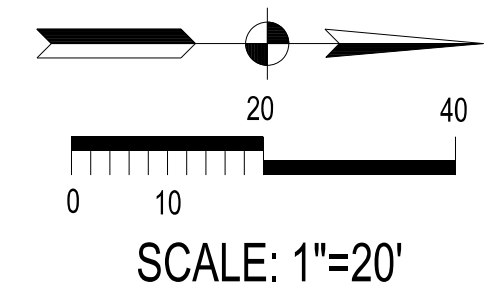


Case Number: PC 21-14
 Meeting Date: June 3, 2021
 Project Address: 4252 N. Tupelo Drive
 Project Type: Development Plan
 Description: Cedar Bluff Apartments
 56 units





DEVELOPMENT DATA

SITE AREA = 2.42 ACRES
 DENSITY PERMITTED = 15 UNITS PER ACRE X 2.42 ACRES = 39.6 UNITS
 DENSITY PROPOSED = (27) 1-BED UNITS X 0.50 DUE = 13.50 UNITS
 (24) 2-BED UNITS X 0.66 DUE = 15.84
 (5) 3-BED UNITS X 1.0 DUE = 5 UNITS
 TOTAL DENSITY = 34.34 UNITS OR 14.19 UNITS PER ACRE

PARKING REQUIRED = 1.0 SPACES PER 1 BEDROOM X (27) 1-BED UNITS = 27 SPACES
 1.6 SPACES PER 2 BEDROOM X (24) 2-BED UNITS = 38.4 SPACES
 1.8 SPACES PER 3 BEDROOM X (5) 3-BED UNITS = 9 SPACES
 TOTAL PARKING REQUIRED = 74.4 SPACES = 75 SPACES
 PARKING PROVIDED = 72 SPACES LOT 1 AND 3 SPACES LOT 3 = 75 SPACES

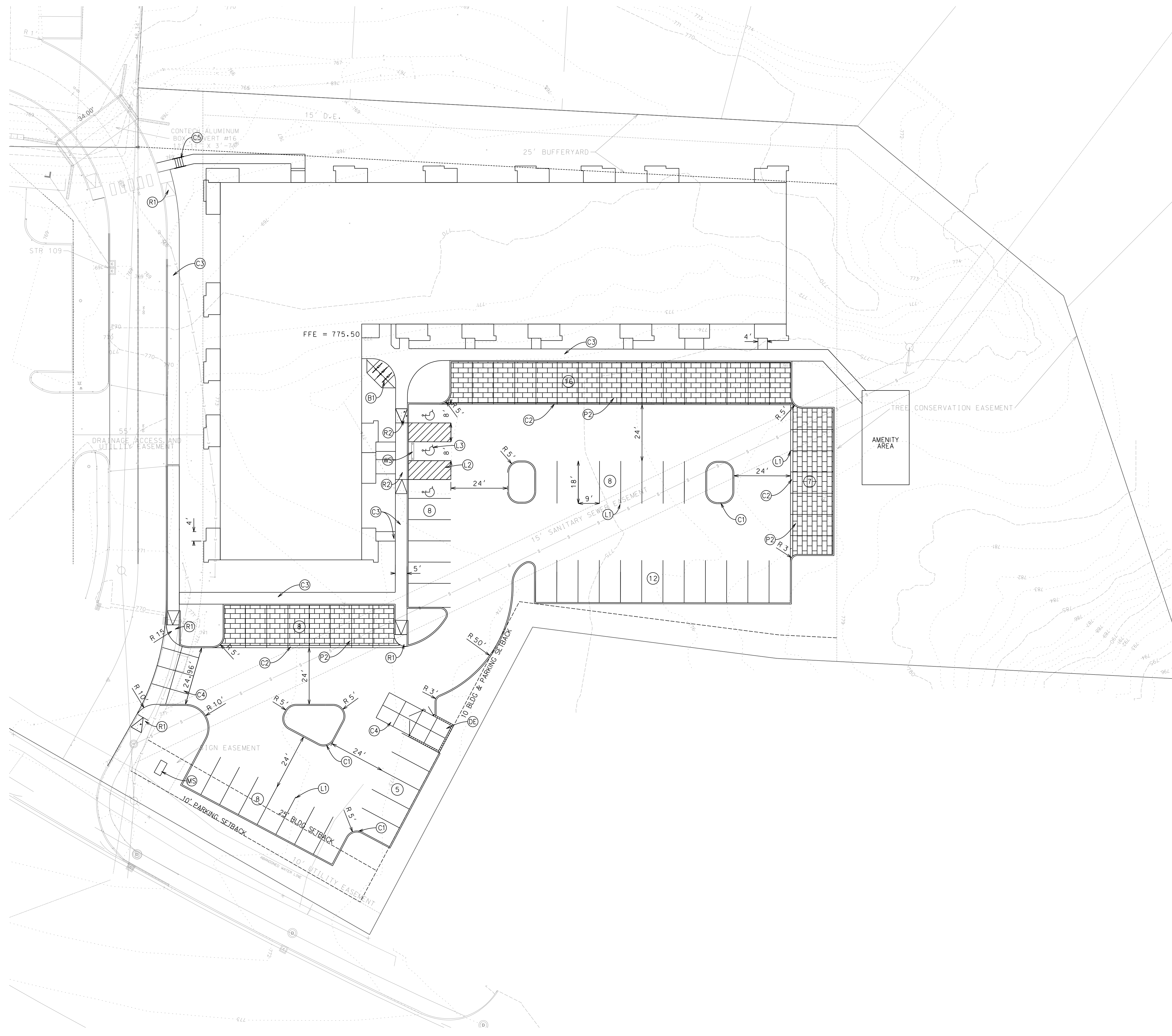
PERVIOUS PAVEMENT REQUIRED OVER 20% OF PARKING AREA
 TOTAL PARKING AREA = 24,687 SF
 PERVIOUS PARKING REQUIRED TO MEET CODE = 4,937 SF
 PERVIOUS PARKING PROPOSED = 4,949 SF (20%)

SITE LEGEND

- DRAINAGE EASEMENT 10' DE
- UTILITY EASEMENT 10' UE
- DR. & UT. EASEMENT 10' D&UE
- 2" ROLL CURB
- 2" CURB AND GUTTER
- 6" STANDING CURB
- CONCRETE SIDEWALK
- HANDICAPPED RAMP
- HANDICAPPED RAILING
- RET. WALL (CONCRETE)
- RET. WALL (MASONRY)
- RET. WALL (STONE)
- RET. WALL (WOOD)
- FENCE (CHAIN LINK)
- FENCE (SMOOTH WIRE)
- FENCE (POST & RAIL)
- FENCE (WOOD SLAT)
- GUARD RAIL
- PROPOSED STREET TREE
- BOLLARD
- DUMPSTER (WOOD)
- DUMPSTER (MASONRY)

MATERIALS LEGEND

- ① 1.5" HMA SURFACE ON 3.5" HMA BASE ON 7" COMPACTED AGGREGATE BASE #53, TYPE "0"
- ② PRECAST CONCRETE PERMEABLE PAVERS HYDRA-BRICK PAVER SYSTEM
- ③ 6" STANDING CURB
- ④ 12" WIDE CONCRETE EDGE, 4000 PSI CONCRETE
- ⑤ CONCRETE SIDEWALK 4" THICK CONCRETE 4" COMPACTED AGGREGATE BASE #53, TYPE "0"
- ⑥ CONCRETE DRIVE 6" THICK, 4000 PSI CONCRETE 6" COMPACTED AGGREGATE BASE #53, TYPE "0"
- ⑦ CONCRETE STAIRS AND HANDRAIL
- ⑧ LINE, PAINT, SOLID, WHITE, 4"
- ⑨ LINE, PAINT, SOLID, BLUE, 6" CROSSHATCH
- ⑩ SYMBOL, PAINT, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ⑪ PERPENDICULAR RAMP
- ⑫ PARALLEL RAMP
- ⑬ DUMPSTER ENCLOSURE WITH GATE
- ⑭ PRECAST CONCRETE WHEEL STOP
- ⑮ MONUMENT SIGN



CERTIFICATION DATE

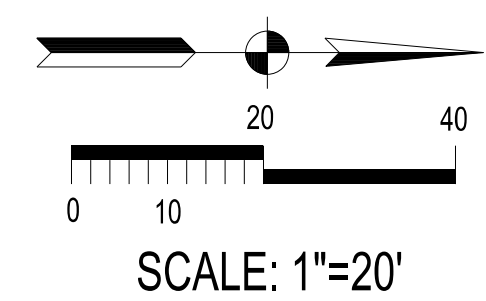
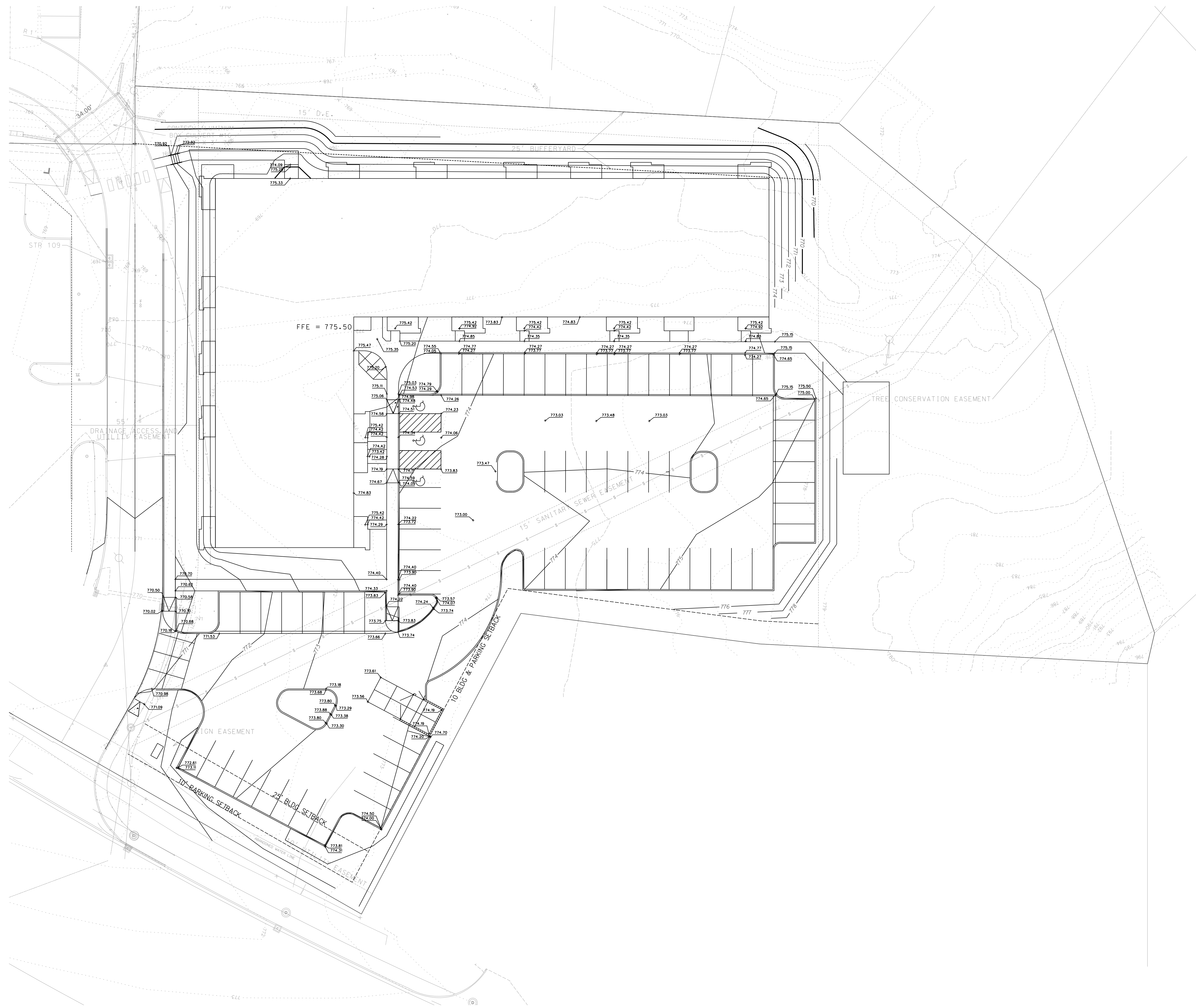
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JOB TITLE:
CEDAR BLUFF LOT 1
 ELLETTSVILLE, INDIANA

REVISIONS	BY	DATE

DESIGNED	DATE
KEYS	
CHECKED	DATE
KEYS	

JOB NUMBER
5031
 SHEET
C201
 DATE
 5/19/21
 SITE PLAN



GENERAL NOTES

- 1) SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 2) TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: A) MANHOLES: RIM ELEVATION B) INLETS: GUTTER ELEVATION
- 3) LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.

GRADING NOTES

- 1) FF.= IF SHOWN ON THE PLANS, = RECOMMENDED FINISH FLOOR ELEVATION.
- 2) BF.= IF SHOWN ON THE PLANS, = RECOMMENDED BASEMENT FLOOR ELEVATION.
- 3) GF.= IF SHOWN ON THE PLANS, = RECOMMENDED GARAGE FLOOR ELEVATION.
- 4) PP.= IF SHOWN ON THE PLANS, = RECOMMENDED PERMANENT POND ELEVATION.
- 5) 100YR.-F.-EL.= IF SHOWN ON THE PLANS, = 100YR. FLOOD ELEV.
- 6) MS.= IF SHOWN ON THE PLANS, = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
- 7) MF.= IF SHOWN ON THE PLANS, = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- 8) GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- 9) PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS

GRADING & EROS. CTRL LEGENDS

- PROPOSED 1' CONTOUR ——— 101
- PROPOSED 5' CONTOUR ——— 100
- PROPOSED SPOT ELEVATION ——— 180.08
- SOIL BORING ———
- RIP-RAP ———
- SILT TRAP ———
- INLET PROTECTION ———
- DETENTION BASIN ———
- STRAW BALE DAM ———
- ROCK CHECK DAM ———
- PAVED SIDE DITCH ———
- DIVERSION DITCH ———
- TREE PROTECTION FENCE ———
- FLOOD LINE ———
- FLOW LINE ———
- GRADING LIMITS ———
- SEDIMENT BASIN ———
- SILT FENCE ———

SMITH DESIGN GROUP
 CIVIL ENGINEERING - LAND SURVEYING
 2755 E Canada Dr Suite 101 Bloomington, IN 47401
 (812) 336-6598 - smithdesign.com

CERTIFICATION DATE
 //

JOB TITLE
**CEDAR BLUFF
 LOT 1
 ELLETTSVILLE, INDIANA**

REVISIONS	BY	DATE

DESIGNED	DRAWN	CHECKED	DATE
KE'S	KE'S	KE'S	

JOB NUMBER
5031
 SHEET
C301
 DATE
 5/19/21
 GRADING PLAN

CEDAR BLUFF LOT 1 APARTMENTS

A RUBICON DEVELOPMENT

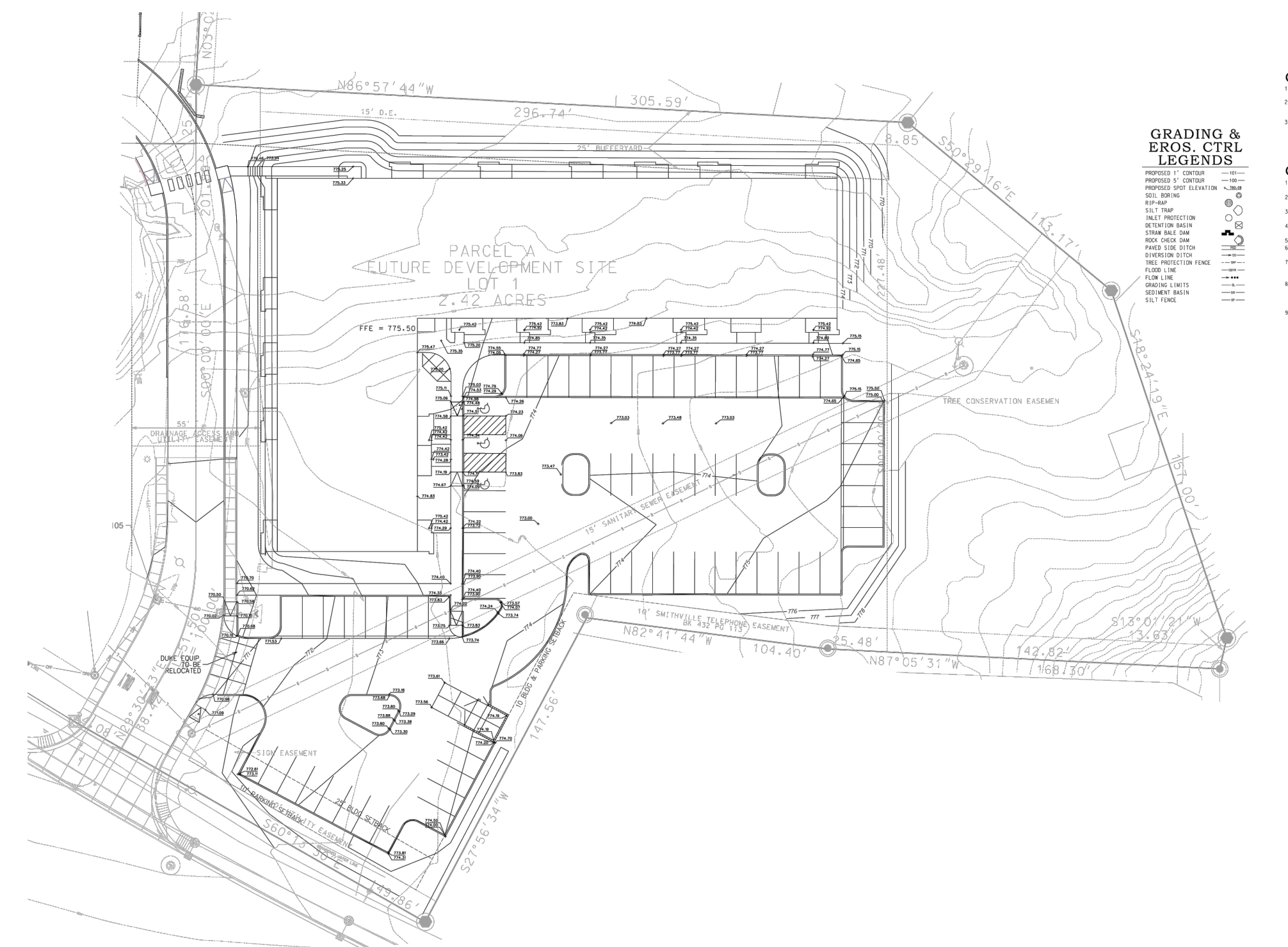
CEDAR BLUFF LOT 1 APARTMENTS
ELLETSVILLE, IN



VIEW FROM SOUTHWEST DRIVE

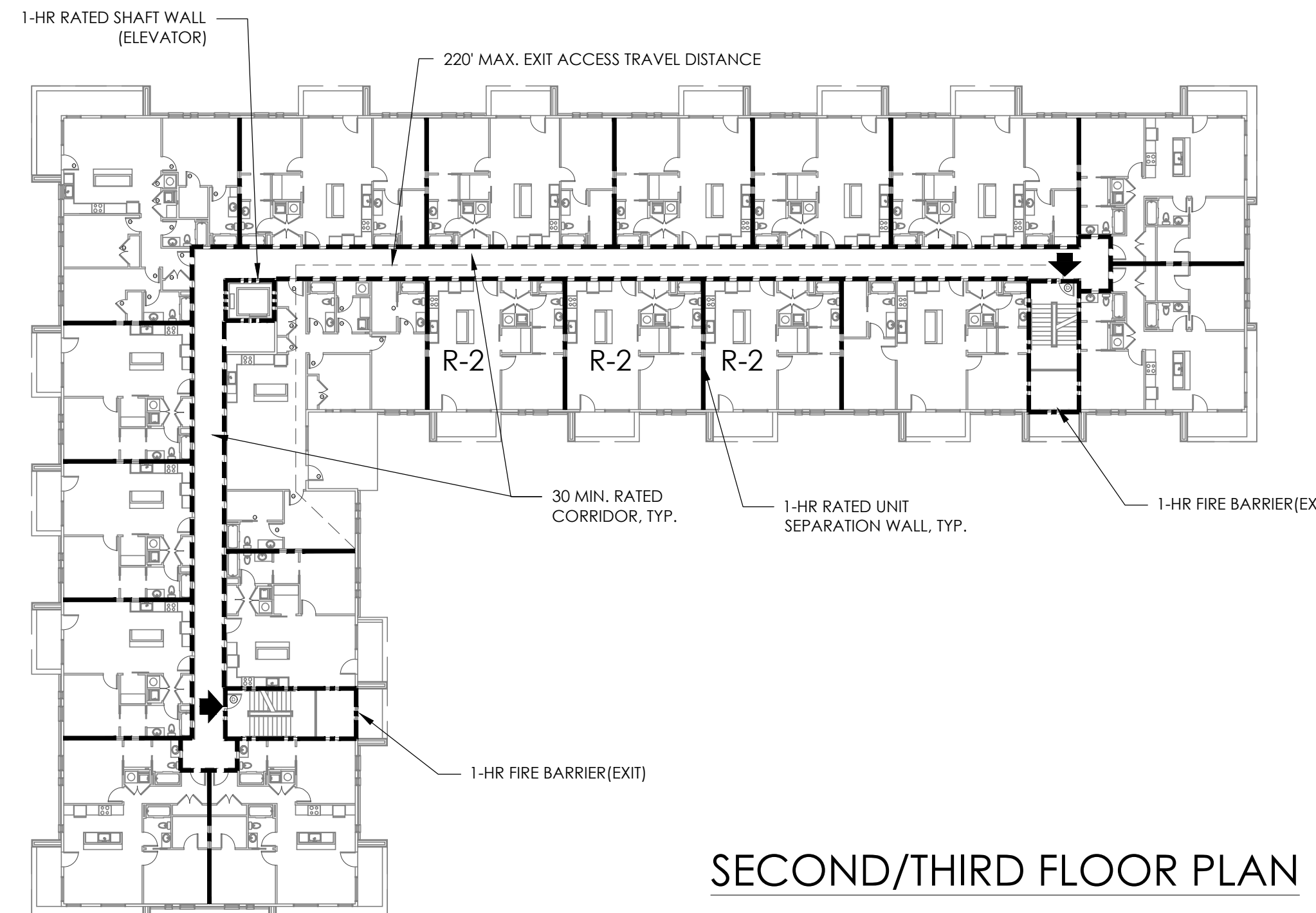


VIEW FROM EAST OF PROPERTY

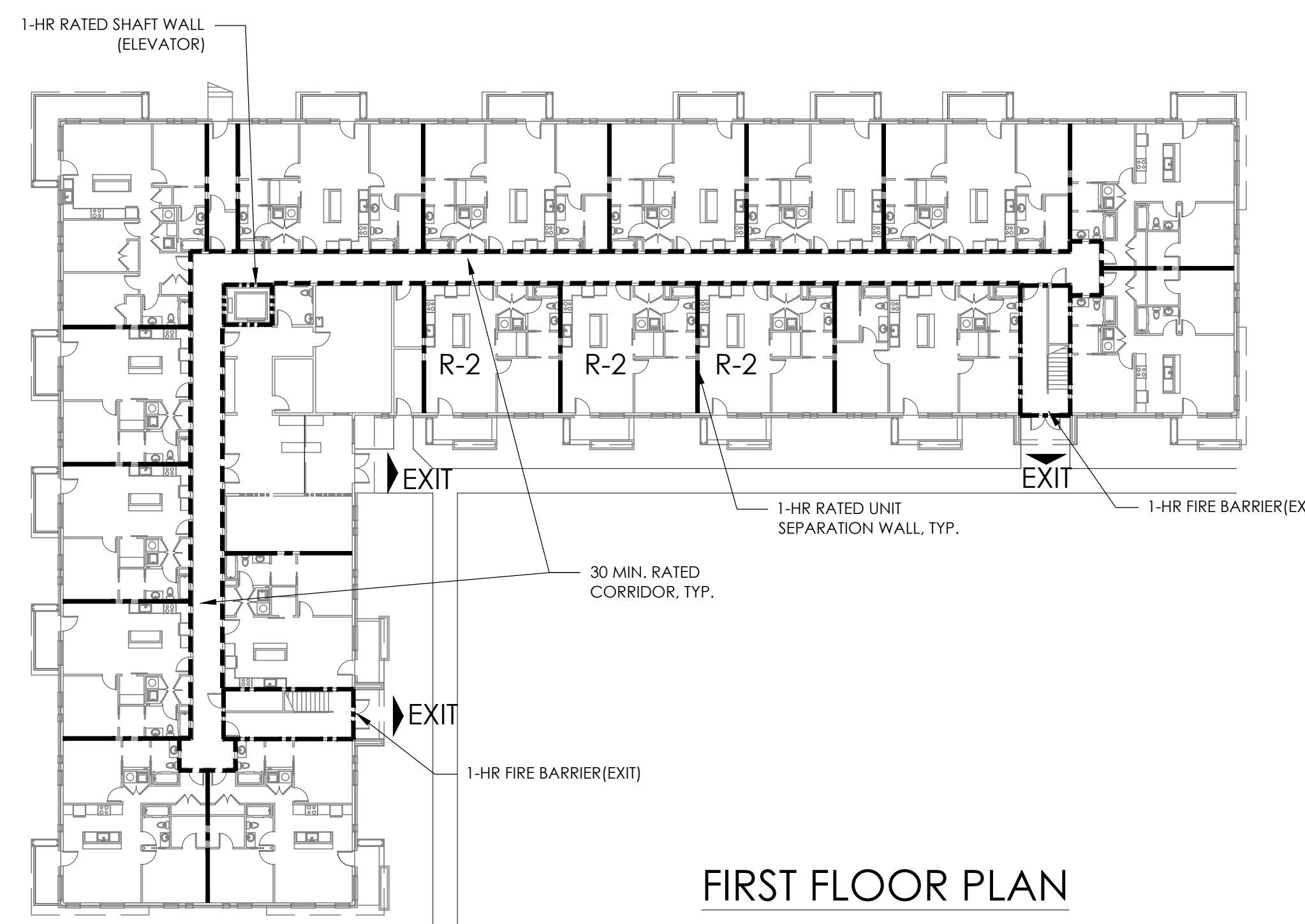


*FOR REFERENCE ONLY (SEE CIVIL DRAWINGS)

02 SITE PLAN
A1.0 SCALE: NOT TO SCALE



SECOND/THIRD FLOOR PLAN



FIRST FLOOR PLAN

REFERENCE BUILDING SECTION SHEETS FOR RATED FLOORS

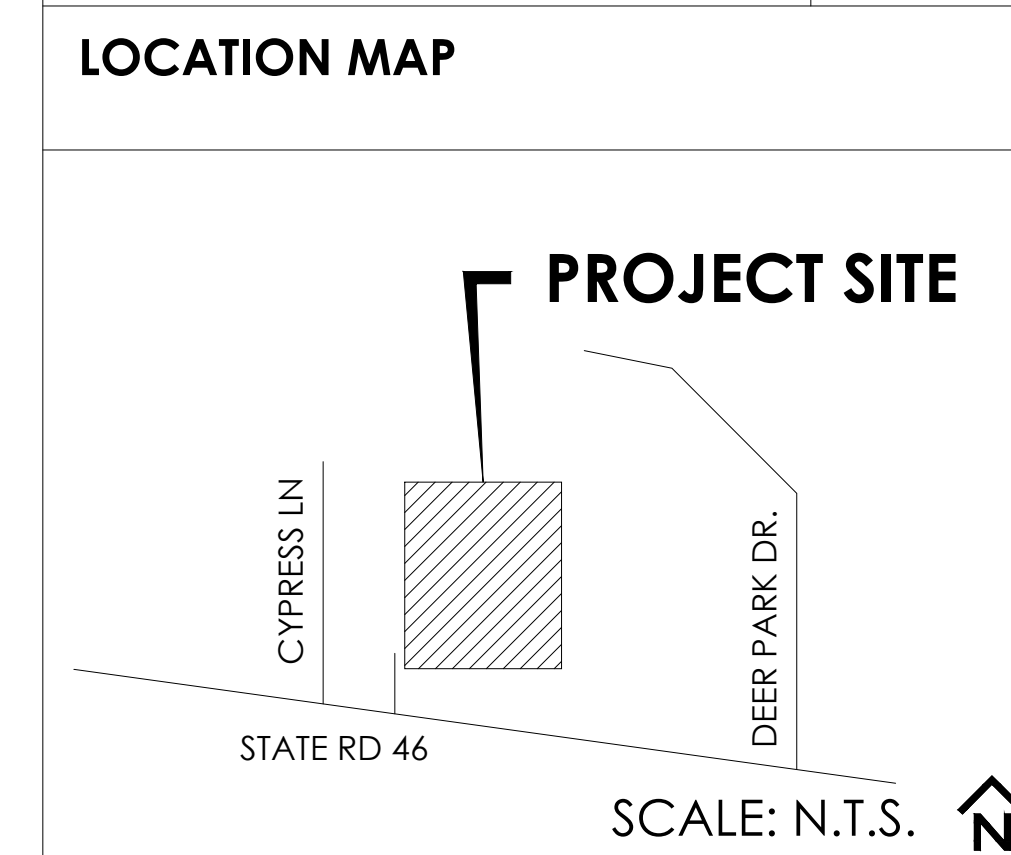
01 FIRE SEPARATION / LIFE SAFETY PLAN
A1.0 SCALE: NOT TO SCALE

SHEET INDEX		CODE REVIEW	
A1.0	CODE REVIEW	2014 INDIANA BUILDING CODE (2012 INTERNATIONAL BUILDING CODE WITH INDIANA AMENDMENTS), ACCESSIBILITY STANDARD ICC/ANSI A117.1-2012 WITH INDIANA ACCESSIBILITY ISSUE, CHAPTER 11, 2014	
A2.0	FIRST FLOOR PLAN	INDIANA FIRE CODE, 2014: KEY BOX COORDINATE LOCATION AND KEY BOX TYPE WITH FIRE DEPARTMENT AND OWNER.	
A2.1	SECOND FLOOR PLAN	IBC SECTION 501.2: ADDRESS SHALL BE PROVIDED BY OWNER. COORDINATE DESIGN AND LOCATION WITH OWNER.	
A2.2	THIRD FLOOR PLAN		
A2.3	ROOF PLAN		
A2.4	UNIT PLANS		
A2.5	UNIT PLANS		
A3.0	EXTERIOR ELEVATIONS		
A3.1	EXTERIOR ELEVATIONS		
A4.0	BUILDING SECTIONS		
A4.1	WALL SECTIONS		
A4.2	STAIR AND ELEVATOR SECTIONS		
A5.0	SCHEDULES AND DETAILS		
A5.1	INTERIOR ELEVATIONS		
A6.0	GENERAL NOTES		
A6.1	CLEARANCE REQUIREMENTS		
A6.2	TYPE-B REQUIREMENTS		

CODE ITEM	CODE REFERENCE	VALUE
OCCUPANCY TYPE	SECTION 301	R-2: 1ST, 2ND & 3RD FLOORS
CONSTRUCTION TYPE	TABLE 602.1	V-A
SPRINKLER SYSTEM	903.3.1.2	SPRINKLERED NFPA 13R (R-2 OCC)
DWELLING UNIT SEPARATION	SECTION 708.3, 420.2 & 711.3	1-HOUR REQUIRED (R-2 WALL & FLOOR ASSEMBLY)
CORRIDORS	SECTION 1018.1 TABLE 1018.1	0.5 HOUR REQUIRED
	TABLE 716.5	1/3 HOUR DOOR
INTERIOR EXIT STAIRWAYS	SECTION 1022.2	1-HOUR
	SECTION 1022.4 & TABLE 716.5	1 HOUR DOOR
AT EXTERIOR WALL	SECTION 1022.7	3/4 HOUR OPENING (1-HOUR STAIR)

BUILDING DATA	ACTUAL	ALLOWABLE
MAXIMUM HT.	TABLE 503	36' 50'
MAXIMUM HT. (STORIES)	TABLE 503	3 STORY (R-2) 3 STORY
1ST FLOOR AREA	R-2	20,400 SF 12,000 SF *
2ND & 3RD FLOOR AREA	R-2	20,245 SF (EACH) 12,000 SF *
TOTAL BUILDING AREA		60,890 SF -
AUTO. SPRINKLER SYSTM. INCREASE	SECTION 504.2	ADDITIONAL 1 STORY AND 20' OF BUILDING HEIGHT INCREASE IS ALLOWED (W/ 903.3.1.1) 4 STORIES MAX. OR 60' MAX. (R GROUP W/ 903.3.1.2)
	SECTION 506	* BUILDING AREA INCREASE: 21,000 SF / FLOOR
# OF EXITS (R-2)	SECTION 1021.2 (1)	2 PROVIDED 2 REQUIRED
MAX. EXIT ACCESS TRAVEL DISTANCE	TABLE 1016.2	171' 250'
OCCUPANCY LOAD	TABLE 1004.1.2	R2/(LOUNGE&FITNESS): 100 SF = 7 OCC. R2: 200 GROSS = 248 OCC
TYPE 'B' UNIT AT R-2	SECTION 1107.6.2 INDIANA AMENDMENTS	REQUIRED IN ALL UNITS (ELEVATOR ACCESS)

BUILDING UNIT MIX:	1-BEDROOM	2-BEDROOM	3-BEDROOM	TOTAL
1ST FLOOR	9	8	1	18
2ND FLOOR	9	8	2	19
3RD FLOOR	9	8	2	19
TOTAL	27	24	5	56



GENERAL NOTES (APPLICABLE TO ALL TRADES)

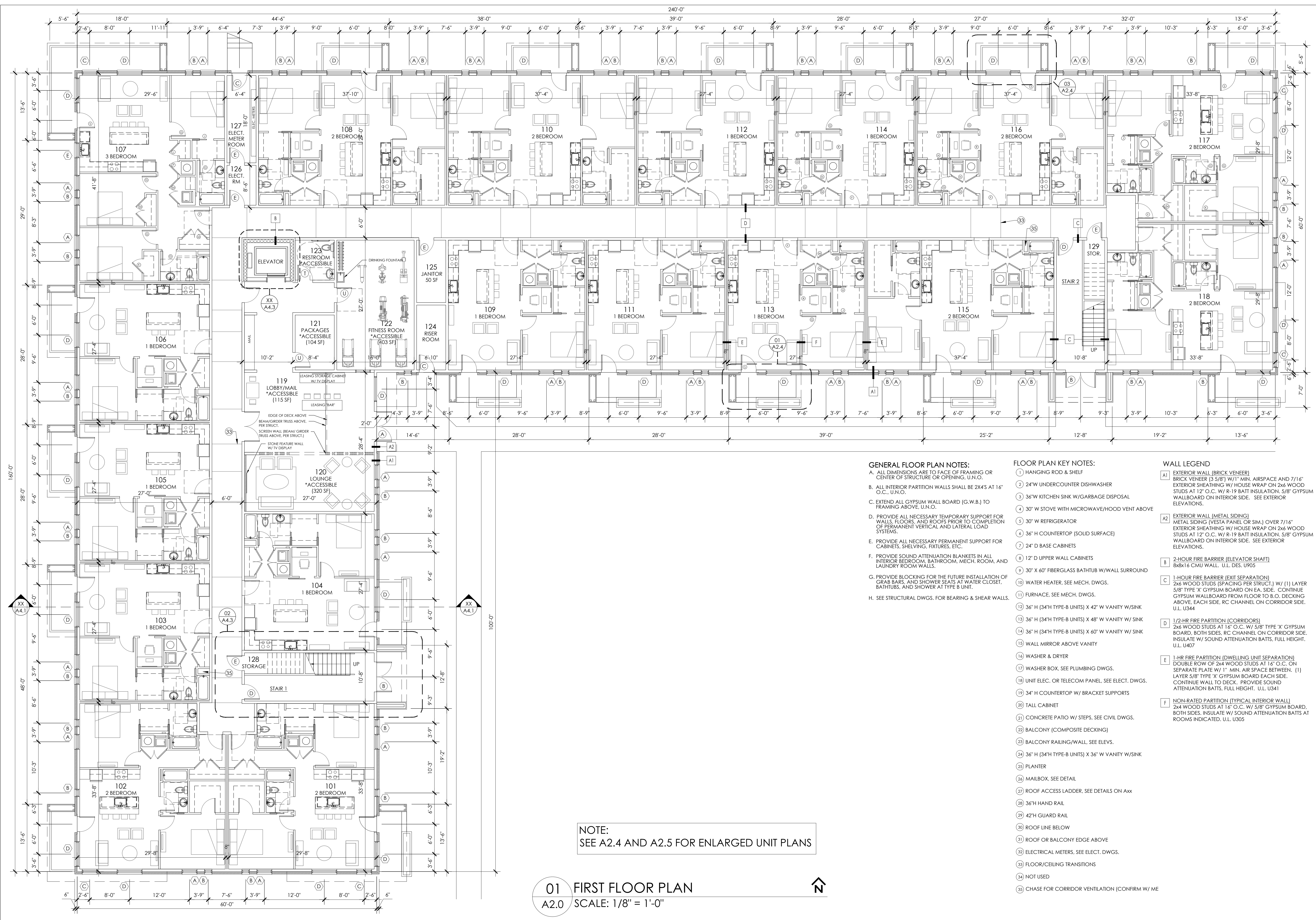
- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT AND LOCAL BUILDING CODES AND ANY AMENDMENTS OR INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL.
- THESE DRAWINGS AND ALL NOTES ARE INTENDED TO SET MINIMUM STANDARDS OF CONSTRUCTION. IF THERE IS A CONFLICT BETWEEN DRAWINGS, NOTES OR MANUFACTURER'S INSTRUCTIONS, THE MORE STRINGENT REQS. SHALL APPLY.
- CHECK AND VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES.
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING, CENTER OF WALL OPENING (DOOR OR WINDOW) AND CENTER OF COLUMN, U.N.O. INTERIOR DIMENSIONS ARE TO FACE OF STUDS AND FACE OF CABINETRY, U.N.O.
- PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS, FLOORS AND ROOFS PRIOR TO COMPLETION OF PERMANENT VERTICAL AND LATERAL LOAD SYSTEMS.

DATE: 04.29.21
ISSUE: PLANNING SET
JOB NO.: 21-08
CHECKED BY MDE

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A1.0
INDEX, CODE, & LIFE SAFETY/ FIRE SEP. PLANS

CEDAR BLUFF LOT 1 APARTMENTS
ELLETSVILLE, IN



- GENERAL FLOOR PLAN NOTES:**
- A. ALL DIMENSIONS ARE TO FACE OF FRAMING OR CENTER OF STRUCTURE OR OPENING, U.N.O.
 - B. ALL INTERIOR PARTITION WALLS SHALL BE 2X4'S AT 16" O.C., U.N.O.
 - C. EXTEND ALL GYPSUM WALL BOARD (G.W.B.) TO FRAMING ABOVE, U.N.O.
 - D. PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS, FLOORS, AND ROOFS PRIOR TO COMPLETION OF PERMANENT VERTICAL AND LATERAL LOAD SYSTEMS.
 - E. PROVIDE ALL NECESSARY PERMANENT SUPPORT FOR CABINETS, SHELVING, FIXTURES, ETC.
 - F. PROVIDE SOUND ATTENUATION BLANKETS IN ALL INTERIOR BEDROOM, BATHROOM, MECH. ROOM, AND LAUNDRY ROOM WALLS.
 - G. PROVIDE BLOCKING FOR THE FUTURE INSTALLATION OF GRAB BARS, AND SHOWER SEATS AT WATER CLOSET, BATHTUBS, AND SHOWER AT TYPE B UNIT.
 - H. SEE STRUCTURAL DWGS. FOR BEARING & SHEAR WALLS.
- FLOOR PLAN KEY NOTES:**
- 1 HANGING ROD & SHELF
 - 2 24" W UNDERCOUNTER DISHWASHER
 - 3 36" W KITCHEN SINK W/GARBAGE DISPOSAL
 - 4 30" W STOVE WITH MICROWAVE/HOOD VENT ABOVE
 - 5 30" W REFRIGERATOR
 - 6 36" H COUNTERTOP (SOLID SURFACE)
 - 7 24" D BASE CABINETS
 - 8 12" D UPPER WALL CABINETS
 - 9 30" X 60" FIBERGLASS BATHTUB W/WALL SURROUND
 - 10 WATER HEATER, SEE MECH. DWGS.
 - 11 FURNACE, SEE MECH. DWGS.
 - 12 36" H (34TH TYPE-B UNITS) X 42" W VANITY W/SINK
 - 13 36" H (34TH TYPE-B UNITS) X 48" W VANITY W/ SINK
 - 14 36" H (34TH TYPE-B UNITS) X 60" W VANITY W/ SINK
 - 15 WALL MIRROR ABOVE VANITY
 - 16 WASHER & DRYER
 - 17 WASHER BOX, SEE PLUMBING DWGS.
 - 18 UNIT ELEC. OR TELECOM PANEL, SEE ELECT. DWGS.
 - 19 34" H COUNTERTOP W/ BRACKET SUPPORTS
 - 20 TALL CABINET
 - 21 CONCRETE PATIO W/ STEPS, SEE CIVIL DWGS.
 - 22 BALCONY (COMPOSITE DECKING)
 - 23 BALCONY RAILING/WALL, SEE ELEV. S.
 - 24 36" H (34TH TYPE-B UNITS) X 36" W VANITY W/SINK
 - 25 PLANTER
 - 26 MAILBOX, SEE DETAIL
 - 27 ROOF ACCESS LADDER, SEE DETAILS ON AXx
 - 28 36" H HAND RAIL
 - 29 42" H GUARD RAIL
 - 30 ROOF LINE BELOW
 - 31 ROOF OR BALCONY EDGE ABOVE
 - 32 ELECTRICAL METERS, SEE ELECT. DWGS.
 - 33 FLOOR/CEILING TRANSITIONS
 - 34 NOT USED
 - 35 CHASE FOR CORRIDOR VENTILATION (CONFIRM W/ ME)
- WALL LEGEND**
- A1 EXTERIOR WALL (BRICK VENEER)
BRICK VENEER (3 5/8" W/1" MIN. AIRSPACE AND 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
 - A2 EXTERIOR WALL (METAL SIDING)
METAL SIDING (VESTA PANEL OR SIM.) OVER 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
 - B 2-HOUR FIRE BARRIER (ELEVATOR SHAFT)
8x8x16 CMU WALL. U.L. DES. U905
 - C 1-HOUR FIRE BARRIER (EXIT SEPARATION)
2x6 WOOD STUDS (SPACING PER STRUCT.) W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD ON EA. SIDE. CONTINUE GYPSUM WALLBOARD FROM FLOOR TO B.O. DECKING ABOVE, EACH SIDE, RC CHANNEL ON CORRIDOR SIDE. U.L. U344
 - D 1/2-HR FIRE PARTITION (CORRIDORS)
2x6 WOOD STUDS AT 16" O.C. W/ 5/8" TYPE 'X' GYPSUM BOARD, BOTH SIDES, RC CHANNEL ON CORRIDOR SIDE. INSULATE W/ SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U407
 - E 1-HR FIRE PARTITION (DWELLING UNIT SEPARATION)
DOUBLE ROW OF 2x4 WOOD STUDS AT 16" O.C. ON SEPARATE PLATE W/ 1" MIN. AIR SPACE BETWEEN. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE. CONTINUE WALL TO DECK. PROVIDE SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U341
 - F NON-RATED PARTITION (TYPICAL INTERIOR WALL)
2x4 WOOD STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD, BOTH SIDES. INSULATE W/ SOUND ATTENUATION BATTS AT ROOMS INDICATED. U.L. U305

NOTE:
SEE A2.4 AND A2.5 FOR ENLARGED UNIT PLANS

01 FIRST FLOOR PLAN
A2.0 SCALE: 1/8" = 1'-0"

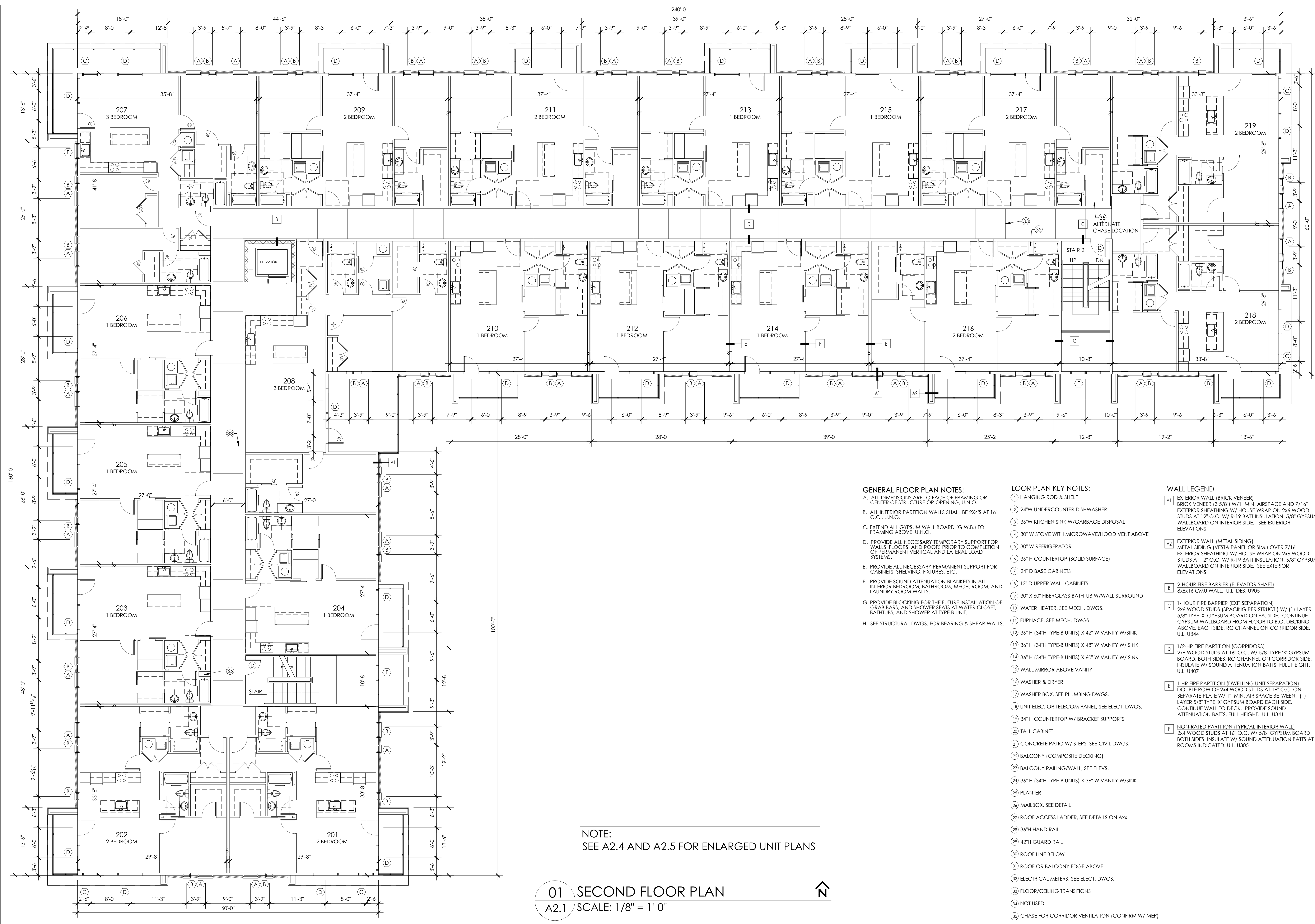


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A2.0
FIRST FLOOR
PLAN

CEDAR BLUFF LOT 1 APARTMENTS
ELLETSVILLE, IN



GENERAL FLOOR PLAN NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF FRAMING OR CENTER OF STRUCTURE OR OPENING, U.N.O.
- B. ALL INTERIOR PARTITION WALLS SHALL BE 2X4'S AT 16" O.C., U.N.O.
- C. EXTEND ALL GYPSUM WALL BOARD (G.W.B.) TO FRAMING ABOVE, U.N.O.
- D. PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS, FLOORS, AND ROOFS PRIOR TO COMPLETION OF PERMANENT VERTICAL AND LATERAL LOAD SYSTEMS.
- E. PROVIDE ALL NECESSARY PERMANENT SUPPORT FOR CABINETS, SHELVING, FIXTURES, ETC.
- F. PROVIDE SOUND ATTENUATION BLANKETS IN ALL INTERIOR BEDROOM, BATHROOM, MECH. ROOM, AND LAUNDRY ROOM WALLS.
- G. PROVIDE BLOCKING FOR THE FUTURE INSTALLATION OF GRAB BARS, AND SHOWER SEATS AT WATER CLOSET, BATHTUBS, AND SHOWER AT TYPE B UNIT.
- H. SEE STRUCTURAL DWGS. FOR BEARING & SHEAR WALLS.

FLOOR PLAN KEY NOTES:

- 1 HANGING ROD & SHELF
- 2 24" W UNDERCOUNTER DISHWASHER
- 3 36" W KITCHEN SINK W/GARBAGE DISPOSAL
- 4 30" W STOVE WITH MICROWAVE/HOOD VENT ABOVE
- 5 30" W REFRIGERATOR
- 6 36" H COUNTERTOP (SOLID SURFACE)
- 7 24" D BASE CABINETS
- 8 12" D UPPER WALL CABINETS
- 9 30" X 60" FIBERGLASS BATHTUB W/WALL SURROUND
- 10 WATER HEATER, SEE MECH. DWGS.
- 11 FURNACE, SEE MECH. DWGS.
- 12 36" H (34" H TYPE-B UNITS) X 42" W VANITY W/SINK
- 13 36" H (34" H TYPE-B UNITS) X 48" W VANITY W/SINK
- 14 36" H (34" H TYPE-B UNITS) X 60" W VANITY W/SINK
- 15 WALL MIRROR ABOVE VANITY
- 16 WASHER & DRYER
- 17 WASHER BOX, SEE PLUMBING DWGS.
- 18 UNIT ELEC. OR TELECOM PANEL, SEE ELECT. DWGS.
- 19 34" H COUNTERTOP W/ BRACKET SUPPORTS
- 20 TALL CABINET
- 21 CONCRETE PATIO W/ STEPS, SEE CIVIL DWGS.
- 22 BALCONY (COMPOSITE DECKING)
- 23 BALCONY RAILING/WALL, SEE ELEVATIONS.
- 24 36" H (34" H TYPE-B UNITS) X 36" W VANITY W/SINK
- 25 PLANTER
- 26 MAILBOX, SEE DETAIL
- 27 ROOF ACCESS LADDER, SEE DETAILS ON Axx
- 28 36" H HAND RAIL
- 29 42" H GUARD RAIL
- 30 ROOF LINE BELOW
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- 32 ELECTRICAL METERS, SEE ELECT. DWGS.
- 33 FLOOR/CEILING TRANSITIONS
- 34 NOT USED
- 35 CHASE FOR CORRIDOR VENTILATION (CONFIRM W/ MEP)

WALL LEGEND

- A1 EXTERIOR WALL (BRICK VENEER)
BRICK VENEER (3 5/8") W/ 1" MIN. AIRSPACE AND 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
- A2 EXTERIOR WALL (METAL SIDING)
METAL SIDING (VESTA PANEL OR SIM.) OVER 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
- B 2-HOUR FIRE BARRIER (ELEVATOR SHAFT)
8x8x16 CMU WALL. U.L. DES. U905
- C 1-HOUR FIRE BARRIER (EXIT SEPARATION)
2x6 WOOD STUDS (SPACING PER STRUCT.) W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD ON EA. SIDE. CONTINUE GYPSUM WALLBOARD FROM FLOOR TO B.O. DECKING ABOVE, EACH SIDE. RC CHANNEL ON CORRIDOR SIDE. U.L. U344
- D 1/2-HR FIRE PARTITION (CORRIDORS)
2x6 WOOD STUDS AT 16" O.C. W/ 5/8" TYPE 'X' GYPSUM BOARD, BOTH SIDES. RC CHANNEL ON CORRIDOR SIDE. INSULATE W/ SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U407
- E 1-HR FIRE PARTITION (DWELLING UNIT SEPARATION)
DOUBLE ROW OF 2x4 WOOD STUDS AT 16" O.C. ON SEPARATE PLATE W/ 1" MIN. AIR SPACE BETWEEN. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE. CONTINUE WALL TO DECK. PROVIDE SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U341
- F NON-RATED PARTITION (TYPICAL INTERIOR WALL)
2x4 WOOD STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD, BOTH SIDES. INSULATE W/ SOUND ATTENUATION BATTS AT ROOMS INDICATED. U.L. U305

NOTE:
SEE A2.4 AND A2.5 FOR ENLARGED UNIT PLANS

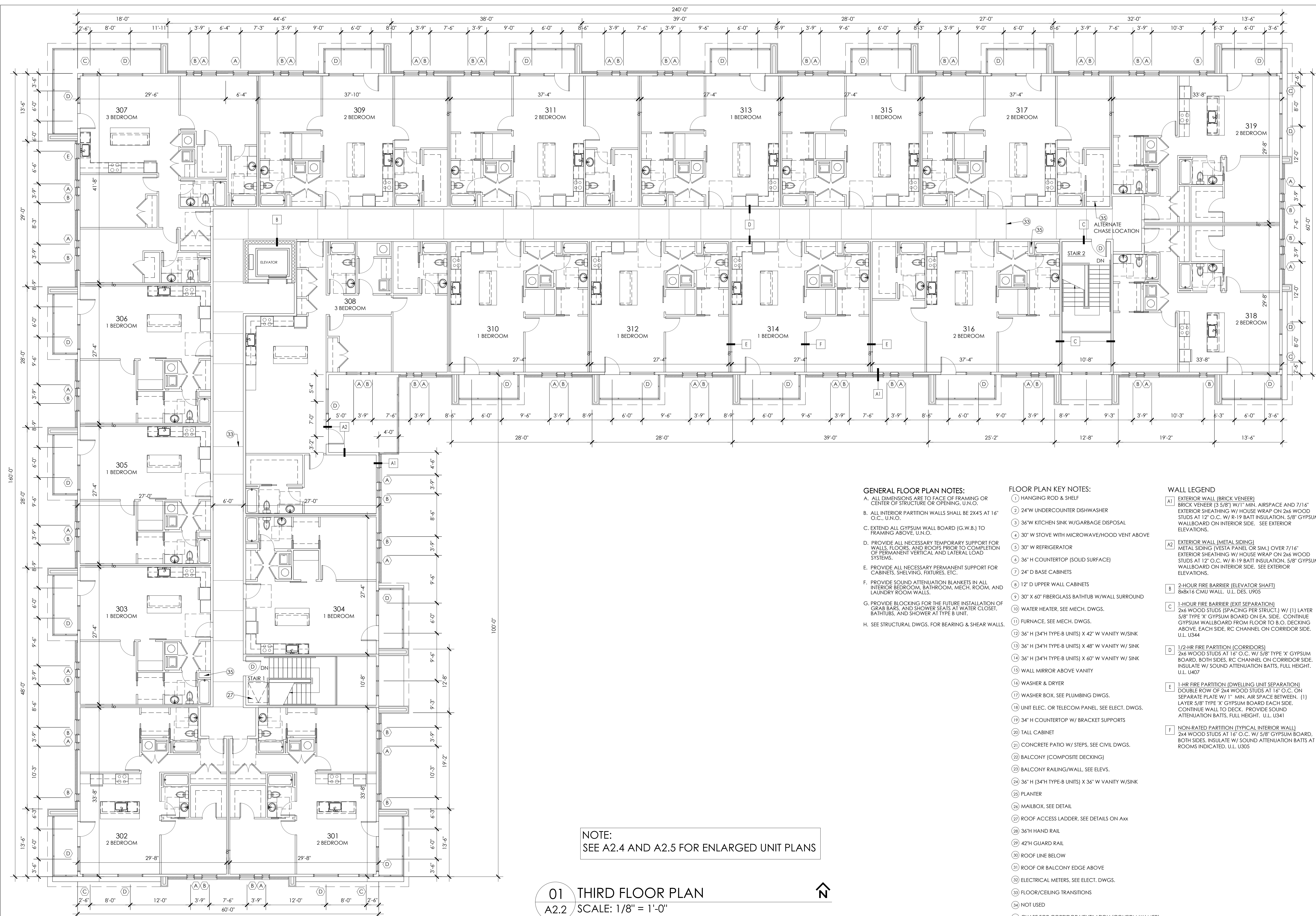
01 SECOND FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"

A2.1
SECOND FLOOR PLAN

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CEDAR BLUFF LOT 1 APARTMENTS
ELLETSVILLE, IN



GENERAL FLOOR PLAN NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF FRAMING OR CENTER OF STRUCTURE OR OPENING, U.N.O.
- B. ALL INTERIOR PARTITION WALLS SHALL BE 2X4'S AT 16" O.C., U.N.O.
- C. EXTEND ALL GYPSUM WALL BOARD (G.W.B.) TO FRAMING ABOVE, U.N.O.
- D. PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS, FLOORS, AND ROOFS PRIOR TO COMPLETION OF PERMANENT VERTICAL AND LATERAL LOAD SYSTEMS.
- E. PROVIDE ALL NECESSARY PERMANENT SUPPORT FOR CABINETS, SHELVING, FIXTURES, ETC.
- F. PROVIDE SOUND ATTENUATION BLANKETS IN ALL INTERIOR BEDROOM, BATHROOM, MECH. ROOM, AND LAUNDRY ROOM WALLS.
- G. PROVIDE BLOCKING FOR THE FUTURE INSTALLATION OF GRAB BARS, AND SHOWER SEATS AT WATER CLOSET, BATHTUBS, AND SHOWER AT TYPE B UNIT.
- H. SEE STRUCTURAL DWGS. FOR BEARING & SHEAR WALLS.

FLOOR PLAN KEY NOTES:

- ① HANGING ROD & SHELF
- ② 24" W UNDERCOUNTER DISHWASHER
- ③ 36" W KITCHEN SINK W/GARBAGE DISPOSAL
- ④ 30" W STOVE WITH MICROWAVE/HOOD VENT ABOVE
- ⑤ 30" W REFRIGERATOR
- ⑥ 36" H COUNTERTOP (SOLID SURFACE)
- ⑦ 24" D BASE CABINETS
- ⑧ 12" D UPPER WALL CABINETS
- ⑨ 30" X 60" FIBERGLASS BATHTUB W/WALL SURROUND
- ⑩ WATER HEATER, SEE MECH. DWGS.
- ⑪ FURNACE, SEE MECH. DWGS.
- ⑫ 36" H (34" H TYPE-B UNITS) X 42" W VANITY W/SINK
- ⑬ 36" H (34" H TYPE-B UNITS) X 48" W VANITY W/SINK
- ⑭ 36" H (34" H TYPE-B UNITS) X 60" W VANITY W/SINK
- ⑮ WALL MIRROR ABOVE VANITY
- ⑯ WASHER & DRYER
- ⑰ WASHER BOX, SEE PLUMBING DWGS.
- ⑱ UNIT ELEC. OR TELECOM PANEL, SEE ELECT. DWGS.
- ⑲ 34" H COUNTERTOP W/ BRACKET SUPPORTS
- ⑳ TALL CABINET
- ㉑ CONCRETE PATIO W/ STEPS, SEE CIVIL DWGS.
- ㉒ BALCONY (COMPOSITE DECKING)
- ㉓ BALCONY RAILING/WALL, SEE ELEVS.
- ㉔ 36" H (34" H TYPE-B UNITS) X 36" W VANITY W/SINK
- ㉕ PLANTER
- ㉖ MAILBOX, SEE DETAIL
- ㉗ ROOF ACCESS LADDER, SEE DETAILS ON Axx
- ㉘ 36" H HAND RAIL
- ㉙ 42" H GUARD RAIL
- ㉚ ROOF LINE BELOW
- ㉛ ROOF OR BALCONY EDGE ABOVE
- ㉜ ELECTRICAL METERS, SEE ELECT. DWGS.
- ㉝ FLOOR/CEILING TRANSITIONS
- ㉞ NOT USED
- ㉟ CHASE FOR CORRIDOR VENTILATION (CONFIRM W/ MEP)

WALL LEGEND

- A1 EXTERIOR WALL (BRICK VENEER)
BRICK VENEER (3 5/8" W/1" MIN. AIRSPACE AND 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
- A2 EXTERIOR WALL (METAL SIDING)
METAL SIDING (VESTA PANEL OR SIM.) OVER 7/16" EXTERIOR SHEATHING W/ HOUSE WRAP ON 2x6 WOOD STUDS AT 12" O.C. W/ R-19 BATT INSULATION, 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE. SEE EXTERIOR ELEVATIONS.
- B 2-HOUR FIRE BARRIER (ELEVATOR SHAFT)
8x8x16 CMU WALL. U.L. DES. U905
- C 1-HOUR FIRE BARRIER (EXIT SEPARATION)
2x6 WOOD STUDS (SPACING PER STRUCT.) W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD ON EA. SIDE. CONTINUE GYPSUM WALLBOARD FROM FLOOR TO B.O. DECKING ABOVE, EACH SIDE. RC CHANNEL ON CORRIDOR SIDE. U.L. U344
- D 1/2-HR FIRE PARTITION (CORRIDORS)
2x6 WOOD STUDS AT 16" O.C. W/ 5/8" TYPE 'X' GYPSUM BOARD, BOTH SIDES. RC CHANNEL ON CORRIDOR SIDE. INSULATE W/ SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U407
- E 1-HR FIRE PARTITION (DWELLING UNIT SEPARATION)
DOUBLE ROW OF 2x4 WOOD STUDS AT 16" O.C. ON SEPARATE PLATE W/ 1" MIN. AIR SPACE BETWEEN. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE. CONTINUE WALL TO DECK. PROVIDE SOUND ATTENUATION BATTS, FULL HEIGHT. U.L. U341
- F NON-RATED PARTITION (TYPICAL INTERIOR WALL)
2x4 WOOD STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD, BOTH SIDES. INSULATE W/ SOUND ATTENUATION BATTS AT ROOMS INDICATED. U.L. U305

NOTE:
SEE A2.4 AND A2.5 FOR ENLARGED UNIT PLANS

01 THIRD FLOOR PLAN
A2.2 SCALE: 1/8" = 1'-0"

A2.2
THIRD FLOOR
PLAN

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ELEVATION NOTES

- ① ALUMINUM PARAPET CAP (BLACK)
- ② BRICK VENEER (MERIDIAN "DOMINO" UTILITY)
- ③ BRICK SOLDIER COURSE (MERIDIAN "DOMINO" UTILITY)
- ④ BRICK ACCENT BAND (RECESSED 1" TYPICAL - MERIDIAN "STEEL" UTILITY)
- ⑤ BRICK CONTROL JOINT (3/8" ROD & SEALANT)
- ⑥ BRICK SILL (MERIDIAN "STEEL" UTILITY)
- ⑦ ALUMINUM RAILING (BLACK), SEE A5.0
- ⑧ COMPOSITE DECKING AT BALCONY
- ⑨ METAL PANEL (COLOR: PARCHMENT)
- ⑩ METAL PANEL (VESTA GILDED GRAIN - HORIZONTAL EXPOSURE)
- ⑪ WINDOWS (ANDERSEN 100 SERIES, BLACK), SEE PLANS
- ⑫ DOORS, SEE PLANS
- ⑬ LIGHT FIXTURE, SEE ELEC.
- ⑭ BUILDING SIGNAGE
- ⑮ CONCRETE PATIO W/ STEPS
- ⑯ PLANTER BOX
- ⑰ ALUM. FLASHING & GUTTER (BLACK), SEE A4.2
- ⑱ ALUM. DOWNSPOUT & SCUPPER (BLACK), SEE PLANS
- ⑲ WOOD PRIVACY SCREEN, 1X6 CEDAR STAINED

CEDAR BLUFF LOT 1 APARTMENTS
ELLETTSVILLE, IN



02 NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



01 SOUTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

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A3.0
ELEVATIONS

ELEVATION NOTES

- ① ALUMINUM PARAPET CAP (BLACK)
- ② BRICK VENEER (MERIDIAN "DOMINO" UTILITY)
- ③ BRICK SOLDIER COURSE (MERIDIAN "DOMINO" UTILITY)
- ④ BRICK ACCENT BAND (RECESSED 1" TYPICAL - MERIDIAN "STEEL" UTILITY)
- ⑤ BRICK CONTROL JOINT (3/8" ROD & SEALANT)
- ⑥ BRICK SILL (MERIDIAN "STEEL" UTILITY)
- ⑦ ALUMINUM RAILING (BLACK), SEE A5.0
- ⑧ COMPOSITE DECKING AT BALCONY
- ⑨ METAL PANEL (COLOR: PARCHMENT)
- ⑩ METAL PANEL (VESTA GILDED GRAIN - HORIZONTAL EXPOSURE)
- ⑪ WINDOWS (ANDERSEN 100 SERIES, BLACK), SEE PLANS
- ⑫ DOORS, SEE PLANS
- ⑬ LIGHT FIXTURE, SEE ELEC.
- ⑭ BUILDING SIGNAGE
- ⑮ CONCRETE PATIO W/ STEPS
- ⑯ PLANTER BOX
- ⑰ ALUM. FLASHING & GUTTER (BLACK), SEE A4.2
- ⑱ ALUM. DOWNSPOUT & SCUPPER (BLACK), SEE PLANS
- ⑲ WOOD PRIVACY SCREEN, 1X6 CEDAR STAINED

CEDAR BLUFF LOT 1 APARTMENTS
ELLETTSVILLE, IN



02 WEST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



02 EAST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

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A3.1
ELEVATIONS