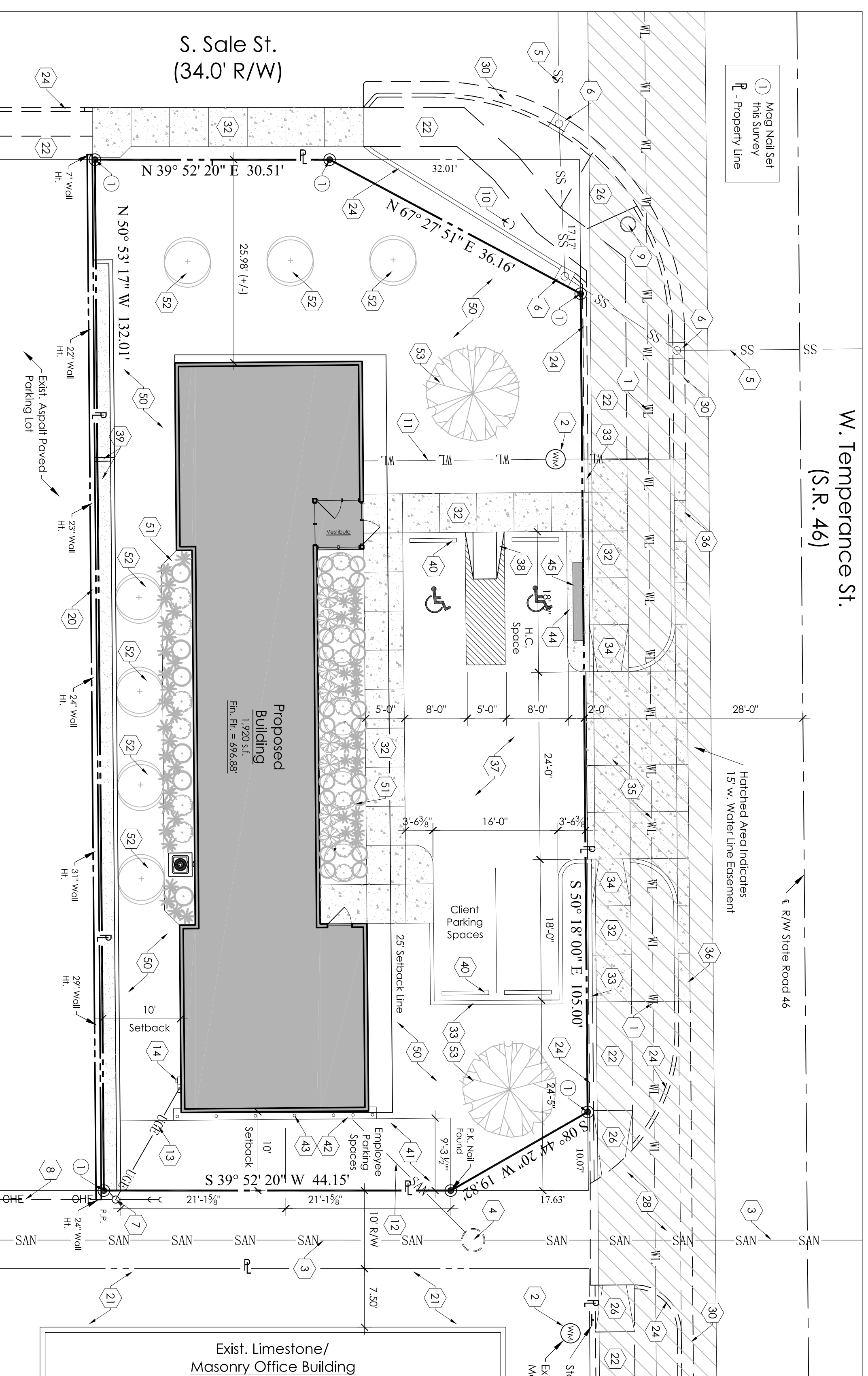
Lot Area: 7,832 s.f.
 Impervious Surface Coverage:
 4,114 s.f. (52.5%)
 Pervious Surface Area:
 3,718 s.f. (47.5%)

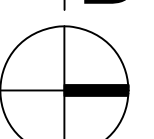
UTILITY NOTIFICATION UPDATES:

1. PRE-CONSTRUCTION MEETINGS: ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING with the CITY OF ELLETTSVILLE UTILITIES DEPARTMENT. THE CITY OF ELLETTSVILLE UTILITIES DEPARTMENT WILL BE CONTACTED BY THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN at (812) 876-2297 to SCHEDULE the MEETING.
2. UTILITIES INSPECTION: CONTRACTORS SHALL NOTIFY the CITY OF ELLETTSVILLE UTILITIES DEPARTMENT ONE (1) WORKING DAY PRIOR to CONSTRUCTION of ANY WATER, STORM or SANITARY SEWER UTILITY WORK. AN ELLETTSVILLE UTILITIES DEPARTMENT INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED. DOCUMENTED PHOTOGRAPHY SHALL BE TAKEN AND PROVIDED TO THE CITY OF ELLETTSVILLE UTILITIES DEPARTMENT. WORK SHALL BE STOPPED IMMEDIATELY if any work is found to be in violation of the CITY OF ELLETTSVILLE UTILITIES DEPARTMENT WORK HOURS. THE CONTRACTOR WILL PAY for the INSPECTOR'S OVERTIME. FOR ALL WORKS, THE CONTRACTOR SHALL CONTACT the CITY OF ELLETTSVILLE UTILITIES DEPARTMENT at (812) 876-2297.

GENERAL SITE PLAN/UTILITIES PLAN NOTES:

1. ALL TAPS on EXISTING SEWER and WATER MAINS MUST BE MADE BY CITY OF ELLETTSVILLE UTILITIES DEPARTMENT PERSONNEL.



Proposed:
A Site Plan 
 Scale: 1" = 10'-0"

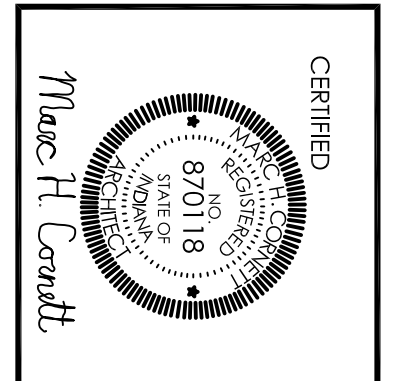
NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER of ANY INACCURACIES IN LOCATION or ELEVATION of ANY UTILITIES PRIOR to ANY EXCAVATION. NO PAYMENT SHALL BE MADE to CONTRACTOR for UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE to CONFLICTING ELEVATIONS.

PROPOSED SITE PLAN
C.102

PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY:
 CHECKED BY: MNC

Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

REVISIONS



mca MARC CORNETT ARCHITECTS
 101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marccornett@yahoo.com

SITE GRADING/UTILITIES PLAN LEGEND

- 1 EXISTING 12" dia. WATER MAIN (to REMAIN)
- 2 EXISTING DOMESTIC WATER METER (to REMAIN)
- 3 EXISTING 8" dia. SANITARY SEWER MAIN (to REMAIN)
- 4 EXISTING SANITARY SEWER MANHOLE (to REMAIN)
- 5 EXISTING 15" dia. STORM SEWER MAIN (to REMAIN)
- 6 EXISTING STORM SEWER CURB INLET (to REMAIN)
- 7 EXISTING UTILITY POLE and GUY WIRE (to REMAIN)
- 8 EXISTING OVERHEAD ELECTRIC POWER LINE (to REMAIN)
- 9 EXISTING TRAFFIC MANHOLE (to REMAIN)
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- 12 PROPOSED 4" Dia. SANITARY SEWER LATERAL and CLEANOUT
- 13 PROPOSED UNDERGROUND ELECTRIC SERVICE
- 14 PROPOSED 2" Dia. EVMC CONDUIT
- 15 PROPOSED ELECTRIC METER CENTER
- 16 EXISTING 8" THK. CMU RETAINING WALL (to REMAIN)
- 17 EXISTING CONCRETE PAD (to REMAIN)
- 18 EXISTING CONCRETE SIDEWALK (to REMAIN)
- 19 EXISTING CONCRETE SIDEWALK (18" R.I.)
- 20 EXISTING 6" CONCRETE CURB (to REMAIN)
- 21 EXISTING 6" CONCRETE CURB (18" R.I.)
- 22 EXISTING RAMP (to REMAIN)
- 23 EXISTING CONCRETE APRON (18" R.I.)
- 24 EXISTING CONCRETE APRON (to REMAIN)
- 25 EXISTING ASPHALT PAVING (18" R.I.)
- 26 EXISTING CONCRETE APRON (to REMAIN)
- 27 EXISTING CONCRETE APRON (18" R.I.)
- 28 EXISTING CONCRETE CURB and GUTTER (to REMAIN)
- 29 EXISTING CONCRETE CURB and GUTTER (to REMAIN)
- 30 EXISTING ASPHALT PAVING (18" R.I.)
- 31 PROPOSED 5" W. CONCRETE SIDEWALK
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- 45 PROPOSED YARD AREA
- 46 PROPOSED LANDSCAPE AREA
- 47 PROPOSED SMALL DECIDUOUS ORNAMENTAL/TREE/SCAPE TREE
- 48 PROPOSED LARGE DECIDUOUS TREE

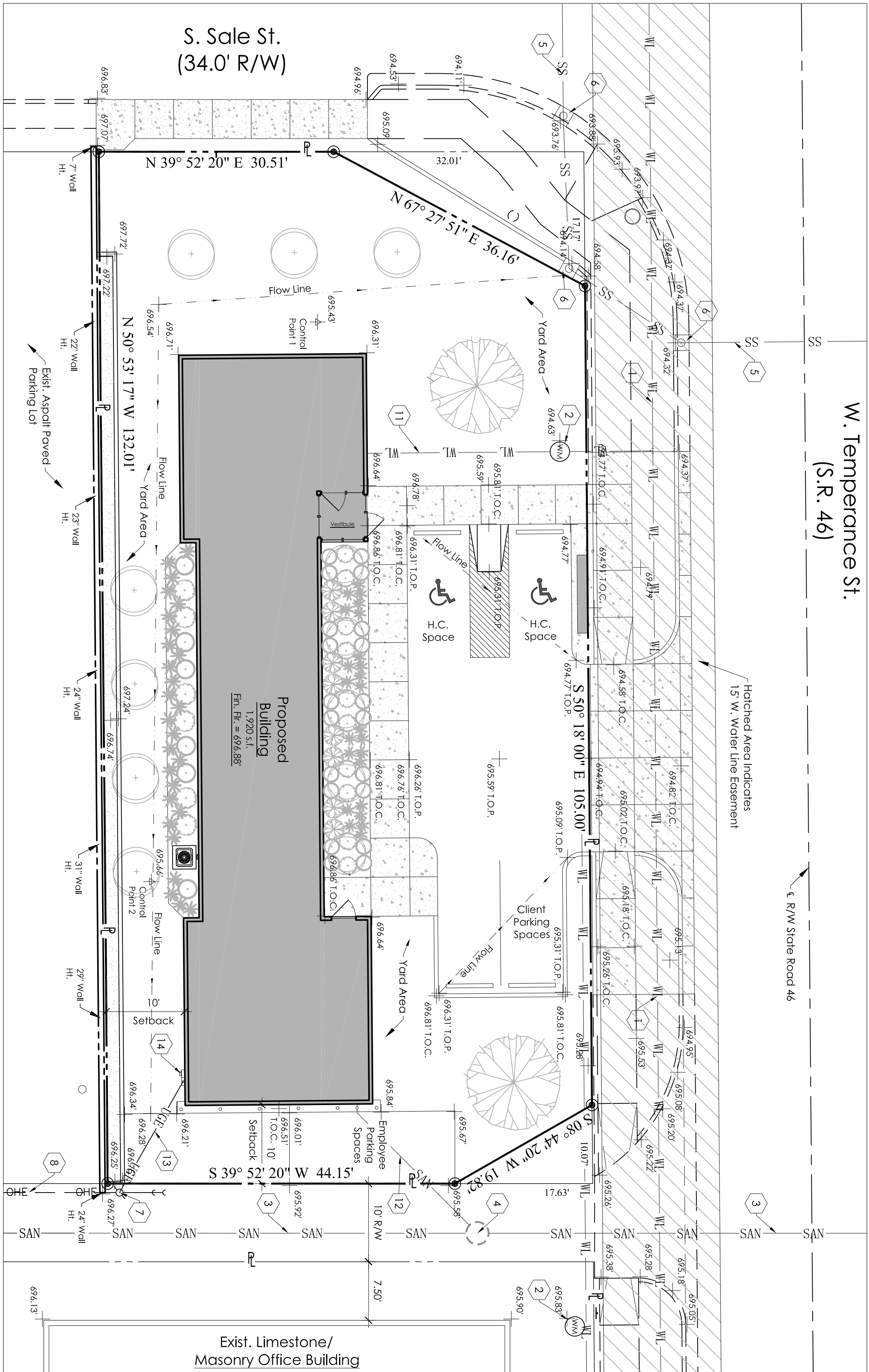
Lot Area: 7,832 s.f.
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 Pervious Surface Area:
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GENERAL SITE PLAN/UTILITIES PLAN NOTES:

1. ALL TAPS ON EXISTING SEWER and WATER MAINS MUST BE MADE BY CITY OF ELLETTSVILLE UTILITIES DEPARTMENT PERSONNEL.



Proposed
A Site Grading and Utilities Plan

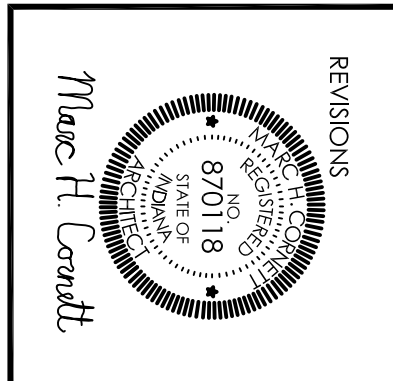
Scale: 1" = 10'-0"

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER of ANY INACCURACIES IN LOCATION or ELEVATION or ANY CONFLICTS PRIOR to and AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE to CONTRACTOR for UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE to CONFLICTING ELEVATIONS.

C.103

PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY:
 CHECKED BY: MHC

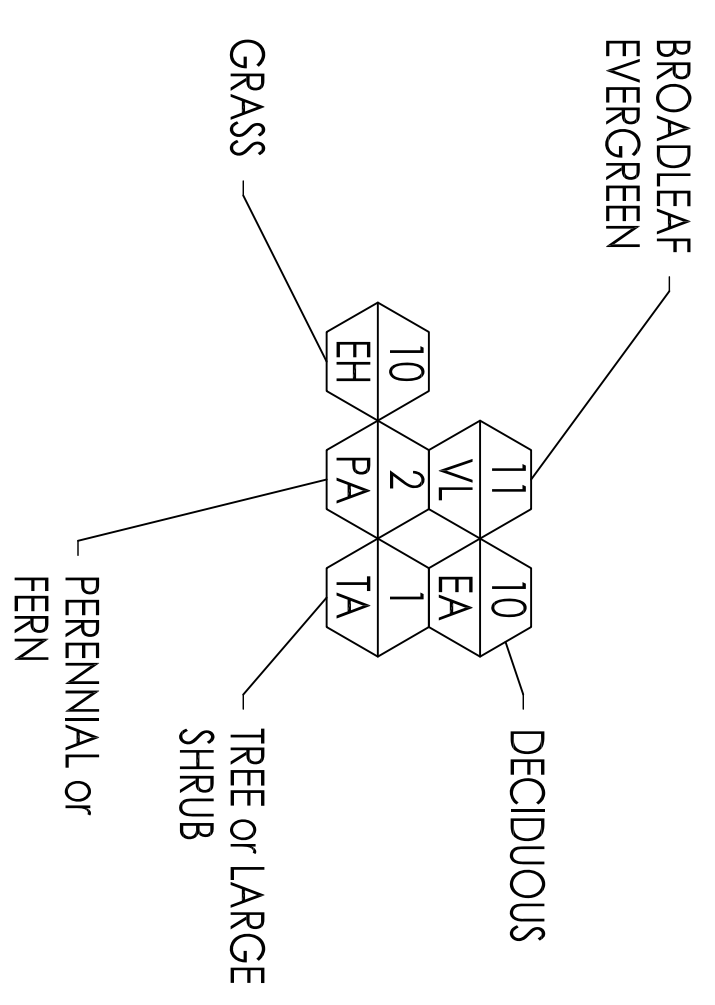
Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana



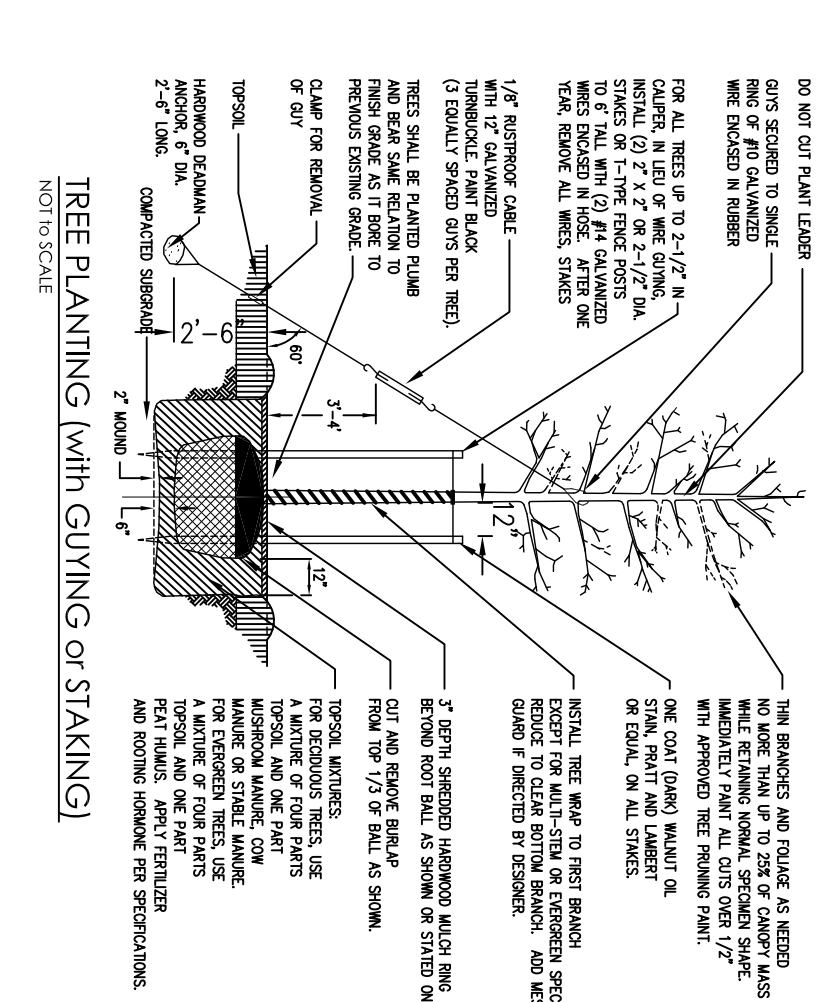
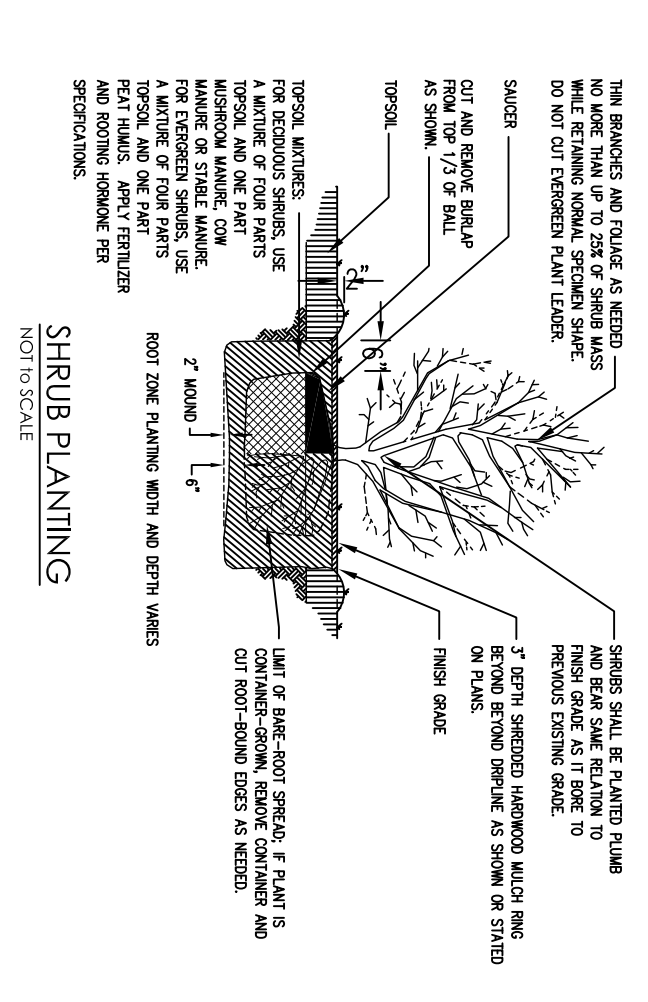
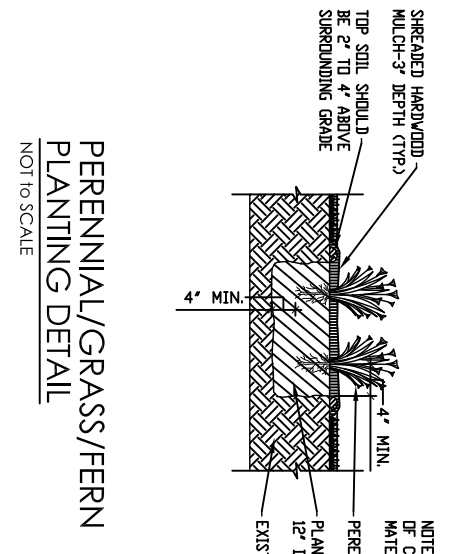
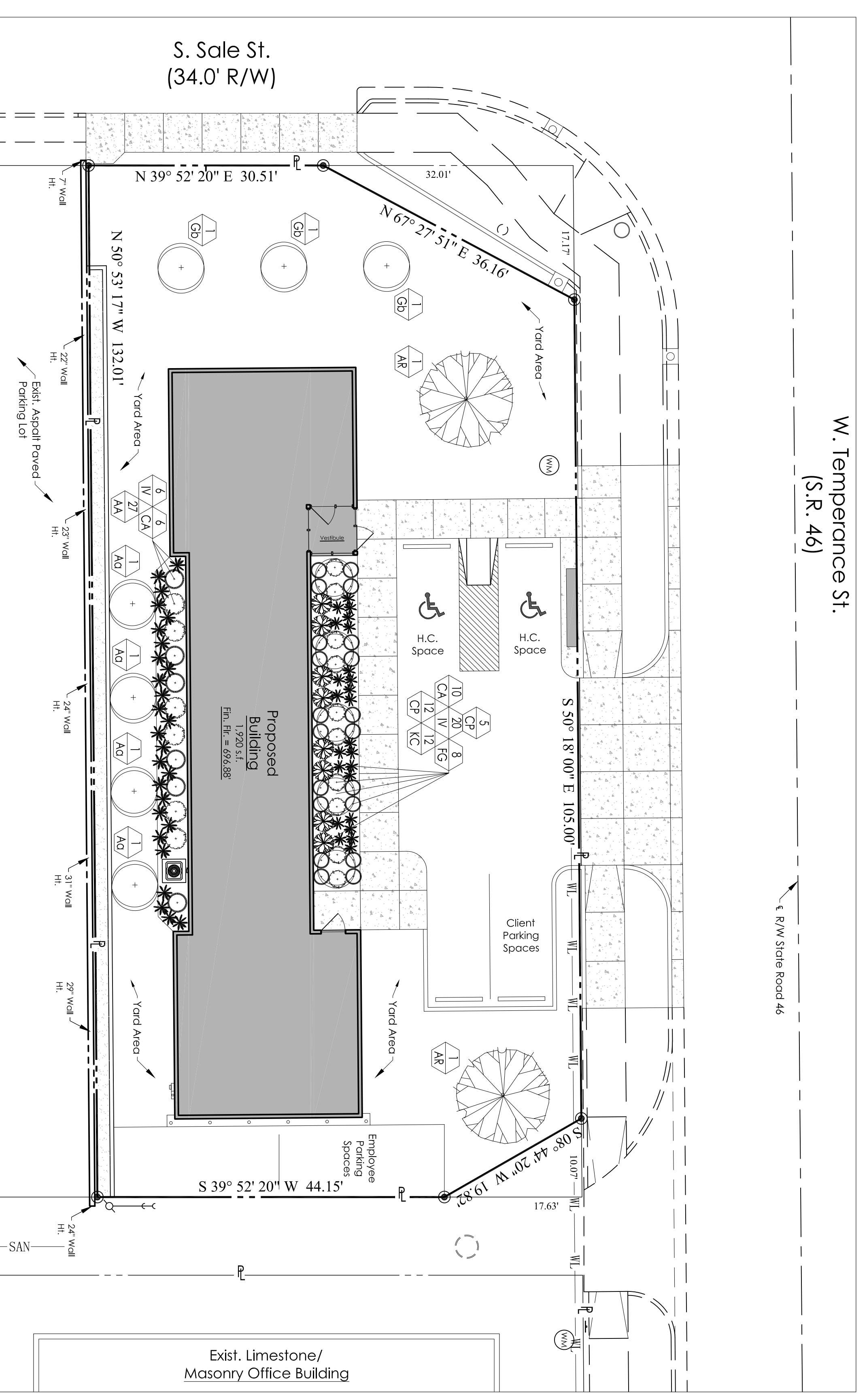
CERTIFIED

mca MARC CORNETT ARCHITECTS
 101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marcconnett@yahoo.com

PLANT LABELING LEGEND:



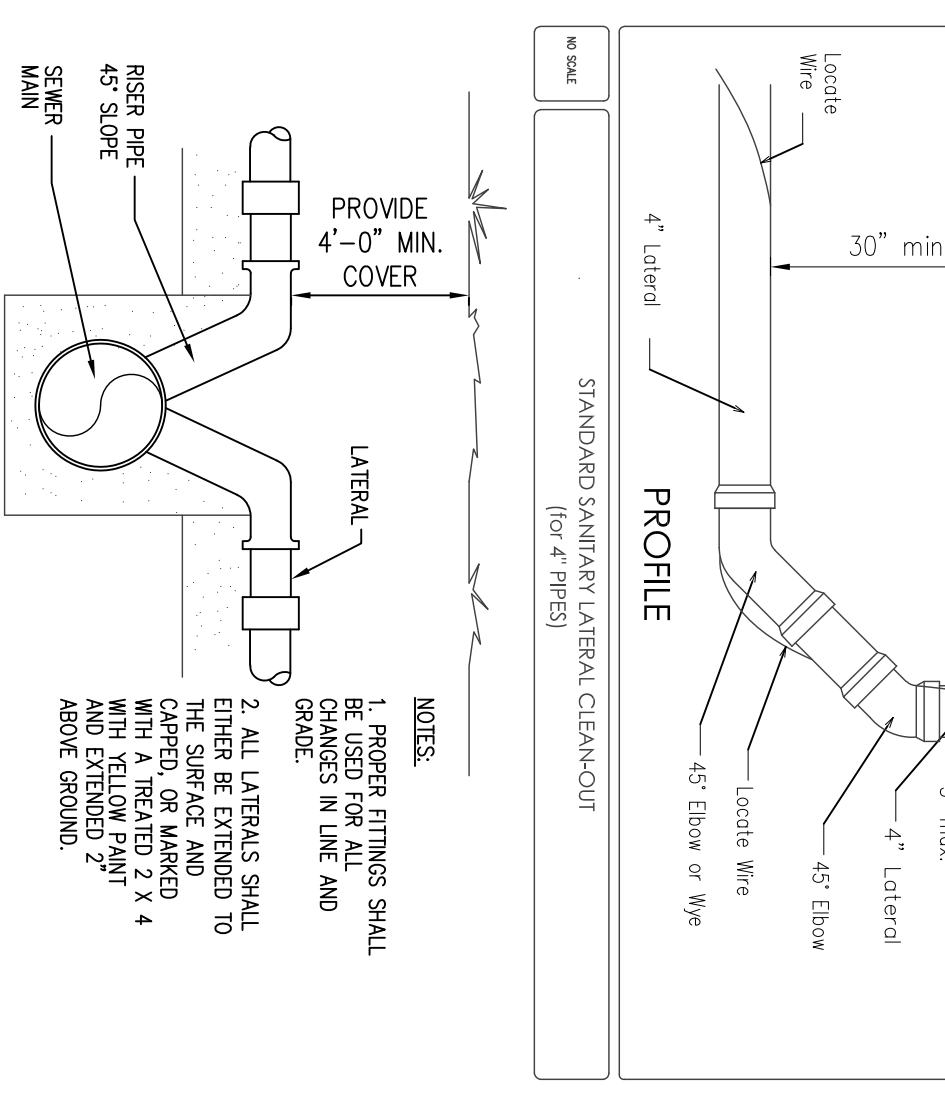
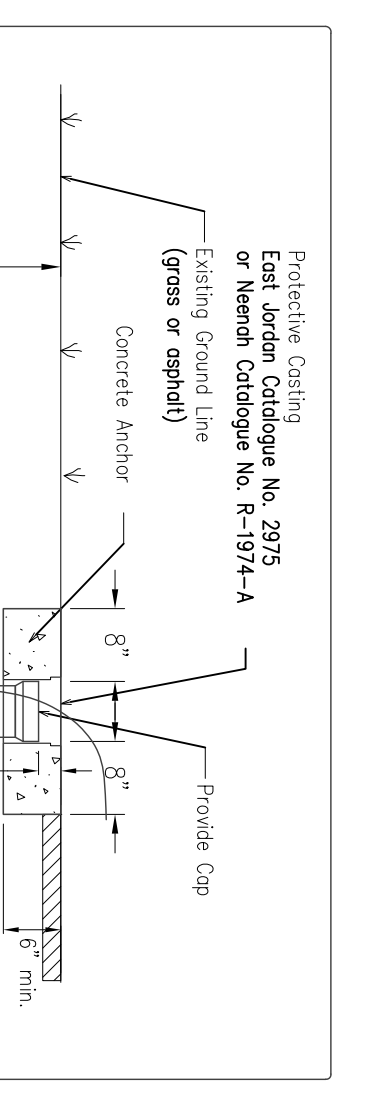
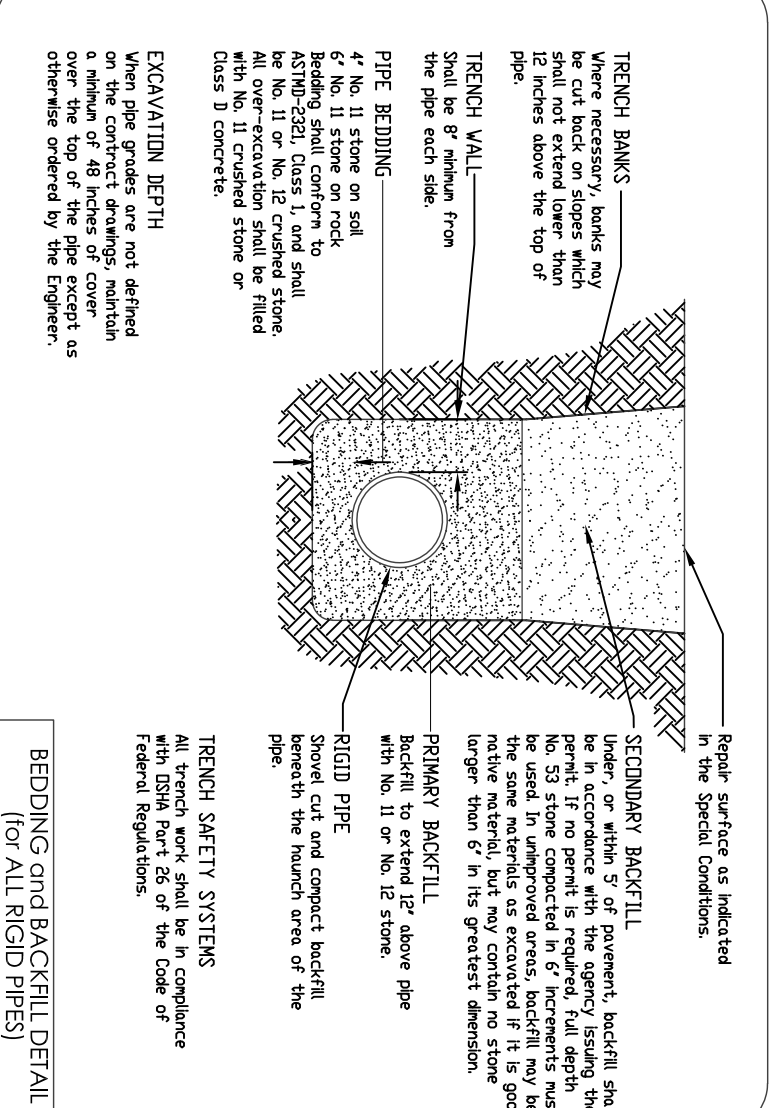
SYMBOL	MARK	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE & CONDITION
	AR	ACER REBURUM FRANKSRED	RED SUNSET RED MAPLE	2	3" CAL. B & B
DECIDUOUS ORNAMENTAL and SMALL STREETSCAPE TREES					
	Ag	AMELANCHOR arborea	DOWNY SERVICEBERRY	4	3" CAL. B & B
	G8	GINKGO BILOBA	PRINCEPIN SENNET GINKGO	3	3" CAL. B & B
DECIDUOUS and BROADLEAF EVERGREEN SHRUBS					
	CA	CEANOTHUS AMERICANUS	NEW JERSEY TEA	16	3 GALLON
	FG	FOTHERGILLA X INTERMEDIA	BOTTLEBRUSH FOTHERGILLA	10	3 GALLON
	IV	ITEA VIRGINICA SPRIGCH	LITTLE HERBY SWEETSPIKE	26	3 GALLON
	HP	HYDRANGEA FRAXICULANA	LITTLE LIME HYDRANGEA	5	2 GALLON
	VP	VIBURNUM DENTATUM	ARONWOOD VIBURNUM	-	3 GALLON
PERENNIALS, GRASSES, and FERNS					
	AA	ASTER AZUREUS	SKY BLUE ASTER	27	1 GALLON
	CP	CAREX PENSTYLVANICA	COMMON OAK SIDOE	12	1 GALLON
	KC	KOELERIA CRISTATA	JUNE GRASS	1	1 GALLON



Proposed:
A Landscape Plan

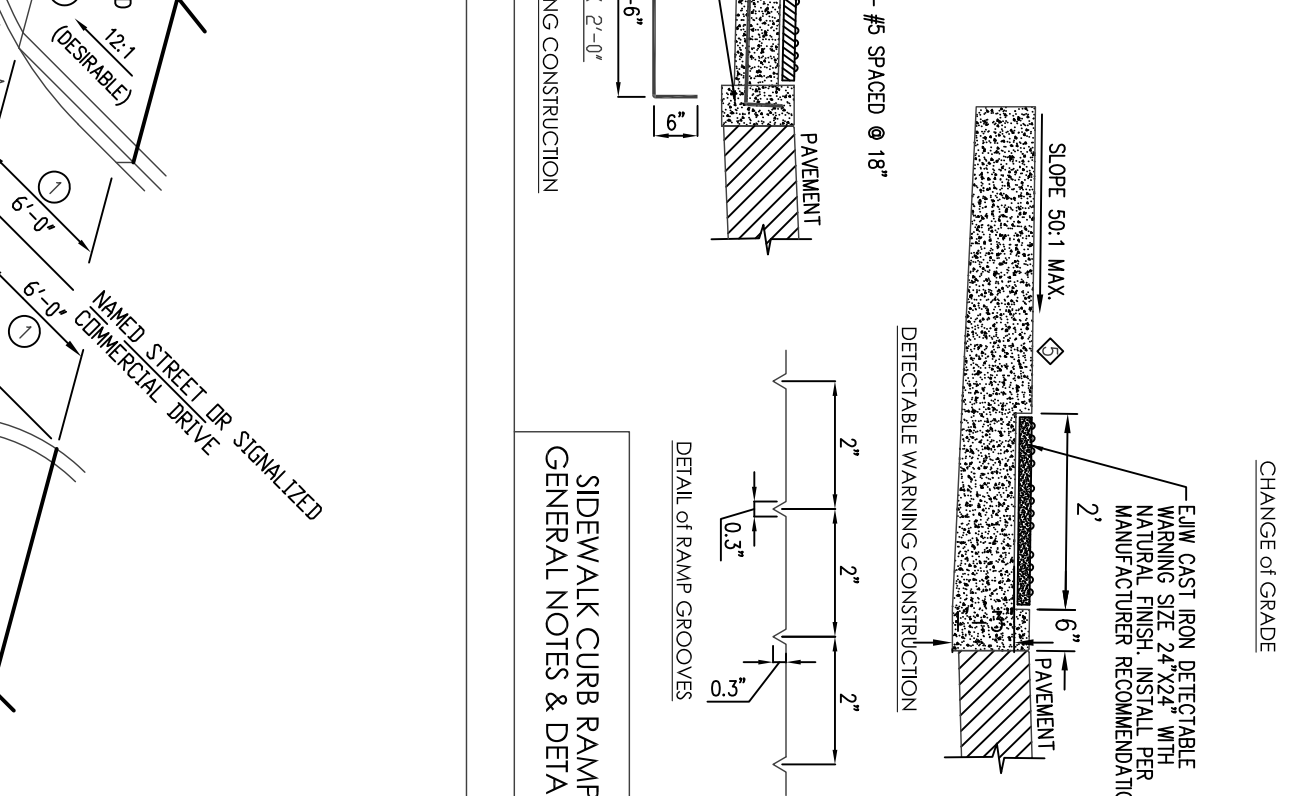
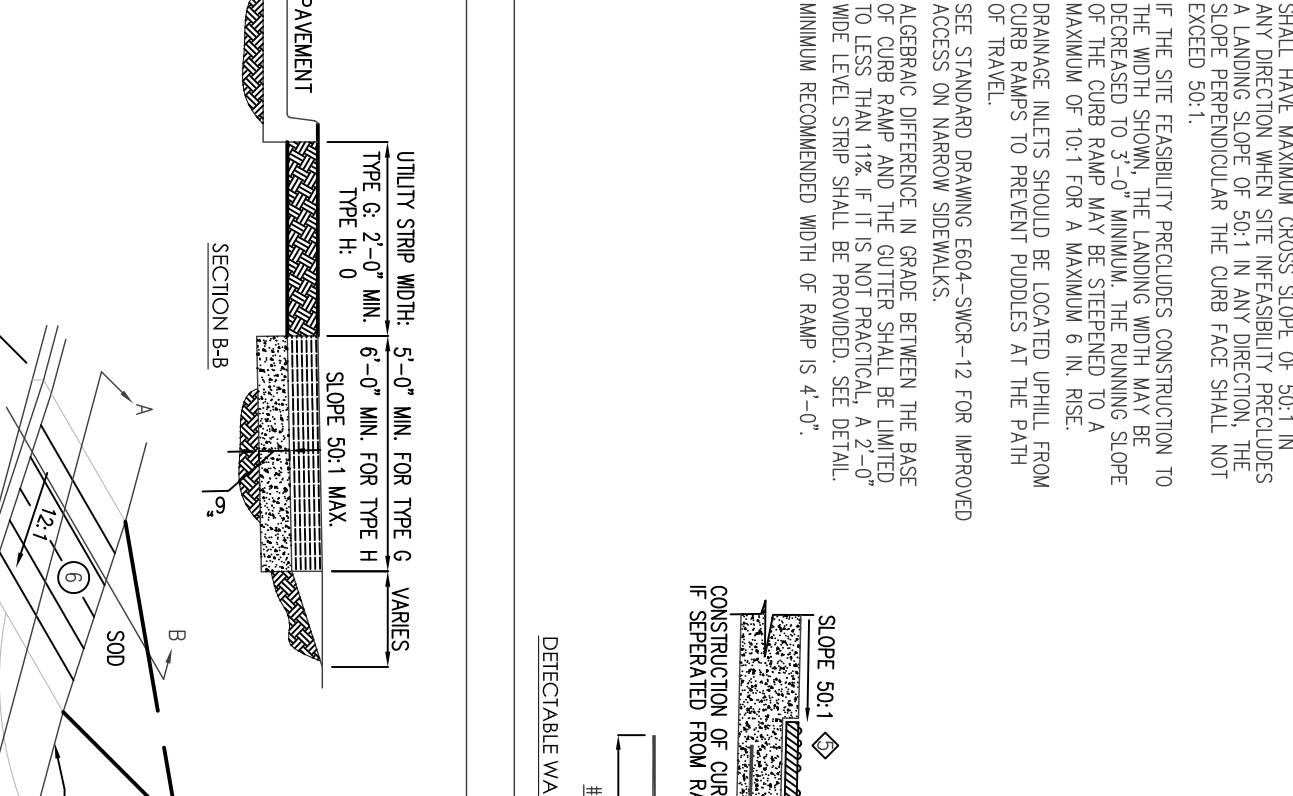
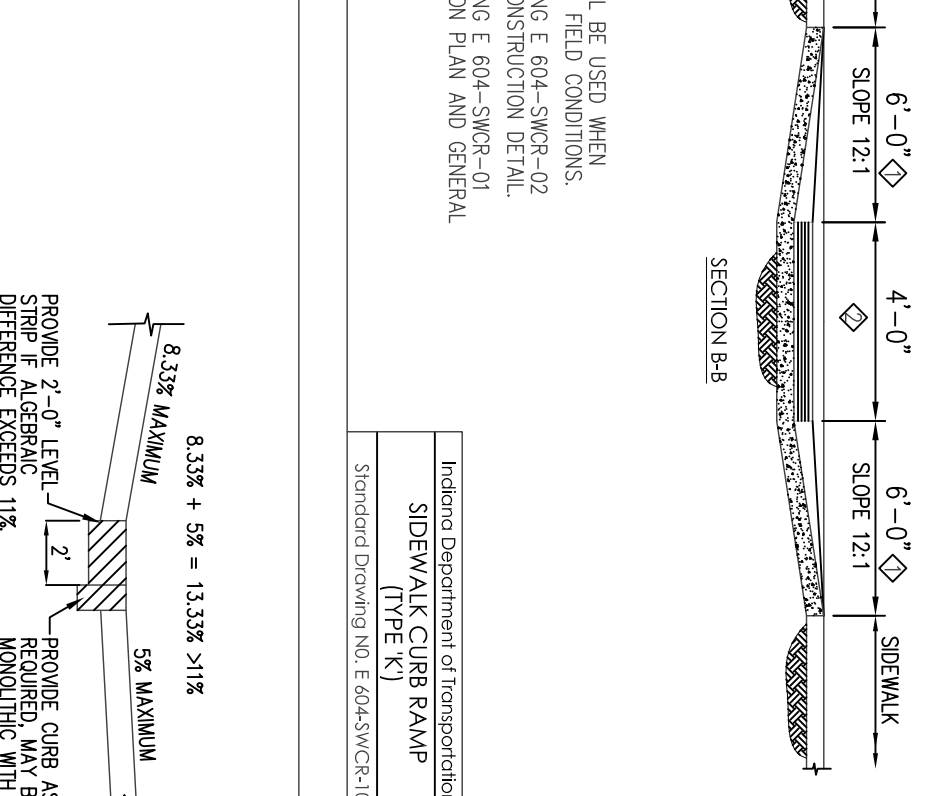
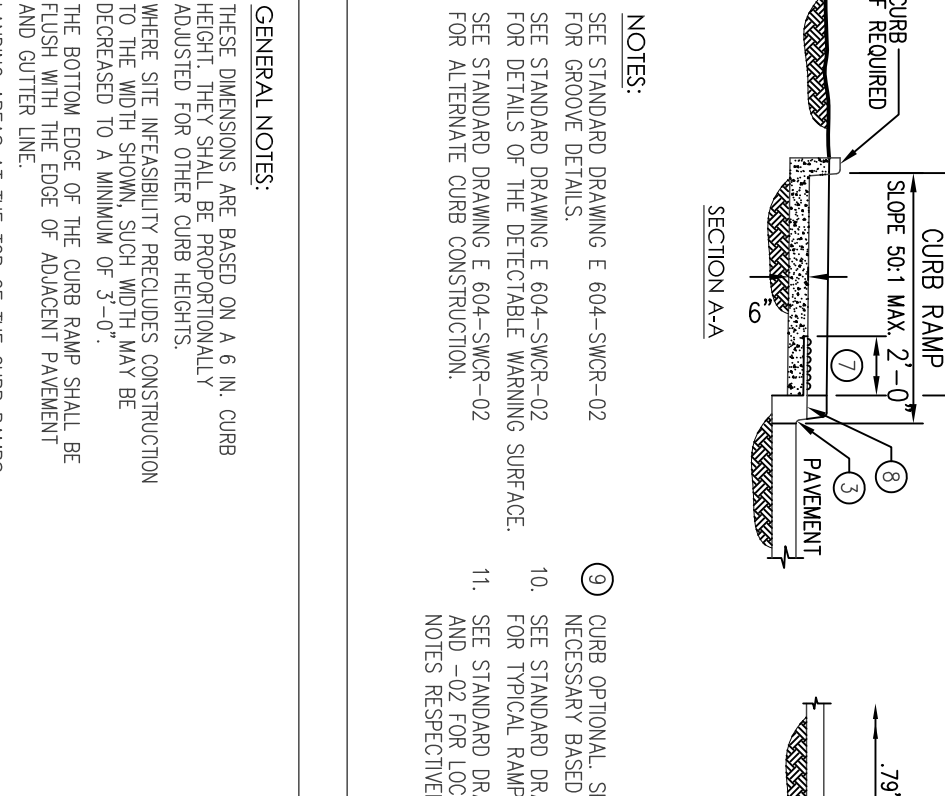
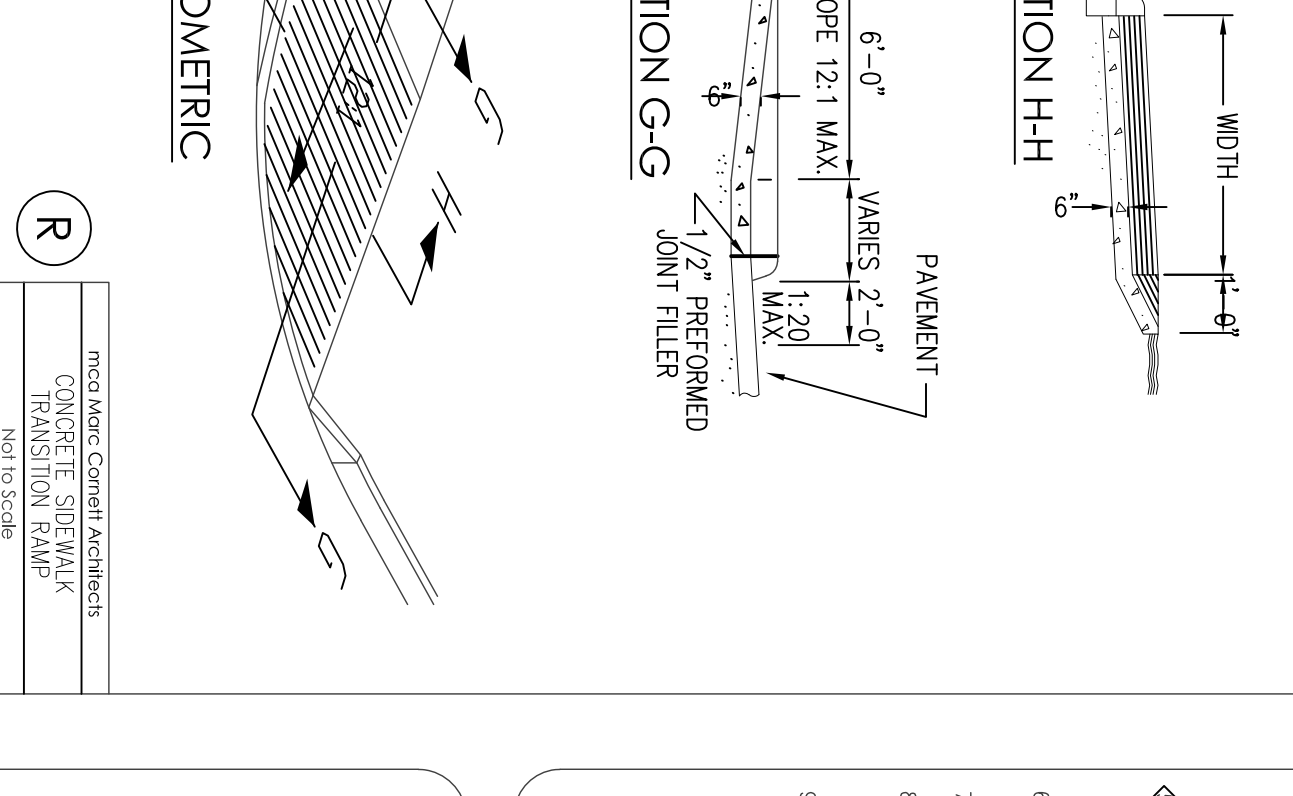
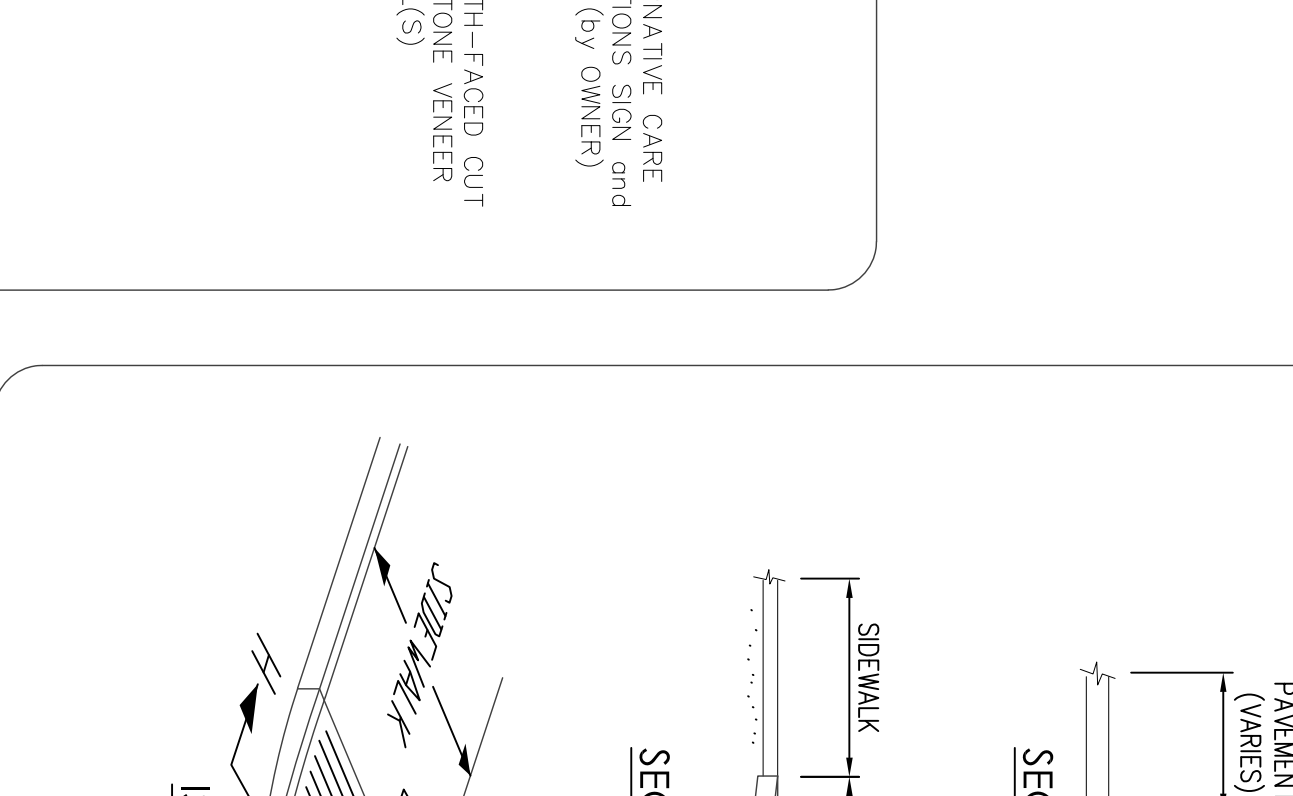
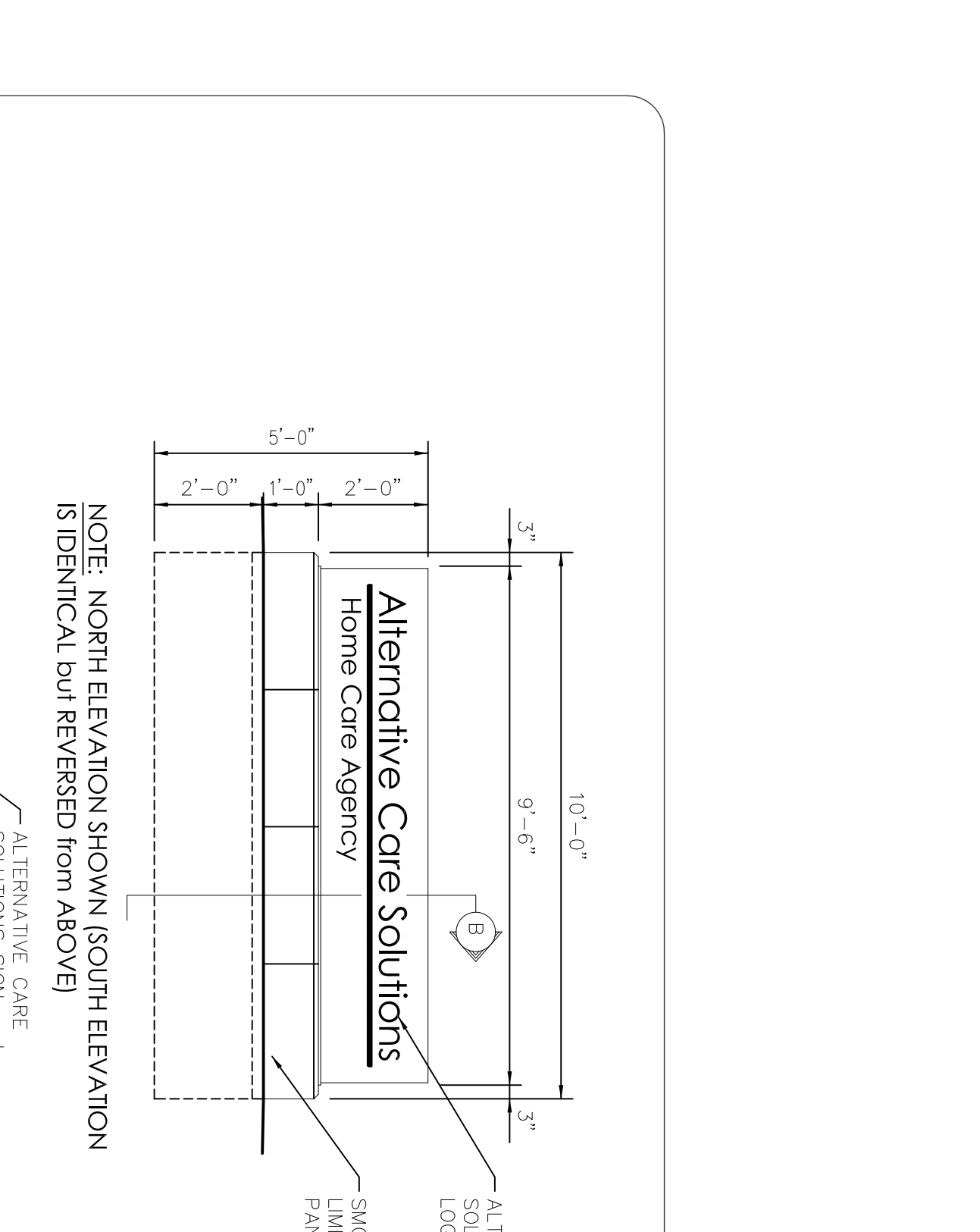
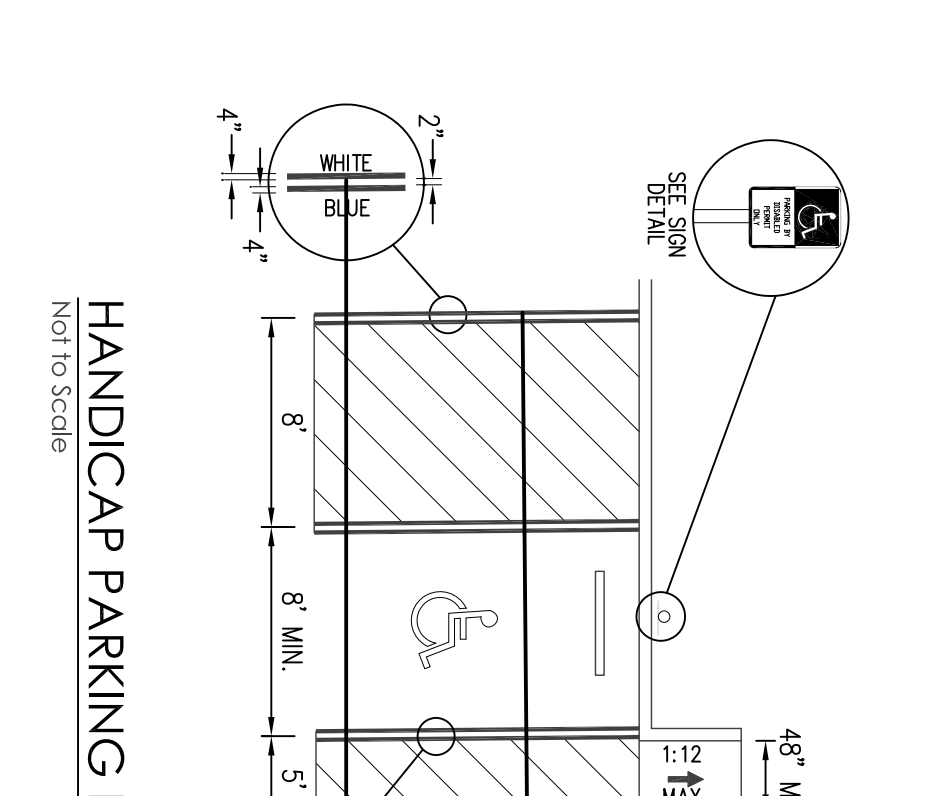
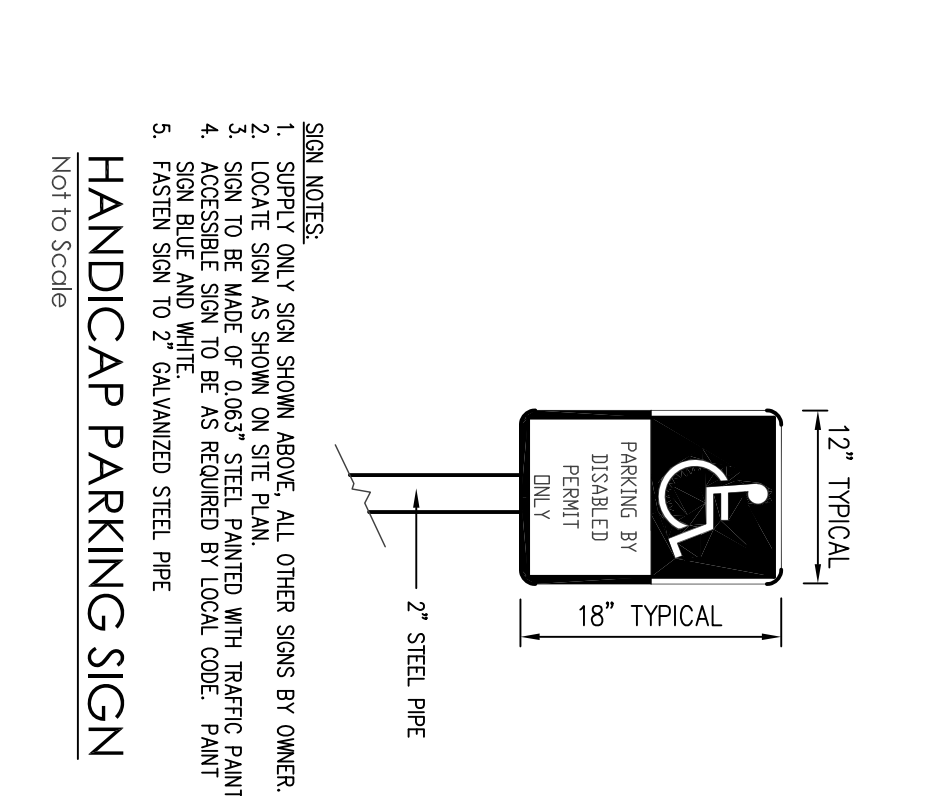
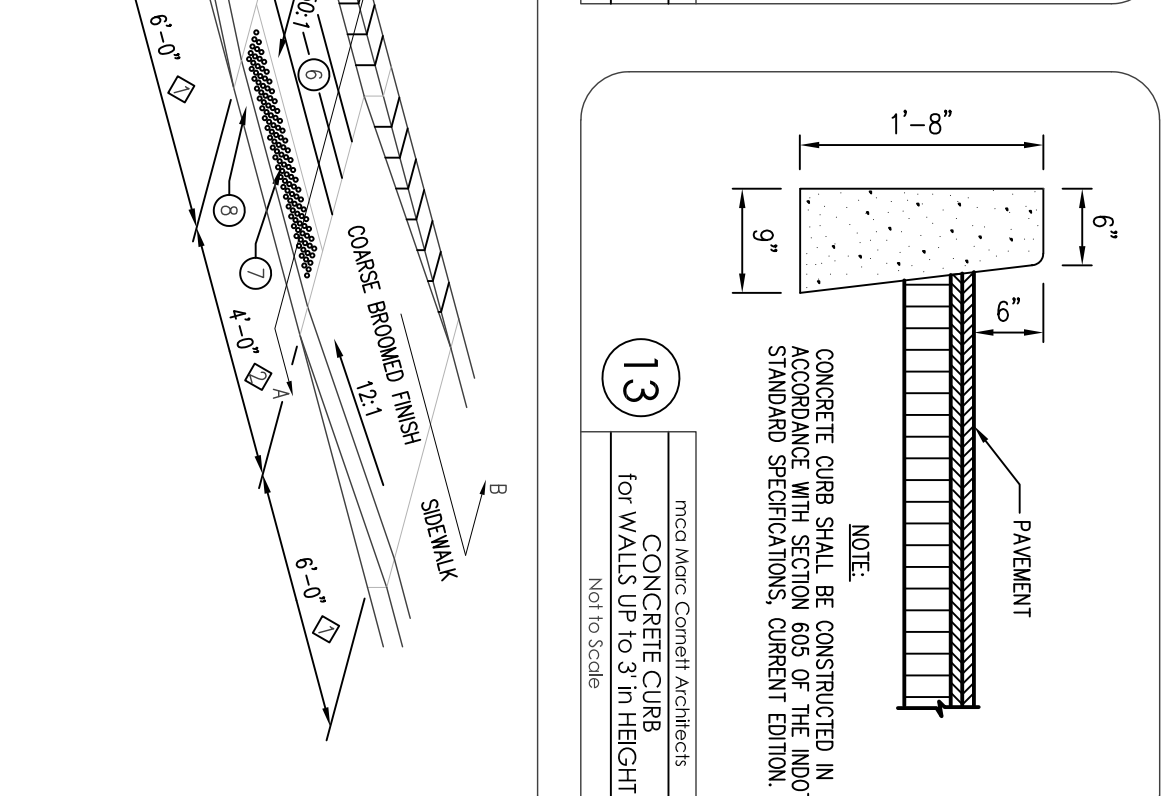
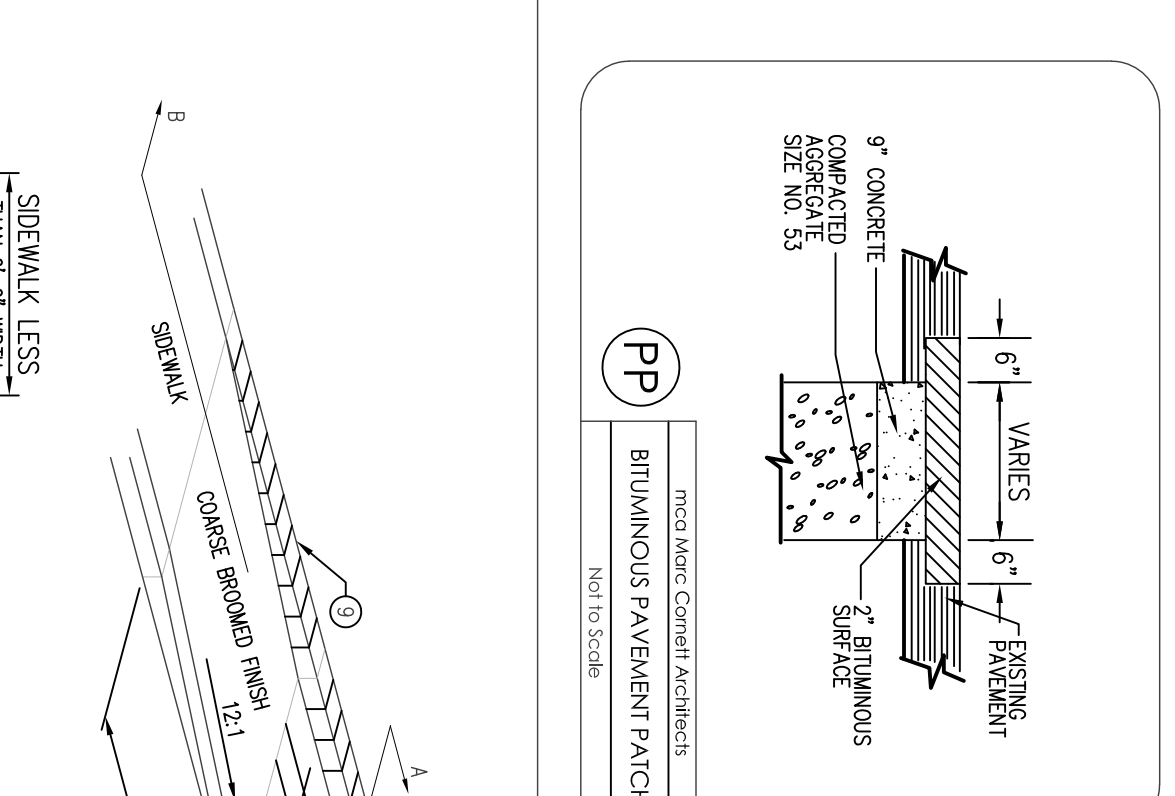
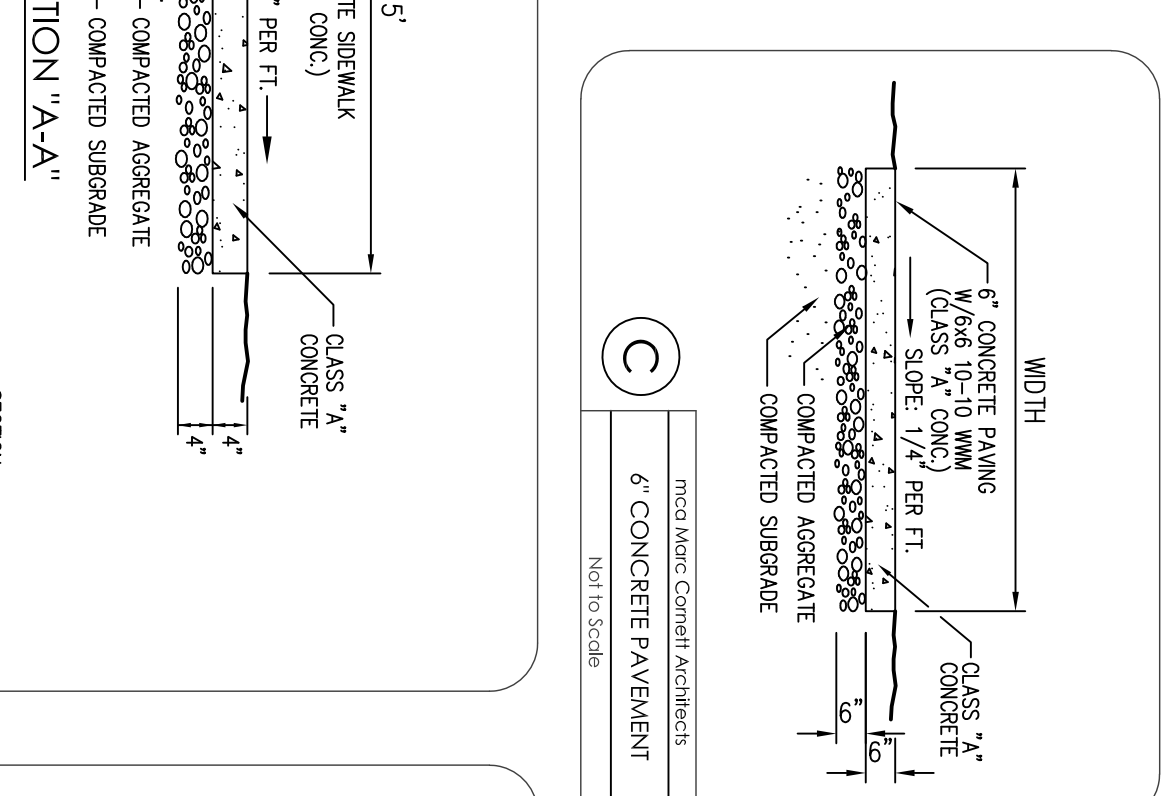
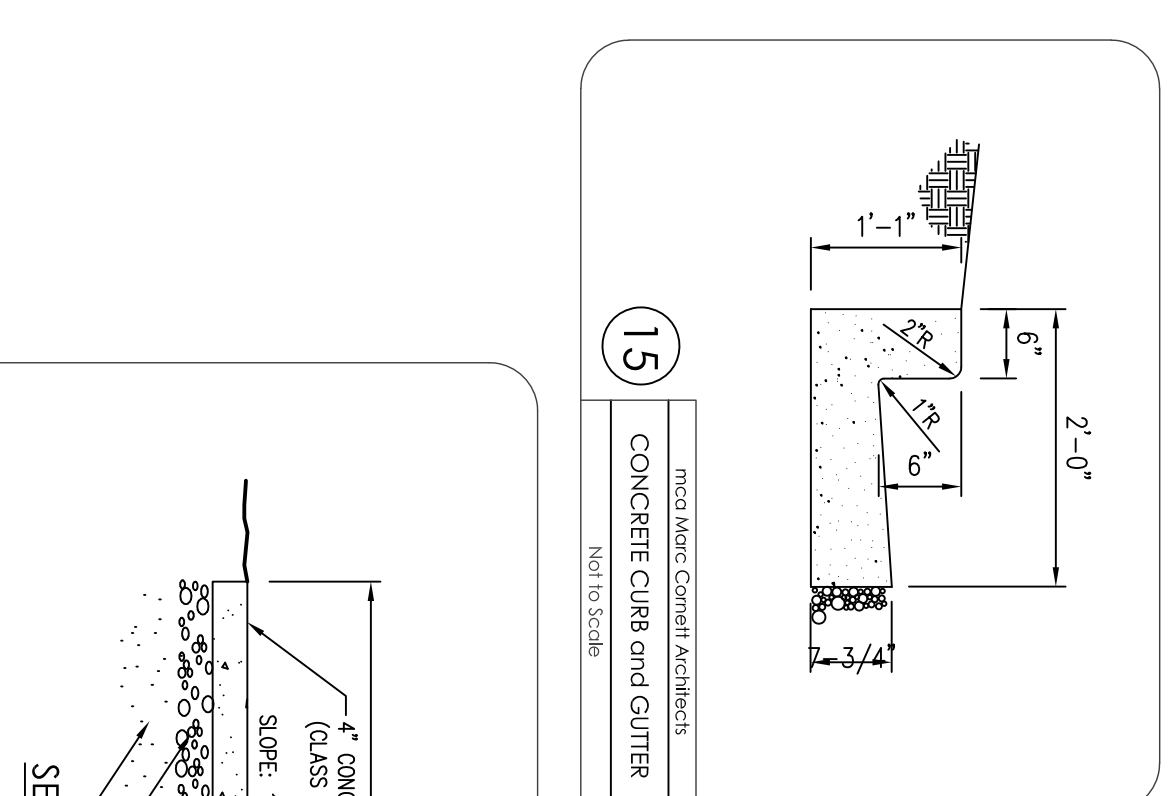
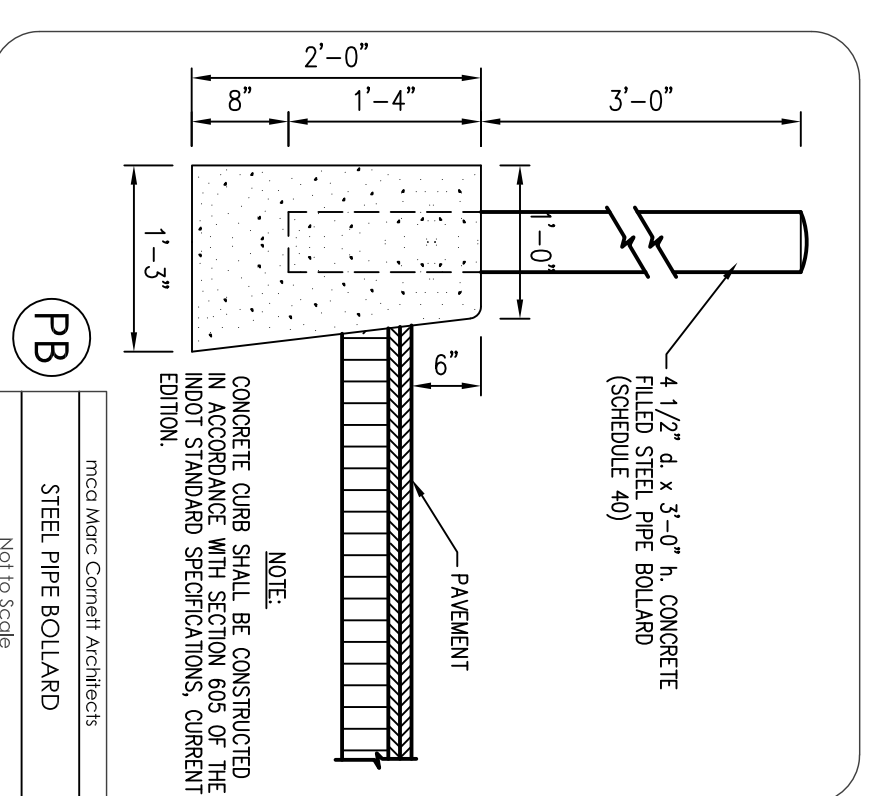
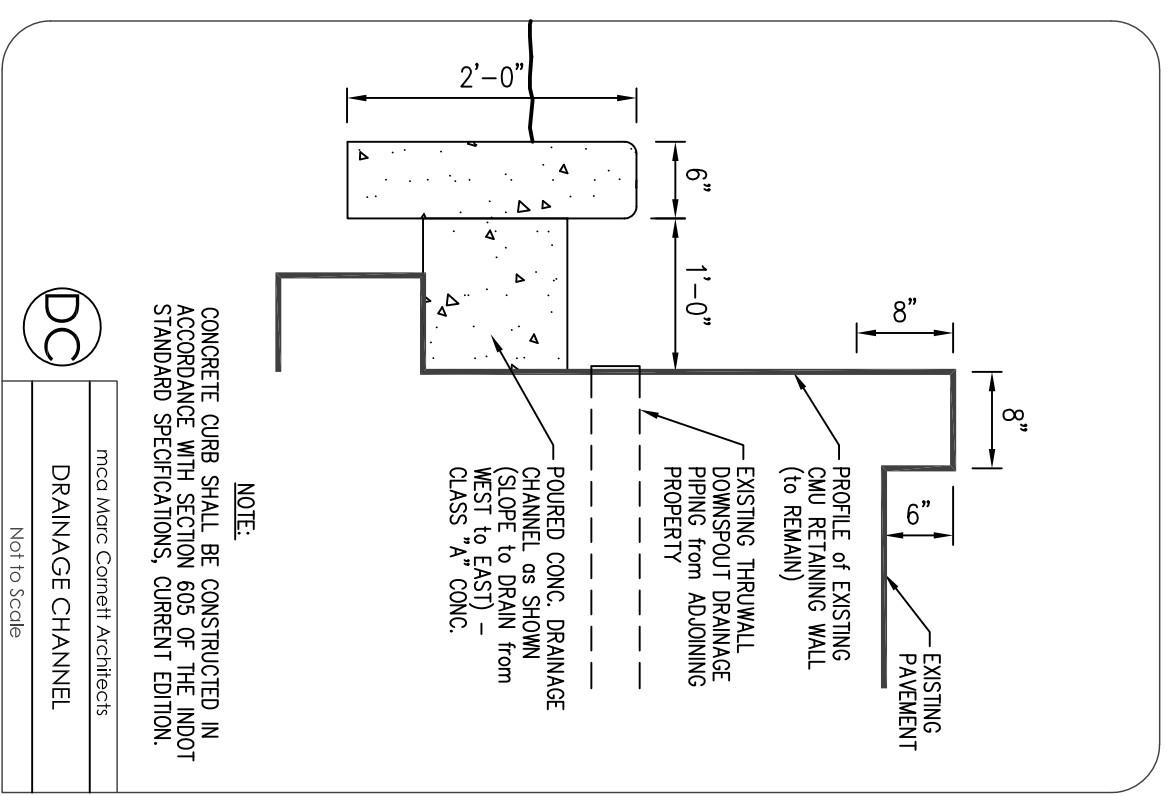
Scale: 1" = 10'-0"

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION or ELEVATION or ANY CONFLICTS PRIOR to and AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE to CONTRACTOR for UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE to CONFLICTING ELEVATIONS.



SAITARY LATERAL & CLEANOUT NOTES

1. ALL CLEAN-OUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT SHALL BE SUB-SURFACE AND PROTECTED BY A SANITARY VENTILE CASTING, SUCH AS EAST MANHOLE RIM WELLS CASTINGS OR CASTINGS WITH A CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE 6\"/>



NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO AND AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DISTURBANCE OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

NOTE: NORTH ELEVATION SHOWN (SOUTH ELEVATION IS IDENTICAL BUT REVERSED FROM ABOVE)

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO AND AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DISTURBANCE OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY: MMC
 CHECKED BY: MMC
 Licensure Department of Transportation
 SIDEWALK CURB RAMPS
 TYPE G AND TYPE H1
 STANDARD DRAWING NO. E-624-2019-030

Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

REVISIONS

CERTIFIED
 M. H. Cornett
 870118
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

mca MARC CORNETT ARCHITECTS
 101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marccornett@pchoo.com

GENERAL NOTES

1. BOUNDARY and TOPO by KEVIN B. POTER, L.S. 369 E. GUNNINGHAM STREET, MARIETTAVILLE, INDIANA 46151, PH: 812/523-5858
2. OWNER: ALTERNATIVE CARE SOLUTIONS, LLC (TIFANNY NORRIS), 1010 E. RUBY CREEK DRIVE, ELLETTSVILLE, INDIANA 47429
3. PROJECT ADDRESS: 509 W. TEMPERANCE STREET, ELLETTSVILLE, INDIANA 47429
4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE and LOCAL REGULATIONS.
5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. HYDRANT and/or KNOX BOX LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.
7. EXISTING UTILITIES on SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION, TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
8. SAFE, CLEARLY MARKED PEDESTRIAN and VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

PARKING/PAVEMENT NOTES

1. ALL SIGNS, PAVEMENT MARKINGS and OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM to the MANUAL on UNIFORM TRAFFIC DEVICES (1988 EDITION) AS AMENDED.
2. ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE on ASPHALT PAVEMENT/YELLOW on CONCRETE PAVEMENT and SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS ARE TO EDGE of PAVEMENT UNLESS INDICATED OTHERWISE. ALL CORN RADIIUS ARE TO BE 5' UNLESS INDICATED OTHERWISE.
4. CONTRACTOR SHALL FURNISH and INSTALL PAVEMENT MARKINGS AS SHOWN on the PLANS.
5. CONTRACTOR SHALL COORDINATE the INSTALLATION of ALL SIGNS, OTHER CONTRACTORS on the SITE.
6. JOINTS or SCORE MARKS ARE TO BE SHARP and CLEAN WITHOUT SHOWING EDGES of JOINING TOOLS.
7. CONTRACTOR SHALL SAW-CUT TEAMS of EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE SMOOTH TRANSITIONS.
8. CONTRACTOR SHALL CONPLY with ALL PERMITS REQUIREMENTS of the MANUAL on UNIFORM TRAFFIC DEVICES (1988 EDITION) AS AMENDED by A.C.C. of AMERICA, INC. and the HEALTH and SAFETY REGULATIONS for CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT of LABOR.

ON-SITE UTILITY NOTES

1. ALL WATER PIPE 6" and LARGER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING to ALL STATE and LOCAL STANDARDS.
2. WATER MAIN FININGS 6" and LARGER SHALL BE DUCTILE IRON CONFORMING to ASTM A538. WATER MAIN FININGS 6" and LARGER SHALL BE DUCTILE IRON CONFORMING to ASTM A538. WATER MAIN FININGS 6" and LARGER SHALL BE DUCTILE IRON CONFORMING to ASTM A538.
3. WATER MAINS SHALL BE SDR-21 (PRE20) and 4" PIPE MAY BE EITHER SDR-21 (PRE20) or C900 (DR-14).
4. ALL WATER SERVICE LINES CONNECTING to 2" PVC MAINS SHALL BE 1" TYPE "K" COPPER. ALL SERVICE LINES from MAIN to METERS SHALL BE TYPE "K" COPPER with FUSED ENDS.
5. MECHANICAL RESTRAINTS SHALL BE PROVIDED of ALL WATER LINE BENDS, OFFSETS, TEES, FLUJES, ETC. ...
6. ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES and TAPPING VALVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED WITH RESILIENT SEAT and NON-RISING STEEL and SHALL BE MANUFACTURED BY WAH VALVE COMPANY, DARIING VALVE and MANUFACTURING COMPANY, KENNEDY VALVE COMPANY or MULLEN COMPANY.
7. FRESH HYDRANTS SHALL BE PLACED at the ENDS of ALL WATER MAINS and at ALL HIGH POINTS in the LINE.
8. AIR RELEASE VALVES SHALL BE PROVIDED of ALL HIGH POINTS of WATER MAINS and SHALL BE VAL-MATIC BRAND and SHALL INCORPORATE the OPTIONAL VACUUM-CHECK FEATURE.
9. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN or MUELLER GENIURION.
10. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED and DISINFECTED BEFORE ACCEPTANCE (SEE SITE WORK SPECIFICATIONS).
11. WATER and SANITARY SEWER MAINS SHALL HAVE a MINIMUM COVER of 4'-0" ABOVE TOP of PIPE.
12. ALL SPRINKLER, DOMESTIC and SANITARY LEADS to the BUILDING SHALL END AS SHOWN on PLAN and SHALL BE PROVIDED with a TEMPORARY PLUG of the END (for OTHERS to REMOVE and EXTEND AS NECESSARY).
13. THE MINIMUM HORIZONTAL SEPARATION BETWEEN the CLOSEST TWO POINTS of BETWEEN the WATER and SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN the CLOSEST TWO POINTS of the WATER and SEWER LINE IS EIGHTEEN INCHES (18").
14. GRAVITY SANITARY SEWER PIPE 6" to 15" SHALL BE CONSTRUCTED of SDR-35 PVC. MARKED with a 6x4 TREATED POST EXTENDING 3' BELOW GRADE and 1' ABOVE GRADE.
15. THE UPSTREAM ENDS of ALL SANITARY SEWER LATERALS SHALL BE CLEARLY MARKED with a 6x4 TREATED POST EXTENDING 3' BELOW GRADE and 1' ABOVE GRADE.
16. ALL TRENCHING, PIPE LAYING and BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
17. SEE SITE SPECIFICATIONS for BACKFILLING and COMPACTON REQUIREMENTS.
18. SITE CONTRACTOR SHALL HAVE APPROVAL of ALL GOVERNING AGENCIES HAVING JURISDICTION over THIS SYSTEM PRIOR to INSTALLATION.
19. ALL WORK on THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
20. ALL CATCH BASIN GRATE and FRAMES ARE TO BE FAST JORDAN IRON WORKS.
21. LOCATIONS of EXISTING BURIED UTILITY LINES SHOWN on the PLANS ARE BASED ON BEST AVAILABLE INFORMATION and ARE TO BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY the LOCATIONS of UTILITY LINES ADJACENT to the WORK AREA. THE CONTRACTOR IS RESPONSIBLE for the PROTECTION of ALL UTILITY LINES DURING the CONSTRUCTION PERIOD.
22. BUILDING CONTRACTOR SHALL PROVIDE and INSTALL an PERMANENT INDICATING VALVE 12" ABOVE the FLOOR on the FIRE LINE at the TERMINATION POINT. THIS VALVE WILL BE USED to HYDROSTATIC PRESSURE TEST AGAINST and WILL REMAIN AS PART of the SYSTEM ONCE ALL TESTING IS COMPLETED. THE FIRE LINE MAIN WILL NOT BE DISCONNECTED to the FIRE SUPPRESSION SYSTEM. THE CONTRACTOR SHALL MAINTAIN the CONNECTION to the FIRE MAIN WITH the BUILDING CONTRACTOR.

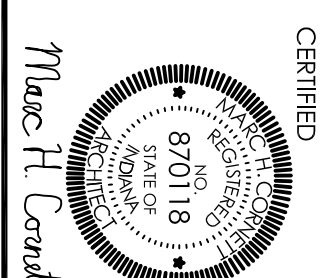
GRADING NOTES

1. NEW FINISHED CONDITIONS SHOWN ARE TOP of FUTURE FINISH in AREAS to RECEIVE PAVEMENT and TOP of TOPSOIL in AREAS to BE SEEDER or PLANTED.
2. AREAS OUTSIDE of the PARKING LOT PERIMETERS SHOWN to BE SEEDER or PLANTED SHALL RECEIVE 6" of TOPSOIL. THIS TOPSOIL IS TO BE PLACED and LEVELED BY the CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY and COOPERATE with ALL UTILITY COMPANIES or FIRMS HAVING FACILITIES on or ADJACENT to the SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, or CONNECTING to SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS in CONNECTION with ALTERATION, or RELOCATION of the FACILITY.
4. ALL AREAS NOT COVERED BY BUILDING or PAVING ARE TO BE VEGETATED (SEEDED or per LANDSCAPE PLAN).
5. UNSUABLE EXCAVATED MATERIALS and ALL WASTE RESULTING from CLEARING and GRUBBING SHALL BE DISPOSED of OFF SITE BY the CONTRACTOR.
6. ALL EXCAVATING IS UNCLASSIFIED and SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
7. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT and MARK the ITEMS ESTABLISHED BY the SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING the COURSE of CONSTRUCTION. THE LACK of PROPER WORKING POINTS and GRADE STAKES MAY REQUIRE CONTRACTOR TO RE-ESTABLISH CONTROL POINTS and GRADES HAVE BEEN PLACED to the OWNER'S SATISFACTION.
8. CONTRACTOR SHALL COMPACT and MAINTAIN a 30,000 SQ. FT. STONEBASE CONSTRUCTION LAYDOWN AREA with STONE ACCESS from the CONSTRUCTION ENTRANCE and STONE ACCESS to the BUILDING PAD.
9. THESE DOCUMENTS ARE SCHEMATIC in NATURE and CANNOT SHOW EVERY ITEM NEEDED for a COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE for PROVIDING a COMPLETE OPERATING STORM SYSTEM.
10. ALL FILL SHALL BE FREE of VEGETABLE MATTER, RUBBER, LARGE ROCK and LAYERS NOT to EXCEED SIX (6) INCHES IN THICKNESS and SHOULD BE SPRINKLED with WATER AS REQUIRED to SECURE THE COMPACTION. EACH LAYER SHOULD BE UNIFORMLY COMPACTED BY MEANS of SUITABLE EQUIPMENT AS DICTATED BY the TYPE of FILL MATERIAL. UNDER NO CIRCUMSTANCES SHOULD a BULLDOZER or SIMILARLY TRACKED VEHICLE BE USED AS COMPACTING EQUIPMENT. MATERIAL CONTAINING an EXCESS of WATER SHOULD BE STRIPPED FROM the WORK AREA and REWORKED to the SPECIFIED MOISTURE CONTENT. ALL FILL SHOULD BE COMPACTED to the SPECIFIED PERCENTAGE of the MAXIMUM DENSITY OBTAINED in ACCORDANCE with ASTM DENSITY TEST D-698 (95 PERCENT MET) SUCH AREAS SHOULD BE REMOVED and RETESTED AS REQUIRED UNTIL the SPECIFIED LIMITS ARE REACHED.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL ARRIVE ON-SITE in a HEALTHY, VIGOROUS CONDITION and BE FREE of PESTS and DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN or BALLED and BURLAPPED AS INDICATED in the PLANT LIST.
3. ALL TREES SHALL BE STRAIGHT-TRUNKED, FULL HEADED and MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES SHALL BE GUYED or STAKED PLUMB AS SHOWN in the DETAILS.
5. ALL PLANTING MASS BEDS SHALL BE SPRADE CUT UNLESS SPECIFIED with a MOW STRIP or OTHER INSTALL FINISHING. TREES to HAVE a 5' DIAMETER MULCH RINGS.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED.
7. PRIOR to CONSTRUCTION, the CONTRACTOR SHALL BE RESPONSIBLE for LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE to EXISTING UTILITIES DURING the COURSE of the WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION of ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION of ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION of ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION of ALL UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE for VERIFYING ALL QUANTITIES and SPECIES SHOWN on THESE PLANS BEFORE PRICING the WORK.
9. THE CONTRACTOR IS RESPONSIBLE for FULLY MAINTAINING ALL PLANTING and LAWN AREAS INCLUDING BUT NOT LIMITED TO: WATERING, SPRINKLING, MULCHING, PRUNING, FERTILIZING, ETC. ... UNTIL WORK IS ACCEPTED in FULL by the OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL for a PERIOD of ONE (1) YEAR BEGINNING on the DATE of TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE or at the END of the GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE the STAKING LOCATION of ALL PLANT MATERIAL PRIOR to INSTALLATION.
12. AFTER BEING DUG of the NURSERY SOURCE, ALL TREES in LEAF SHALL BE ACCUMATED for TWO (2) WEEKS UNDER a MIST or DRIP IRRIGATION SYSTEM PRIOR to INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS of PLANTING.
13. ANY NEW or TRANSPLANTED PLANT MATERIAL, WHICH DOES, THURS BROWN or DECOLORATES PRIOR to TOTAL ACCEPTANCE of the WORK SHALL BE PROMPTLY REMOVED from the SITE and REPLACED with MATERIAL of the SAME SPECIES, QUANTITY and SIZE to MEET ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH in "AMERICAN STANDARD for NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY and SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS for PLANT MATERIAL.
15. ALL SHRUB, GROUNDCOVER, ANNUAL and HERBACEOUS PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED with HARDWOOD MULCH to a MINIMUM DEPTH of FOUR INCHES.
16. DURING the GROWING SEASON ALL ANNUALS and HERBACEOUS PERENNIALS SHALL REMAIN in a HEALTHY CONDITION THROUGHOUT the CONSTRUCTION PERIOD.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE for COMPLETE COVERAGE of ALL PLANTING BEDS of SPACING SHOWN on PLANS.
18. ALL DISTURBED AREAS NOT INCLUDED in LANDSCAPE MULCH BEDS ARE to BE DEBRIS-RAKED and FINED-GRADED AS NEEDED THEN MULCH SEEDED (or SOEDED) per PLAN and WATERED UNTIL a HEALTHY STAND of TURF IS ESTABLISHED.
19. ANY PLANT or OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED without DESIGNER and/or OWNER APPROVAL SHALL BE REPLACED at the CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT to the APPROVAL of the OWNER BEFORE DURING and AFTER INSTALLATION.

REVISIONS



REVISIONS

Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

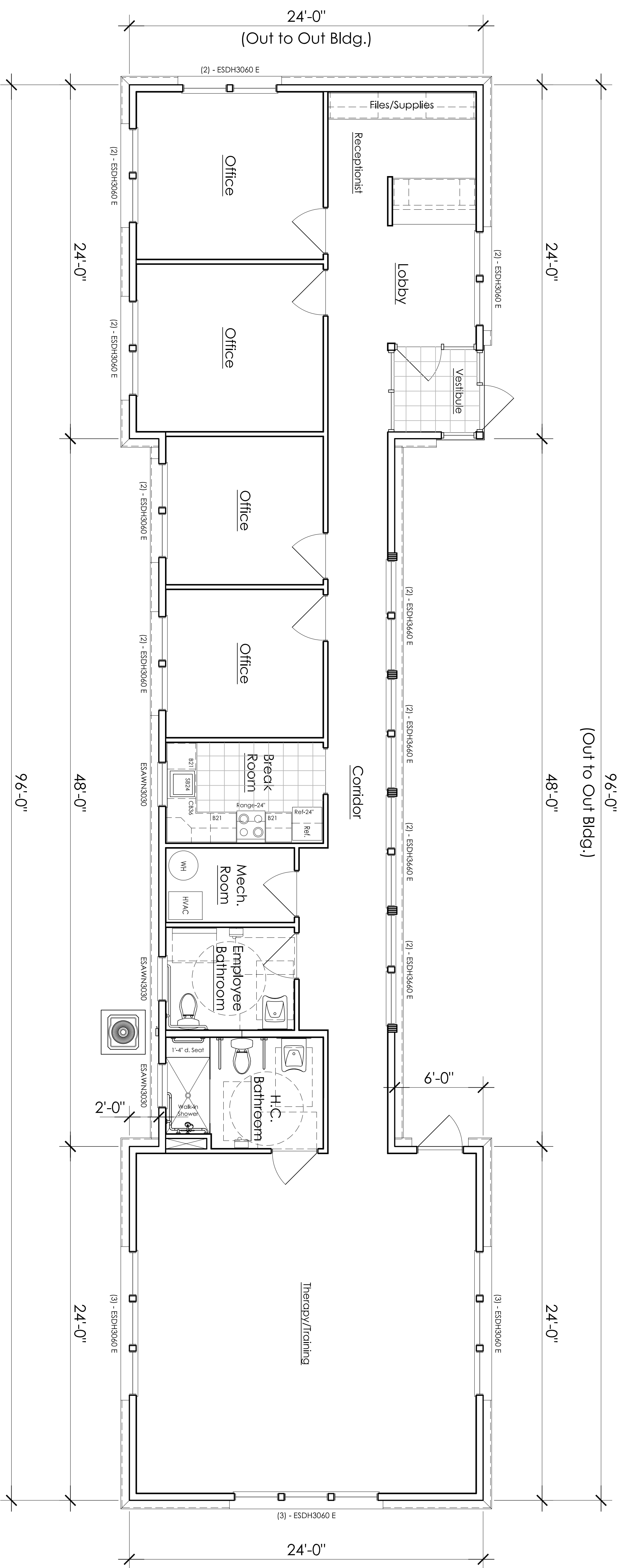
mca MARC CORNETT ARCHITECTS
 101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marcconnell@yahoo.com

PROJECT NO.: 2024-07
 DATE: 1/29/24
 DRAWN BY:
 CHECKED BY: MHC

GENERAL SITE NOTES
 with an APPLY to THIS PROJECT.

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER of ANY INACCURACIES in LOCATION or ELEVATION or ANY CONFLICTS PRIOR to and AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE to CONTRACTOR for UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE to CONFLICTING ELEVATIONS.

C.106



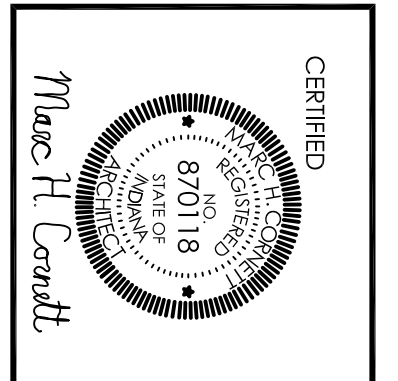
Proposed:
A Floor Plan
 Scale: 1/4" = 1'-0"

PROPOSED FLOOR PLAN
A.102

PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY:
 CHECKED BY: MJC

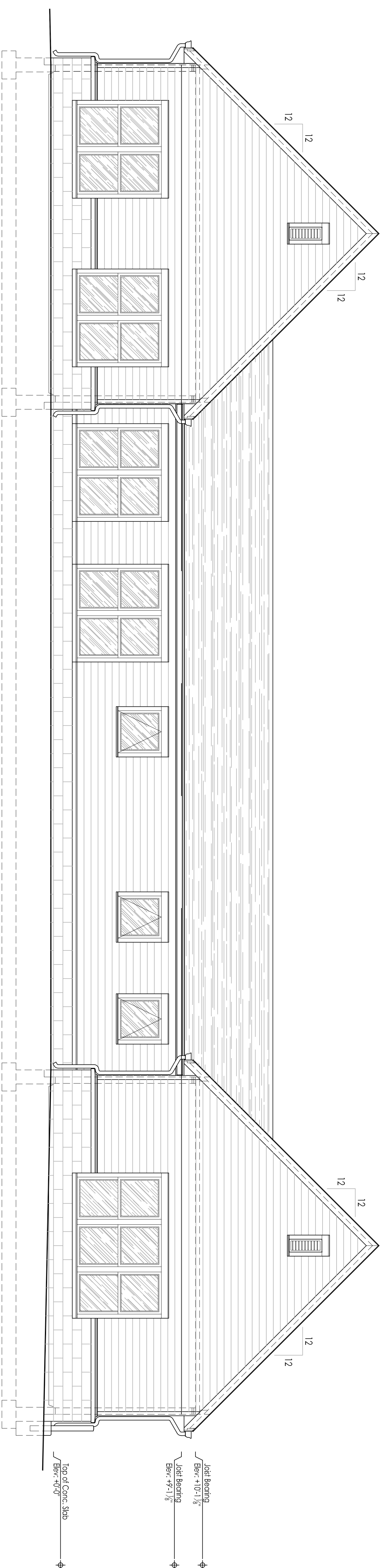
Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

REVISIONS



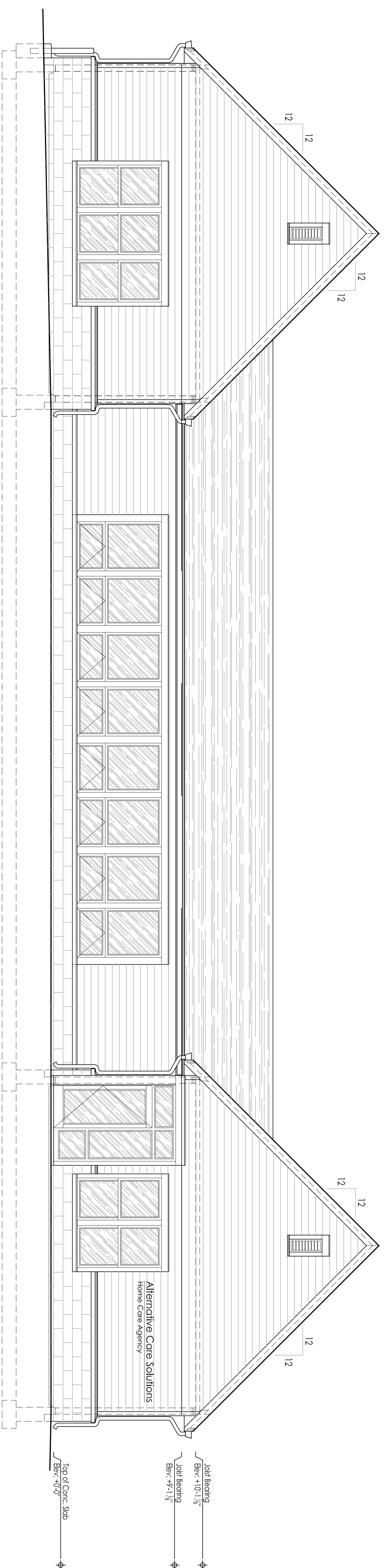
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Blank space for additional information or notes.



Proposed:
B
 South Elevation

Scale: 1/4" = 1'-0"



Proposed:
A
 North Elevation

Scale: 1/4" = 1'-0"

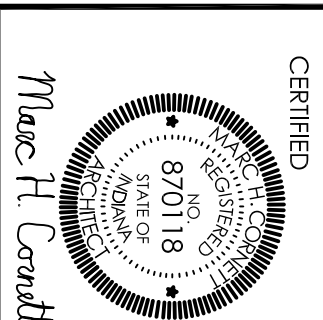
Proposed Office Building for:

Alternative Care Solutions, LLC
 509 W. Temperance St.

Ellettsville,

Indiana

REVISIONS



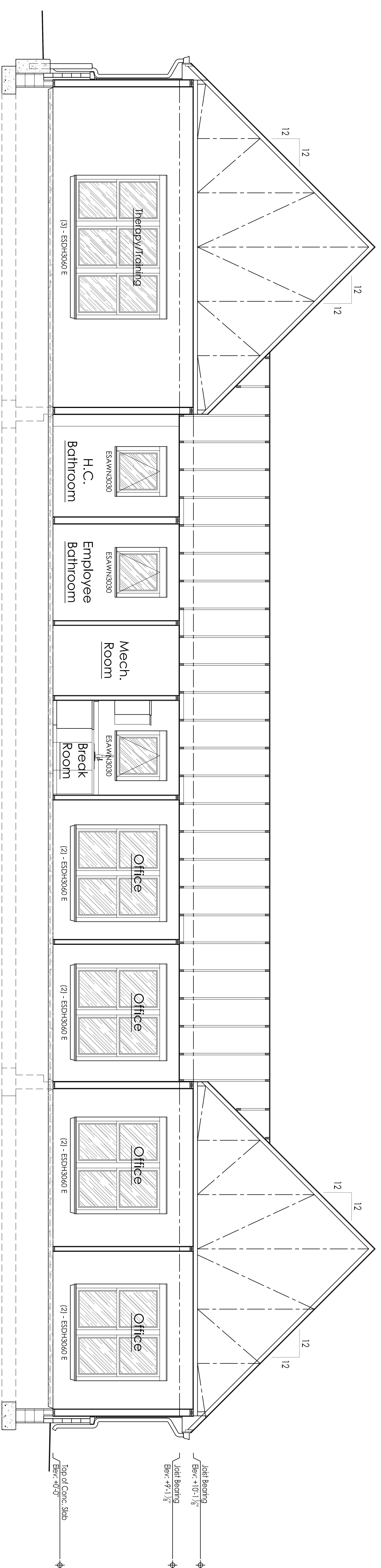
mca MARC CORNETT ARCHITECTS

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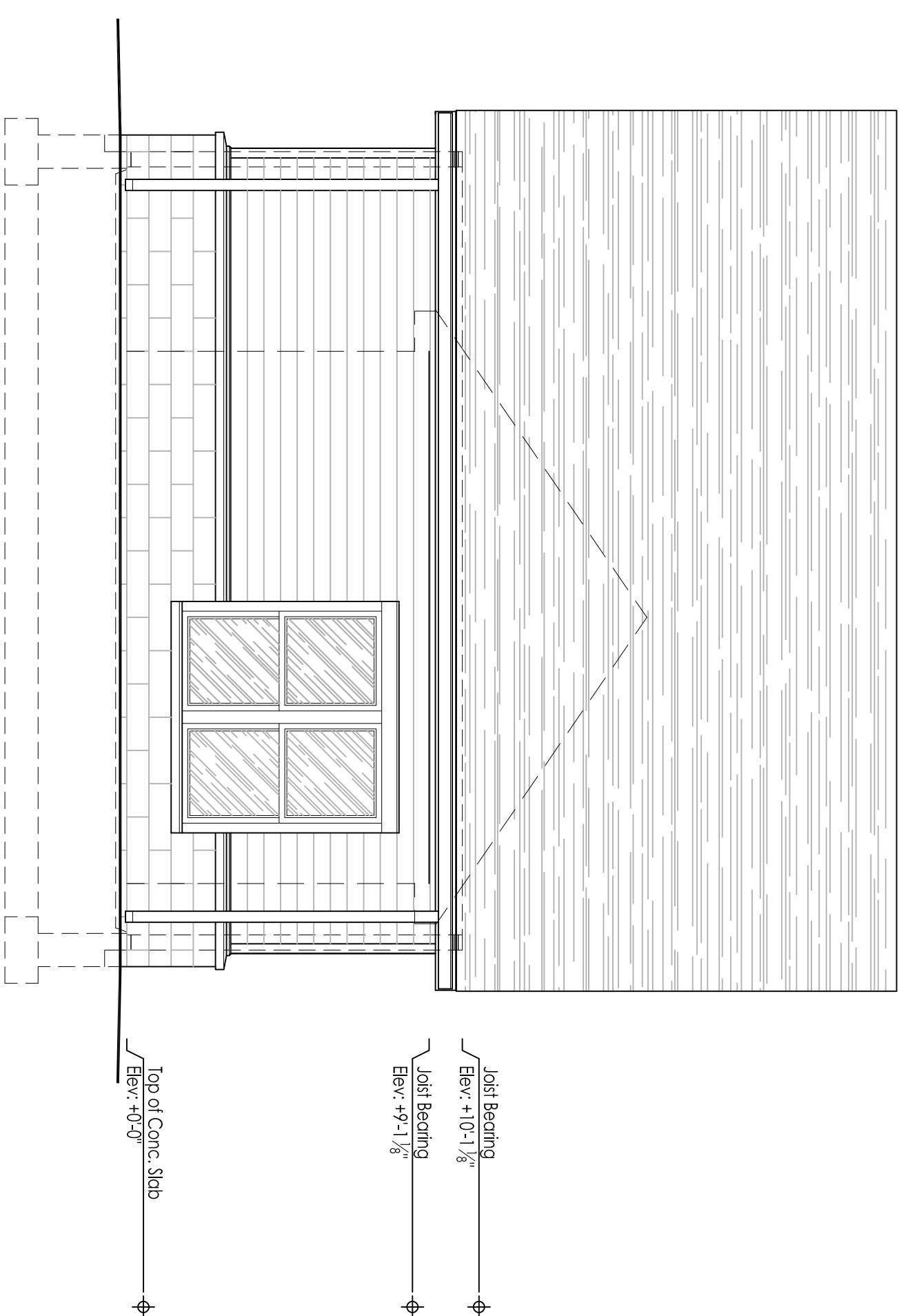
PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY: MJC
 CHECKED BY: MJC

PROPOSED BUILDING
 ELEVATIONS

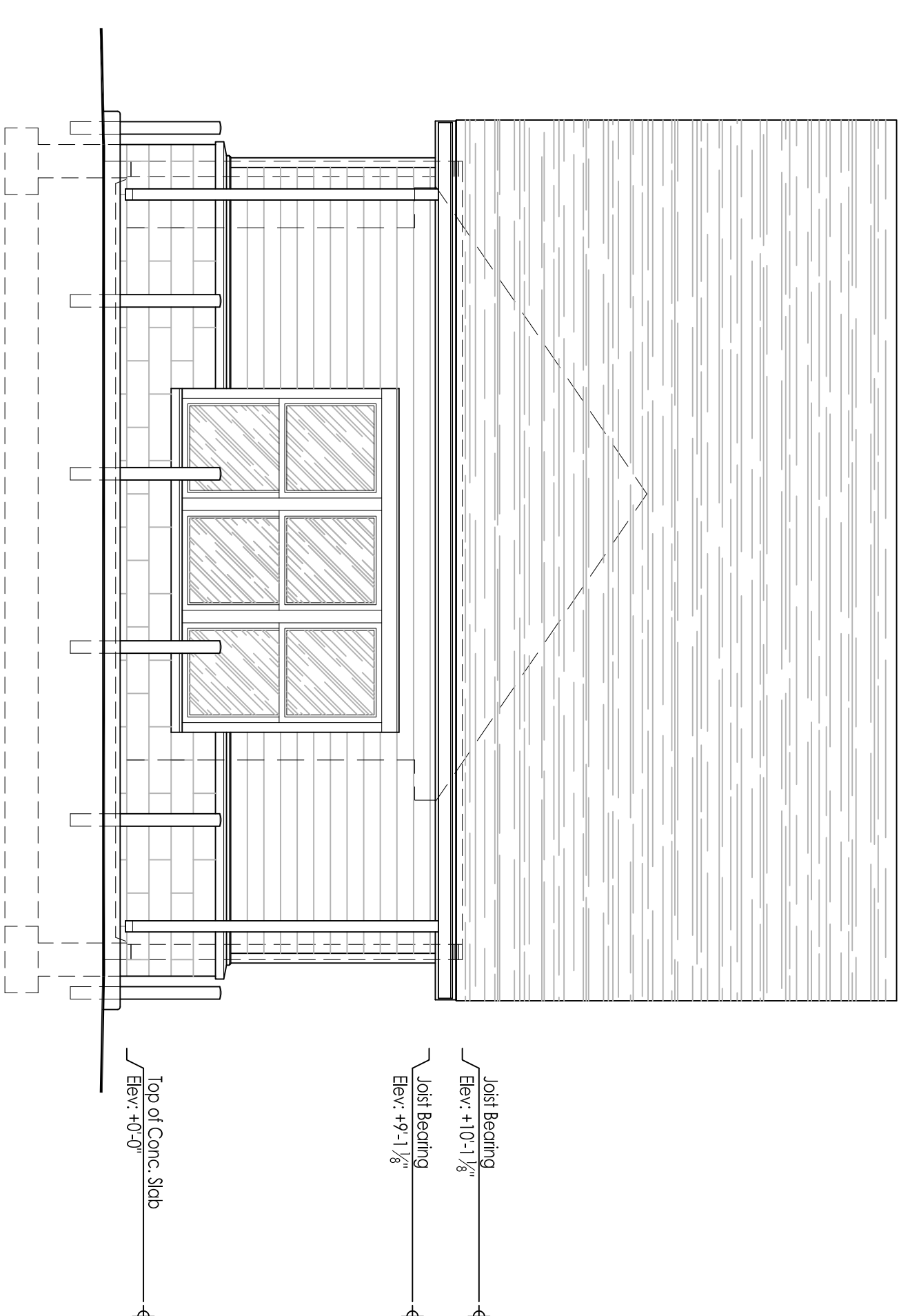
A.201



Proposed:
C Building Section
 Scale: 1/4" = 1'-0"



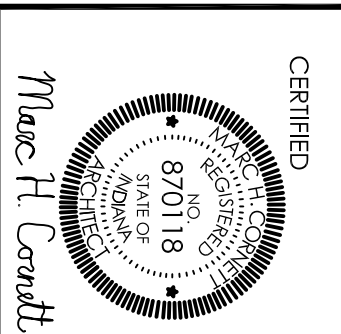
Proposed:
B West Elevation
 Scale: 1/4" = 1'-0"



Proposed:
A East Elevation
 Scale: 1/4" = 1'-0"

mca MARC CORNETT ARCHITECTS

101 EAST KIRKWOOD AVE.
 BLOOMINGTON, INDIANA 47408
 P 812.325.5964 EMAIL: marccornett@yahoo.com



REVISIONS

Proposed Office Building for:
Alternative Care Solutions, LLC
 509 W. Temperance St.
 Ellettsville, Indiana

PROJECT NO.: 2024-07
 DATE: 7/29/24
 DRAWN BY: MJC
 CHECKED BY: MJC

PROPOSED BUILDING
 ELEVATIONS and BUILDING
 SECTION

A.202



Alternative Care Solutions
New Care Agency

Alternative Care Solutions
New Care Agency

RESOLUTION 02-2024

**A RESOLUTION BY THE ELLETTSVILLE PLAN COMMISSION TO
AUTHORIZE THE ELLETTSVILLE PLANNING DIRECTOR TO
TEMPORARILY WAIVE THE
REQUIREMENT OF TWO ACCESS WAYS FOR
THE CHARLESTOWNE MANOR SUBDIVISION**

Whereas, the Town of Ellettsville is a political subdivision existing under the provisions of Indiana law; and

Whereas, the Ellettsville Plan Commission (“Plan Commission”) enforces the zoning regulations for the Town of Ellettsville (“Town”); and

Whereas, Ellettsville has enacted a code which requires subdivisions with over twenty-five (25) lots to provide either two (2) access points in and out of the subdivision; and

Whereas, Ellettsville has approved final plats for all phases showing two (2) access points for Charlestowne Manor; and

Whereas, the second access point for Charlestowne Manor is in Monroe County’s jurisdiction; and

Whereas, Charlestowne Manor filed for a grading permit with Monroe County Drainage Board in 2021 and it is still pending; and

Whereas, Charlestowne Manor has received approval to work in the right-of-way of the second access point by the Monroe County Highway Department; and

Whereas, the Planning Director believes it advisable to waive the requirement of two (2) entrances for twenty-five (25) lots until such time Charlestowne Manor receives approval of the grading permit application from Monroe County.

NOW, THEREFORE, be it ordained by the Ellettsville Plan Commission as follows:

Director of Planning Denise Line is hereby authorized to waive the requirement of two (2) access points for a subdivision of twenty-five (25) lots or more for the Charlestowne Manor Subdivision from Thursday, August 8, 2024, until such time the developer receives approval of the grading permit application from the Monroe County Drainage Board.

This resolution was passed, approved, and adopted by Ellettsville Plan Commission at its regular meeting on August 8, 2024 by a vote of _____ in favor and _____ against.

David Drake

President
Ellettsville Plan Commission

ATTEST:

Mike Burns, Secretary

RESOLUTION 3-2024

RESOLUTION RECOMMENDING REPEAL OF THE TOWN OF ELLETTSVILLE, INDIANA, ZONING ORDINANCE, SUBDIVISION CONTROL ORDINANCE AND MAPS AND THE ADOPTION OF THE TOWN OF ELLETTSVILLE, INDIANA, UNIFIED DEVELOPMENT ORDINANCE AND MAPS

WHEREAS, notice was given in accordance with Ind. Code § 5-3-1, 36-7-4-500 and 36-7-4-600 et seq. that the Ellettsville Plan Commission would conduct a public hearing on a proposal to recommend the adoption of a replacement zoning ordinance and maps and repeal the prior zoning ordinance and maps for the Town of Ellettsville, Indiana; and

WHEREAS, the public hearing was held on July 11, 2024, following the giving of required notice, with opportunity for all interested parties to offer evidence and present their views to the Commission; and

WHEREAS, this Commission has heard evidence concerning the content and effect of the proposed repeal and replacement.

NOW, THEREFORE, BE IT RESOLVED BY THE ELLETTSVILLE PLAN COMMISSION OF THE TOWN OF ELLETTSVILLE, MONROE COUNTY, INDIANA, that the following be forwarded to the Ellettsville Town Council with a favorable recommendation to repeal the Town of Ellettsville, Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Maps, and adopt the Ellettsville, Indiana, Unified Development Ordinance and Maps as follows:

See attached Exhibits A and B.

BE IT FURTHER RESOLVED that this Resolution is retroactive to _____, the date the Certification of Recommendation was sent to Council.

This Resolution was passed and adopted by the Ellettsville Plan Commission, Ellettsville, Indiana, at the Ellettsville Town Hall on the 8th day of August, 2024.

David Drake, President
Ellettsville Plan Commission

Attest:

Mike Burns, Secretary
Ellettsville Plan Commission



Town of Ellettsville
Department of Planning & Development

TO: THE ELLETTSVILLE TOWN COUNCIL

CERTIFICATION
PC 24-02 – Unified Development Ordinance

I, Denise Line, hereby certify that during its meeting on July 11, 2024, the Ellettsville Plan Commission considered a request for a Unified Development Ordinance. The Plan Commission gave a unanimous favorable recommendation.

Denise Line
Planning Director

July 11, 2024
Date



Exhibit B

Town of Ellettsville
Department of Planning & Development

TO: THE ELLETTSVILLE TOWN COUNCIL

CERTIFICATION
PC 24-02 – Zoning Map Amendment

I, Denise Line, hereby certify that during its meeting on July 11, 2024, the Ellettsville Plan Commission considered a request for a zoning map amendment. The Plan Commission gave a unanimous favorable recommendation.

Denise Line
Planning Director

July 11, 2024
Date

ATTORNEY CERTIFICATION

I, Darla S. Brown, attorney for the Ellettsville Plan Commission, hereby certify that the foregoing is a true and accurate copy of the proposed replacement to the Town of Ellettsville, Indiana Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Maps, as approved by the Ellettsville Plan Commission at the close of the public hearing and public meeting held at the Ellettsville Town Hall on July 11, 2024.

Darla S. Brown
Attorney, Ellettsville Plan Commission

ORDINANCE 2024-__

AN ORDINANCE REPEALING THE TOWN OF ELLETTSVILLE, INDIANA, ZONING ORDINANCE, SUBDIVISION CONTROL ORDINANCE AND MAPS AND ADOPTING THE TOWN OF ELLETTSVILLE, INDIANA, UNIFIED DEVELOPMENT ORDINANCE AND MAPS

WHEREAS, The Ellettsville Town Council is advised that the Ellettsville Plan Commission held a public hearing, following the giving of required notice, on the proposed repeal and replacement of the Town of Ellettsville, Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Maps, and adoption of the Ellettsville, Indiana, Unified Development Ordinance and Maps; and

WHEREAS, said Plan Commission has given a favorable recommendation for repeal of the Town of Ellettsville, Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Maps, and adoption of the Ellettsville, Indiana, Unified Development Ordinance and Maps; and

WHEREAS, this Town Council concurs in the recommendation of the Plan Commission.

NOW, THEREFORE, BE IT ORDAINED BY THE ELLETTSVILLE TOWN COUNCIL OF THE TOWN OF ELLETTSVILLE, MONROE COUNTY, INDIANA:

That the Town of Ellettsville, Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Maps are repealed. The repeal of the Town of Ellettsville, Planning and Zoning Regulations (Title XV, Chapter 152, Ordinance 03-05); Subdivision Regulations (Title XV, Chapter 153, Ordinance 2004-02) and Previous Zoning Maps shall have no retroactive application and said provisions shall remain enforceable as to any prior existing and continuing violations.

That the terms of the Town of Ellettsville, Unified Development Ordinance and Maps are hereby adopted as shown in the attached “**Exhibits A and B.**”

The foregoing Ordinance was passed, approved, and adopted by the Ellettsville Town Council, on the 12th day of August, 2024.

ELLETTSVILLE TOWN COUNCIL

Scott Oldham
President, Ellettsville Town Council

ATTEST:

Noelle Conyer, Clerk/Treasurer