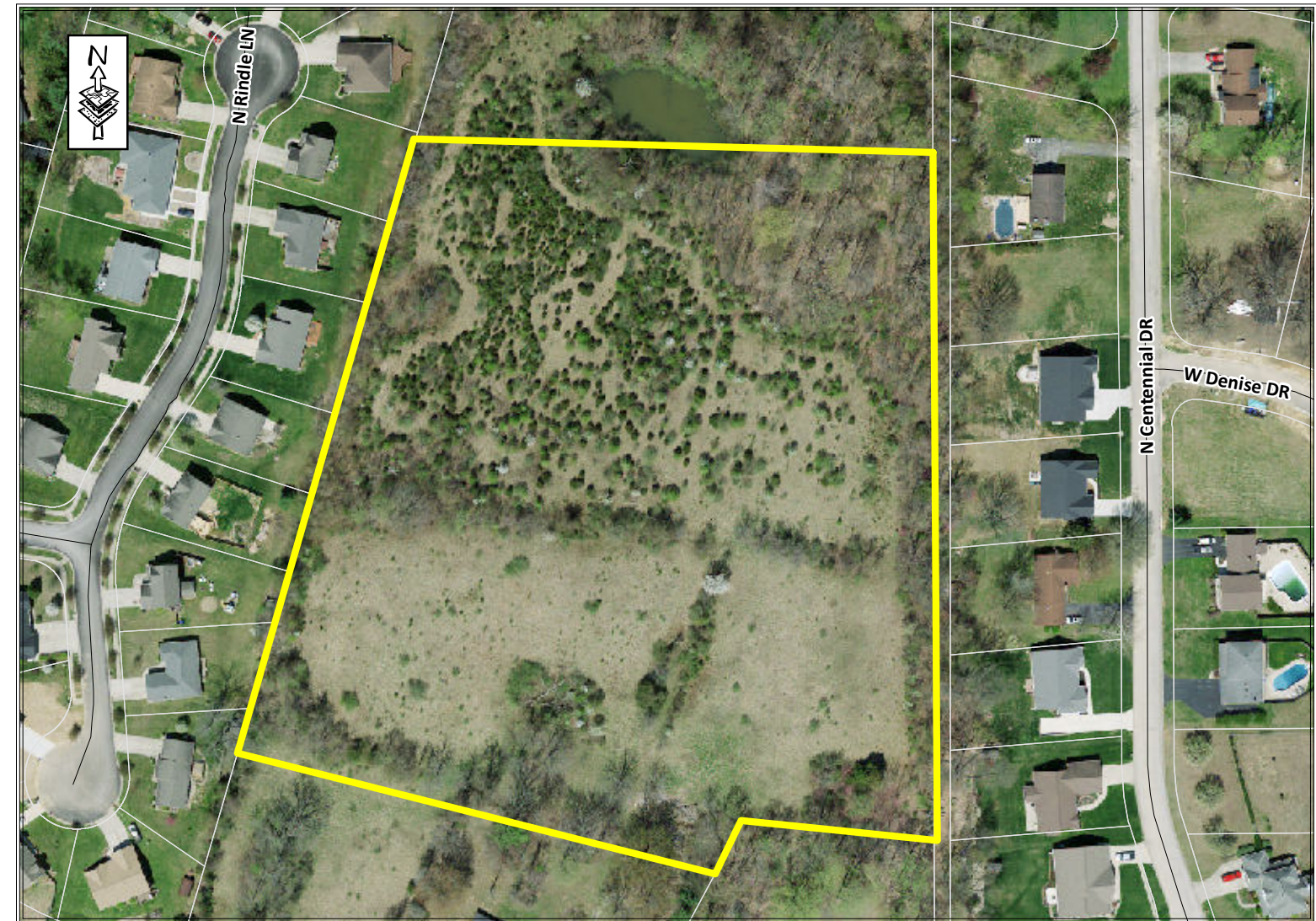


Case Number: PC 21-20  
 Meeting Date: November 4, 2021  
 Project Address: 3888 W State Road 46  
 Project Type: Development Plan Approval  
 Description: Flats on 46  
 Proposed 168 Units



# THE FLATS ON 46

3888 W. STATE ROAD 46  
ELLETTSVILLE, IN 47404

## LEGAL DESCRIPTION

### (Proposed Lot 15 Ellis-Ridge Subdivision)

A part of Southwest Quarter of Section 13, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows:

Commencing at the Northeast corner of said Southwest quarter, thence North 89 degrees 35 minutes 39 seconds West (Indiana state plane, west zone) along the North line thereof 332.12 feet; thence leaving said North line South 16 degrees 19 minutes 31 seconds West 548.86 feet to the Point of Beginning; thence South 16 degrees 19 minutes 31 seconds West 506.27 feet; thence South 61 degrees 16 minutes 20 seconds East 226.13 feet to the west right-of-way line of a proposed road; thence North 28 degrees 43 minutes 40 seconds East 453.40 feet; thence Northwesterly 40.40 feet along a curve to the left having a radius of 25.0 feet and being subtended by a chord bearing North 17 degrees 33 minutes 56 seconds West 36.14 feet; thence North 63 degrees 51 minutes 33 seconds West 221.24 feet; thence Northwesterly 12.98 feet along a curve to the left having a radius of 25.0 feet and being subtended by a chord bearing North 78 degrees 43 minutes 55 seconds West 12.83 feet; thence Northwesterly 94.31 feet along a curve to the right having a radius of 50.0 feet and being subtended by a chord bearing North 39 degrees 34 minutes 10 seconds West 80.94 feet; thence leaving said proposed right-of way North 63 degrees 51 minutes 33 seconds West 0.28 feet to the Point of Beginning, containing 3.002 acres, more or less.

### (Proposed Lot 16 Ellis-Ridge Subdivision)

A part of Southeast Quarter of Section 13, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows:

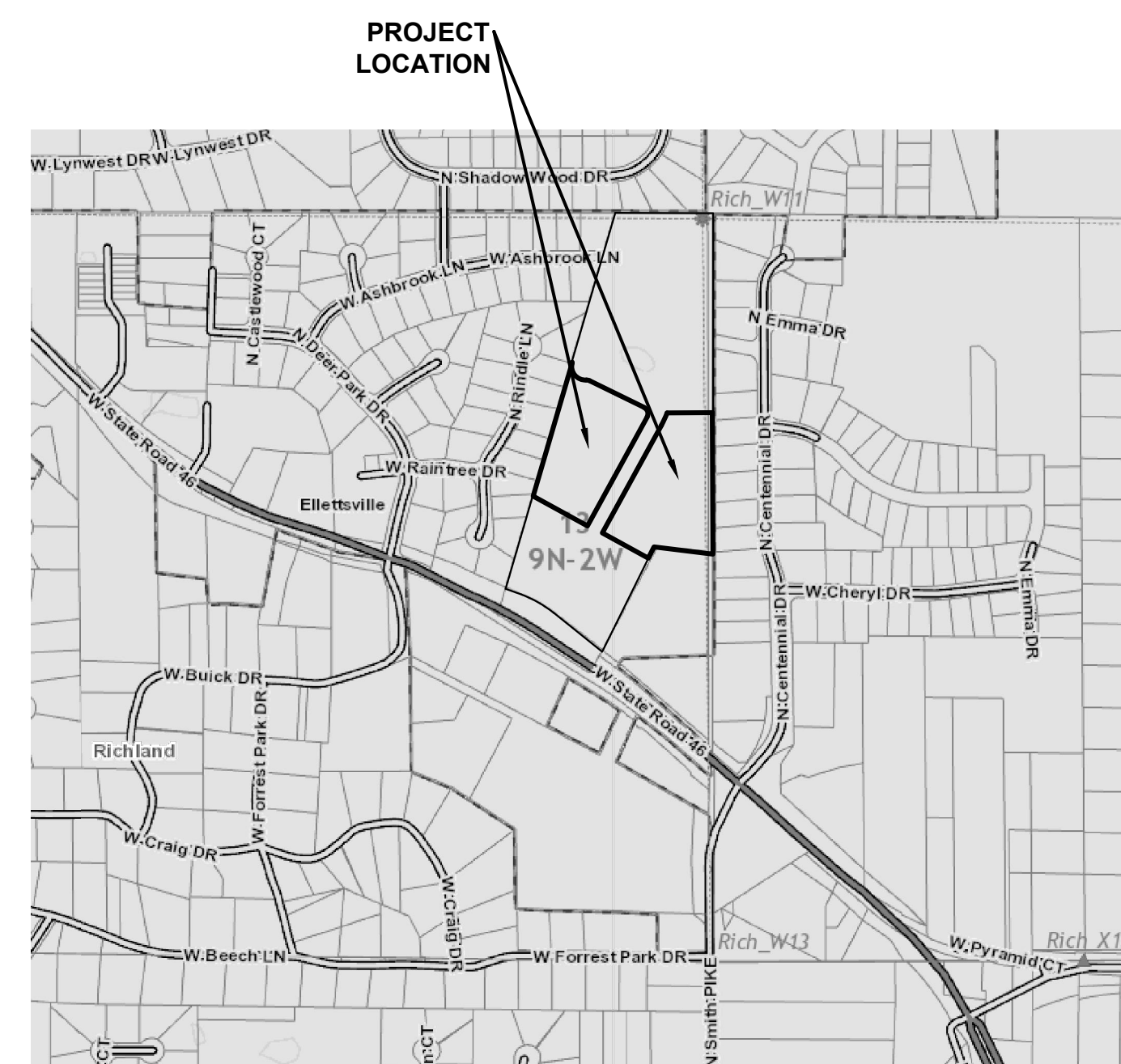
Commencing at the Northwest corner of said Southeast quarter, thence South 89 degrees 35 minutes 39 seconds East (Indiana state plane, west zone) along the North line thereof 21.05 feet; thence leaving said North line South 00 degrees 17 minutes 06 seconds East 705.70 feet to the Point of Beginning; thence South 00 degrees 17 minutes 06 seconds East 516.38 feet; thence North 82 degrees 58 minutes 41 seconds West 216.35 feet; thence South 27 degrees 02 minutes 40 seconds West 45.85 feet; thence North 61 degrees 16 minutes 20 seconds West 191.20 feet to the east right-of-way line of a proposed road; thence North 28 degrees 43 minutes 40 seconds West 448.26 feet; thence Northwesterly 49.31 feet along a curve to the left having a radius of 360.0 feet and being subtended by a chord bearing North 24 degrees 48 minutes 15 seconds East 49.27 feet; thence leaving said east right-of-way line North 89 degrees 38 minutes 11 seconds East 164.55 feet to the Point of Beginning, containing 3.363 acres, more or less.

SHEET NO.	REVISIONS	BY	DATE

CERTIFICATION DATE  
05/07/2021



NOTE : WATER AND STORM SEWER SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE ELLETTSVILLE CONSTRUCTION SPECIFICATIONS. SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE TO THE ERSC CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS.



LOCATION MAP  
NTS

RICHLAND TOWNSHIP  
SECTION 13  
TOWNSHIP 9 NORTH  
RANGE 2 WEST

OWNER(S)  
BLACKWELL CONTACTORS LLC  
PO BOX 3400  
BLOOMINGTON, IN 47402  
& JOE KEMP COSTRUCTION, LLC  
5458 N 1200 E  
LOGOOTE, IN 4755  
INST 20200011926

DESIGNER(S) & SURVEYOR(S)  
SMITH DESIGN GROUP, INC.  
2755 E. CANADA DRIVE SUITE 101  
Bloomington, IN. 47401  
(812) 336-6536

DEVELOPER(S)  
THE RIDGE GROUP, INC  
3225 S HOYT AVE  
MUNCIE, IN 47302  
(765)282-3778

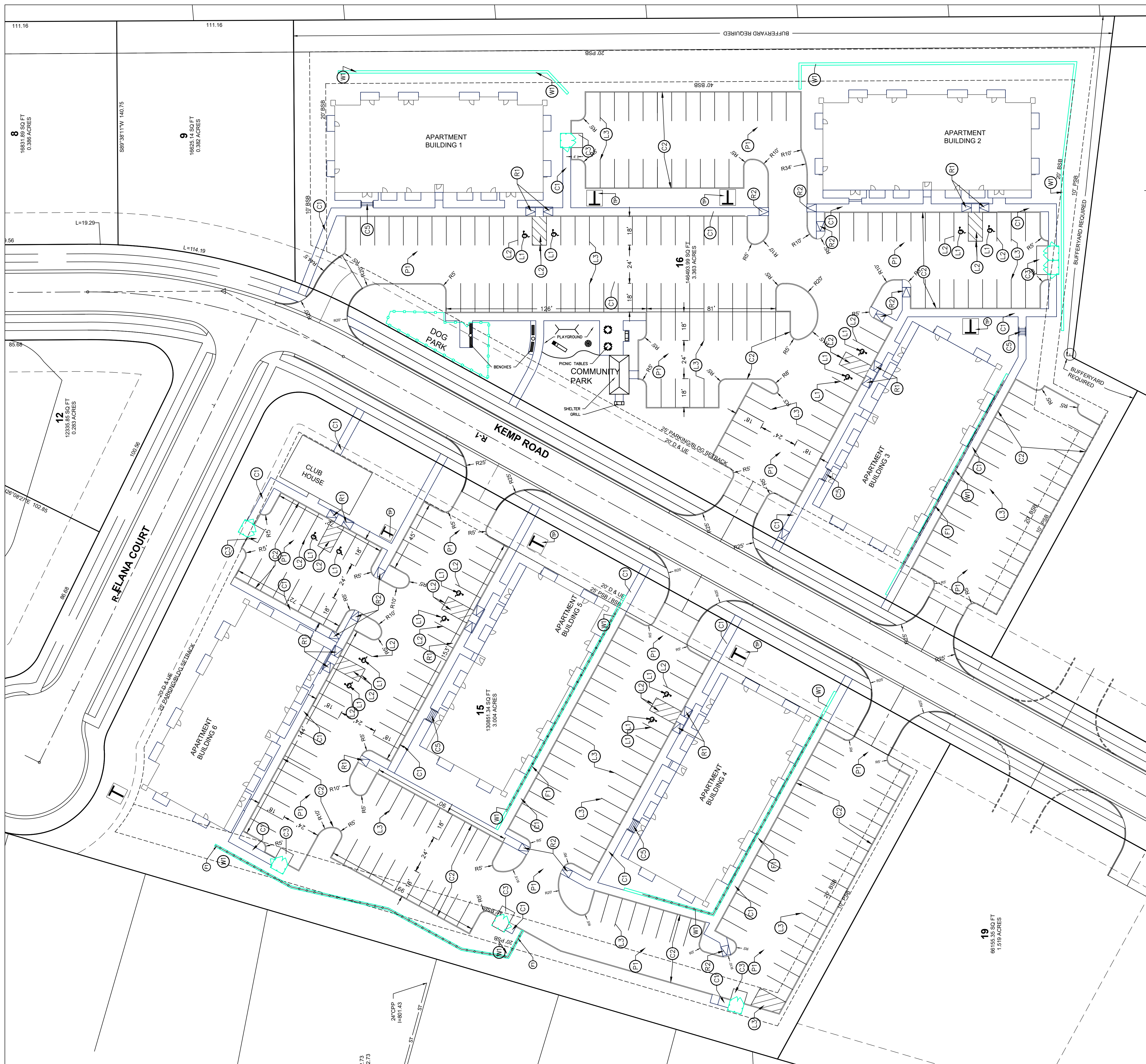
Sheet List Table	
Sheet Number	Sheet Title
1	TITLE SHEET
2	OVERALL SITE
3	SITE (WEST)
4	SITE (EAST)
5	GRADING OPVERALL
6	GRADING (WEST)
7	GRADING (EAST)
8	OVERALL UTILITY
9	UTILITY (WEST)
10	UTILITY (EAST)
11	WATER & STORM PROFILES
12	SWPPP INDEX
13	SWPP PLAN
14	SWPPP Specs
15	CIVIL DETAILS
16	CIVIL DETAILS (2)
17	OVERALL LANDSCAPE
18	EAST LANDSCAPE PLAN
19	WEST LANDSCAPE PLAN
20	LANDSCAPE NOTES AND DETAILS

PREPARED BY:



CIVIL ENGINEERING - LAND SURVEYING  
2755 E Canada Dr Suite 101 Bloomington, IN 47401  
(812) 336-6536 - smithdgin.com

JOB NUMBER: 6213

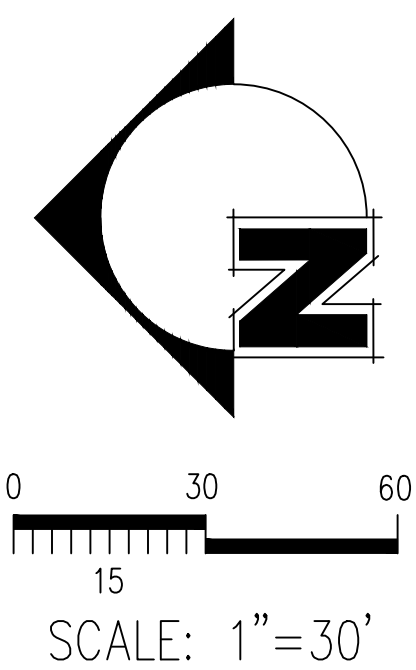


**GENERAL NOTES**

- BOUNDARY DATA OBTAINED FROM SURVEY DATED 09/15/20.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.

NOT FOR CONSTRUCTION

XX/XX/20XX



**DEVELOPMENT DATA**

SITE AREA = 6.36 ACRES  
 DENSITY PERMITTED = 20 UNITS PER ACRE  
 DENSITY PROPOSED = (48) STUDIO X 0.33 DUE = 15.84 UNITS  
 = (72) 1-BEDROOM UNITS X 0.5 DUE = 36 UNITS  
 = (48) 2-BEDROOM UNITS X 0.66 DUE = 31.68 UNITS  
 TOTAL UNITS = 83.52 UNITS OR 13.13 UNITS/ACRE

PARKING  
 = 1 SPACE/STUDIO X 48 STUDIOS = 48 SPACES  
 = 1.5 SPACES/1-BEDROOM X (72) 1-BEDROOM = 108 SPACES  
 = 2 SPACES/2-BEDROOM X (48) 2-BEDROOM = 96 SPACES  
 = 2 SPACE/1,000 CFA (CLUBHOUSE) = 1,500 SF/1000 = 3 SPACES  
 TOTAL PARKING REQUIRED = 255  
 TOTAL PARKING PROVIDED = 315 SPACES

**SITE MATERIALS**

- (C1) CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)
- 4" 3500 PSI CONCRETE
- 4" COMPACTED AGGREGATE BASE #53
- (C2) 6" STANDING CONCRETE CURB (SEE DETAIL ON DETAILS SHEET)
- (C3) CONCRETE PAVEMENT
- 6" THICK CONCRETE, 4000 PSI
- 8" INDOT #53 COMPACTED AGGREGATE BASE
- (C4) CONCRETE CURB AND GUTTER.
- (C5) CONCRETE STAIRS WITH HANDRAIL
- (C6) CURB TRANSITION. 24" TAPER TO FLUSH CURB
- (R1) PARALLEL CURB RAMP (SEE DETAIL ON DETAILS SHEET)
- (R2) PERPENDICULAR CURB RAMP
- (P1) ASPHALT PAVEMENT
- 1.5" HMA SURFACE COURSE ON
- 2.5" HMA BASE COURSE ON
- 6" INDOT #53 COMPACTED AGGREGATE BASE
- (L1) SYMBOL, PAINT, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY (SEE DETAIL ON DETAILS SHEET)
- (L2) LINE, PAINT, SOLID, 6", BLUE, CROSSHATCH (SEE DETAIL ON DETAILS SHEET)
- (L3) LINE, PAINT, SOLID, 4", WHITE
- (S1) R1-1 STOP SIGN
- (S2) BARRIER FREE VAN ACCESSIBLE SIGN
- (F1) 4' ELITE "EFF-20" GUARDRAILS OR EQUIVALENT INSTALLED PER MANUFACTURER GUIDELINES AND SPECIFICATIONS
- (TP) TRANSFORMER PAD
- (W1) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

**SITE LEGEND**

- ADA PARKING SPACE
- BUILDING SETBACK LINE
- EASEMENT
- CURB RAMP (R)
- DUMPSTER ENCLOSURE

**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

REVISIONS	BY	DATE

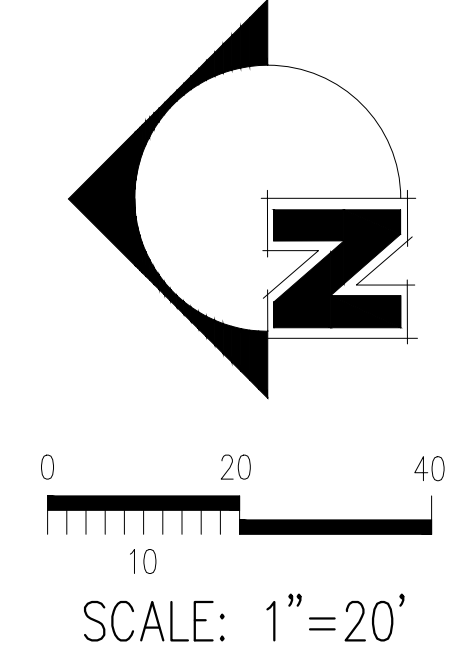
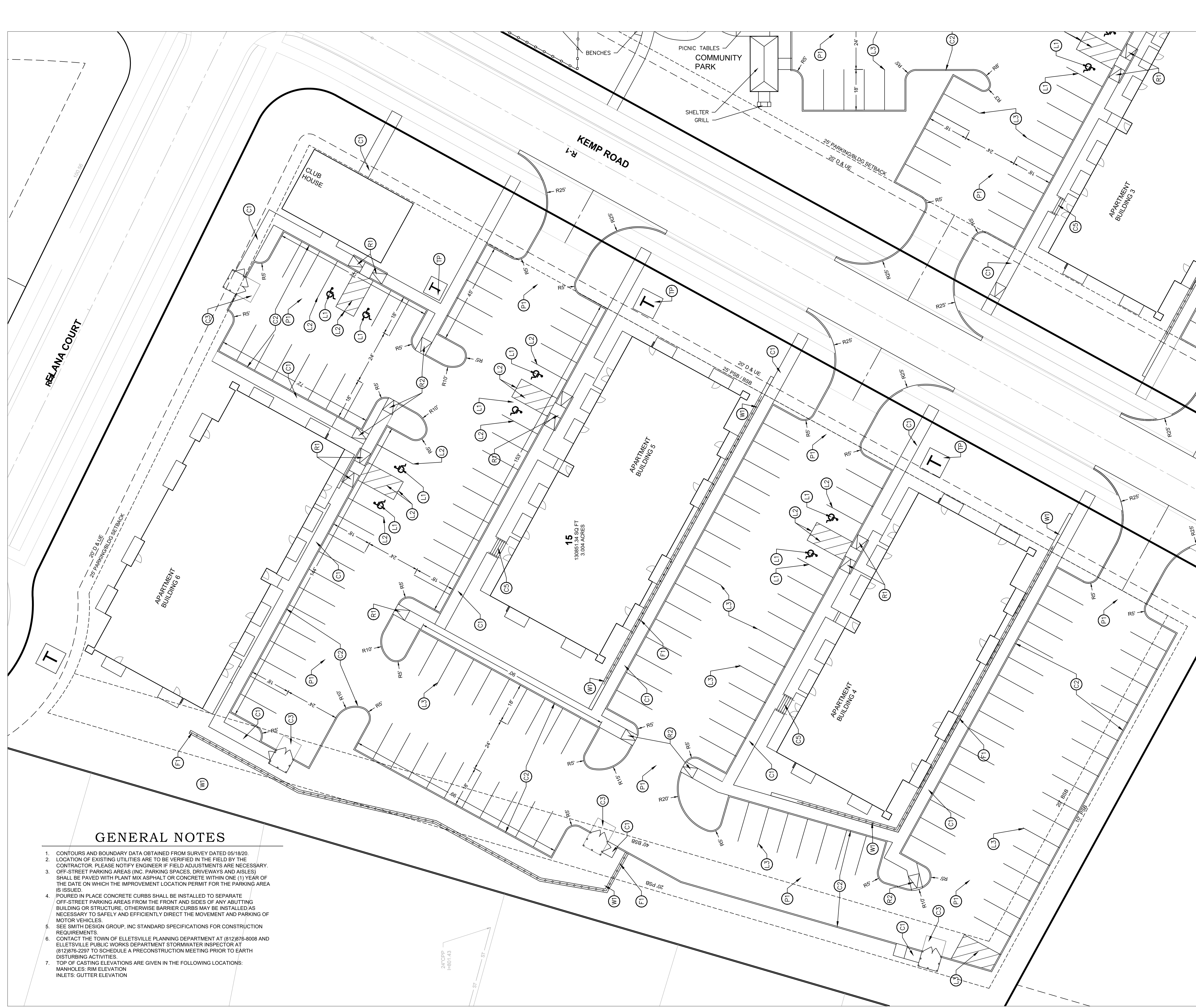
DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		

JOB NUMBER  
**6213**

SHEET  
**2 OF 20**

DATE  
**10/01/2021**

OVERALL SITE



**SMITH DESIGN GROUP**  
 CIVIL ENGINEERING • LAND SURVEYING  
 2755 E. COLLETT AVENUE • ELLETTSVILLE, IN 47401  
 (812) 338-6538 • smithdsg.com

NOT FOR CONSTRUCTION

XX/XX/20XX

**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

REVISIONS	BY	DATE

DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		

JOB NUMBER  
**6213**

SHEET  
**3 OF 20**

DATE  
10/01/2021

SITE (WEST)

**SITE MATERIALS**

- (C1) CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)  
4" 3500 PSI CONCRETE  
4" COMPACTED AGGREGATE BASE #53
- (C2) 6" STANDING CONCRETE CURB (SEE DETAIL ON DETAILS SHEET)
- (C3) CONCRETE PAVEMENT  
6" THICK CONCRETE, 4000 PSI  
8" INDOT #53 COMPACTED AGGREGATE BASE
- (C4) CONCRETE CURB AND GUTTER.
- (C5) CONCRETE STAIRS WITH HANDRAIL
- (C6) CURB TRANSITION. 24" TAPER TO FLUSH CURB
- (R1) PARALLEL CURB RAMP (SEE DETAIL ON DETAILS SHEET)
- (R2) PERPENDICULAR CURB RAMP
- (P1) ASPHALT PAVEMENT  
1.5" HMA SURFACE COURSE ON  
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- (L3) LINE, PAINT, SOLID, 4", WHITE
- (S1) R1-1 STOP SIGN
- (S2) BARRIER FREE VAN ACCESSIBLE SIGN
- (F1) 4' ELITE "EFF-20" GUARDRAILS OR EQUIVALENT INSTALLED PER MANUFACTURER GUIDELINES AND SPECIFICATIONS
- (TP) TRANSFORMER PAD
- (W1) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

**SITE LEGEND**

- ADA PARKING SPACE
- BUILDING SETBACK LINE
- EASEMENT
- CURB RAMP (R)
- DUMPSTER ENCLOSURE

**SETBACKS**

- BUILDING FRONT: 25' FROM ROW
- REAR: 20' FROM PROPERTY LINE (RESIDENTIAL)  
40' FROM PROPERTY LINE (COMMERCIAL, MULTIFAMILY)
- SIDE: 20' FROM PROPERTY LINE (RESIDENTIAL)  
40' FROM PROPERTY LINE (COMMERCIAL, MULTIFAMILY)

**PARKING**

- = 1 SPACE/STUDIO x 48 STUDIOS = 48 SPACES
- = 1.5 SPACES/1-BEDROOM x (72) 1-BEDROOM = 108 SPACES
- = 2 SPACES/2-BEDROOM x (40) 2-BEDROOM = 80 SPACES
- = 2 SPACES/1,000 SF A (CLUBHOUSE) = 1,500 SF/1000 = 3 SPACES
- TOTAL PARKING REQUIRED = 255
- TOTAL PARKING PROVIDED = 315 SPACES

**GENERAL NOTES**

1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 05/18/20.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:  
MANHOLES: RIM ELEVATION  
INLETS: GUTTER ELEVATION

REVISIONS	BY	DATE

DESIGNED	KES	DATE
DRAWN	SPP	
CHECKED		

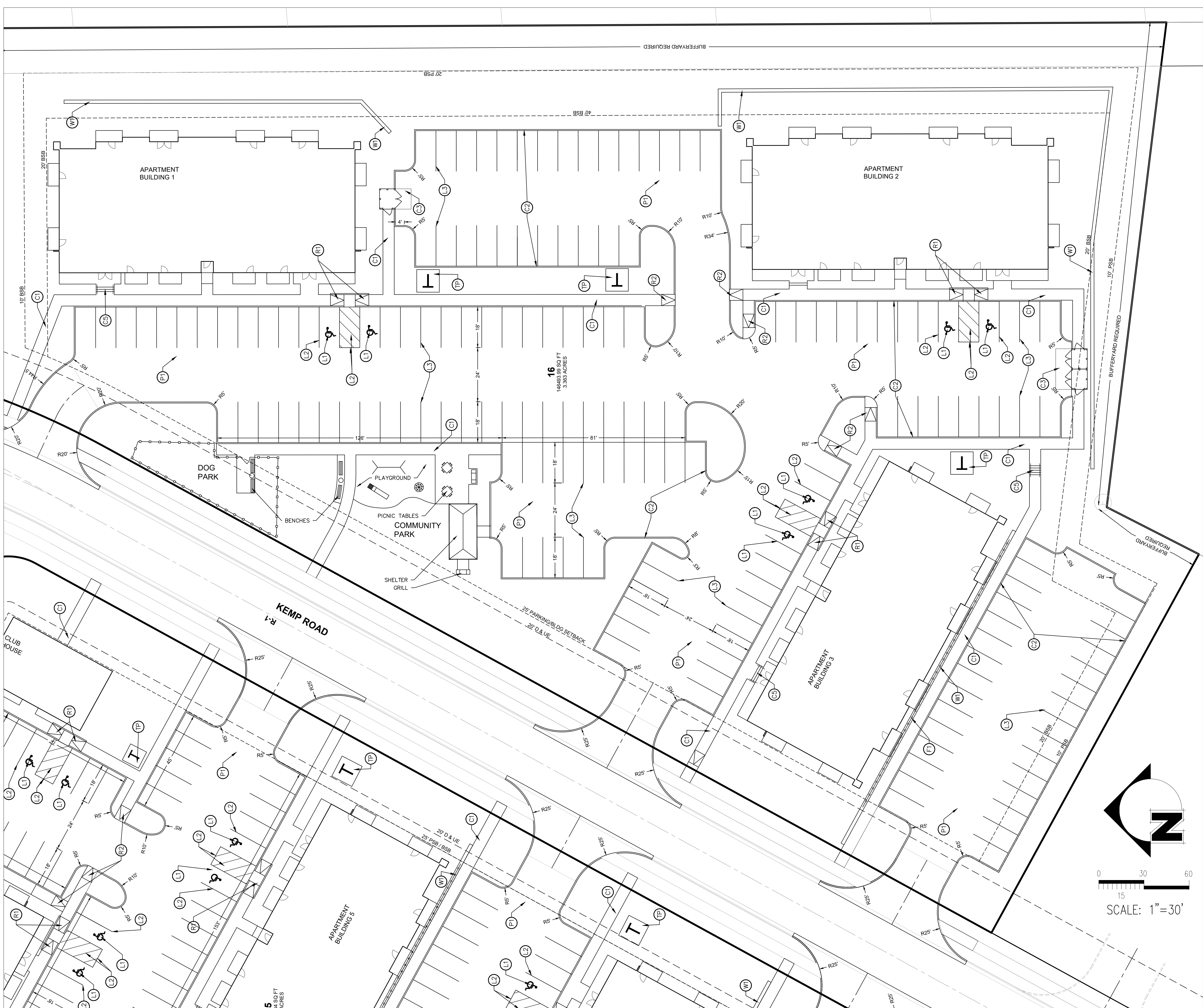
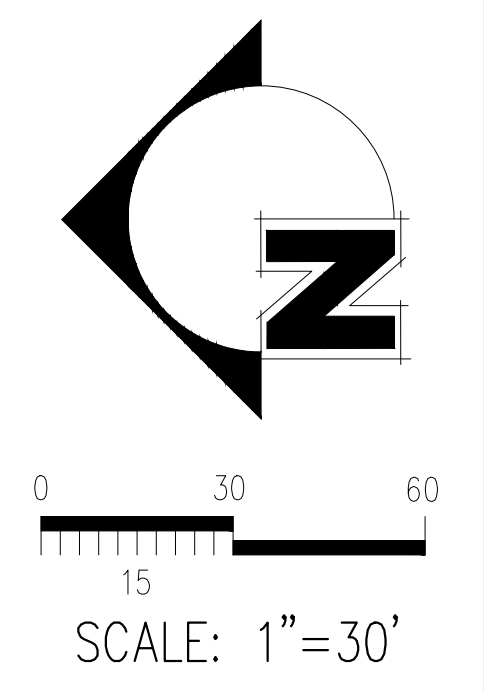
JOB NUMBER	6213
SHEET	4 OF 20
DATE	10/01/2021
SITE (EAST)	

**SITE MATERIALS**

- (C1) CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)  
 4" 3500 PSI CONCRETE  
 4" COMPACTED AGGREGATE BASE #53
- (C2) 6" STANDING CONCRETE CURB (SEE DETAIL ON DETAILS SHEET)
- (C3) CONCRETE PAVEMENT  
 6" THICK CONCRETE, 4000 PSI  
 8" INDOT #53 COMPACTED AGGREGATE BASE
- (C4) CONCRETE CURB AND GUTTER.
- (C5) CONCRETE STAIRS WITH HANDRAIL
- (C6) CURB TRANSITION. 24" TAPER TO FLUSH CURB
- (R1) PARALLEL CURB RAMP (SEE DETAIL ON DETAILS SHEET)
- (R2) PERPENDICULAR CURB RAMP
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- (S1) R1-1 STOP SIGN
- (S2) BARRIER FREE VAN ACCESSIBLE SIGN
- (F1) 4' ELITE "EFF-20" GUARDRAILS OR EQUIVALENT INSTALLED PER MANUFACTURER GUIDELINES AND SPECIFICATIONS
- (TP) TRANSFORMER PAD
- (WM) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

**SITE LEGEND**

- ADA PARKING SPACE
- BUILDING SETBACK LINE
- EASEMENT
- CURB RAMP (R)
- DUMPSTER ENCLOSURE





### GRADING LEGEND

EXISTING MINOR CONTOUR	---	XXX
EXISTING MAJOR CONTOUR	---	XXX
PROPOSED MAJOR CONTOUR	---	XXX
PROPOSED MINOR CONTOUR	---	XXX
EXISTING ELEVATION	---	EX XXX.XX
PROPOSED ELEVATION	---	XXX.XX
EDGE OF PAVEMENT ELEVATION	---	EP = XXX.XX
TOP OF CURB ELEVATION	---	TC = XXX.XX
HIGH POINT	---	XXX.XX HP
LOW POINT	---	XXX.XX LP
FINISH FLOOR ELEVATION	---	FF = XXX.XX
TOP OF RETAINING WALL	---	TW=XXX.XX
BOTTOM OF RETAINING WALL	---	BW=XXX.XX
TOP OF RAMP	---	TR=XXX.XX
BOTTOM OF RAMP	---	BR=XXX.XX

### GENERAL NOTES

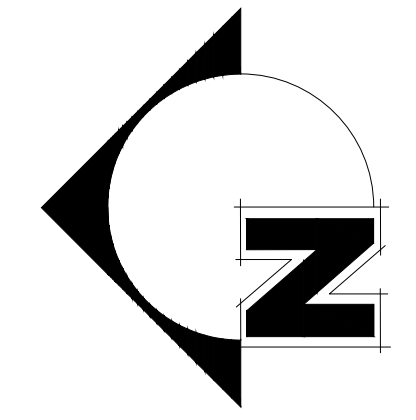
1. CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 05/18/20.
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3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ADJUTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
5. SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
6. CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
7. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: MANHOLES: RIM ELEVATION INLETS: GUTTER ELEVATION



NOT FOR CONSTRUCTION

XX/XX/20XX

**FLATS ON 46**  
3888 W. STATE ROAD 46  
ELLETTSVILLE, IN 47404



0 15 30 60  
SCALE: 1"=30'

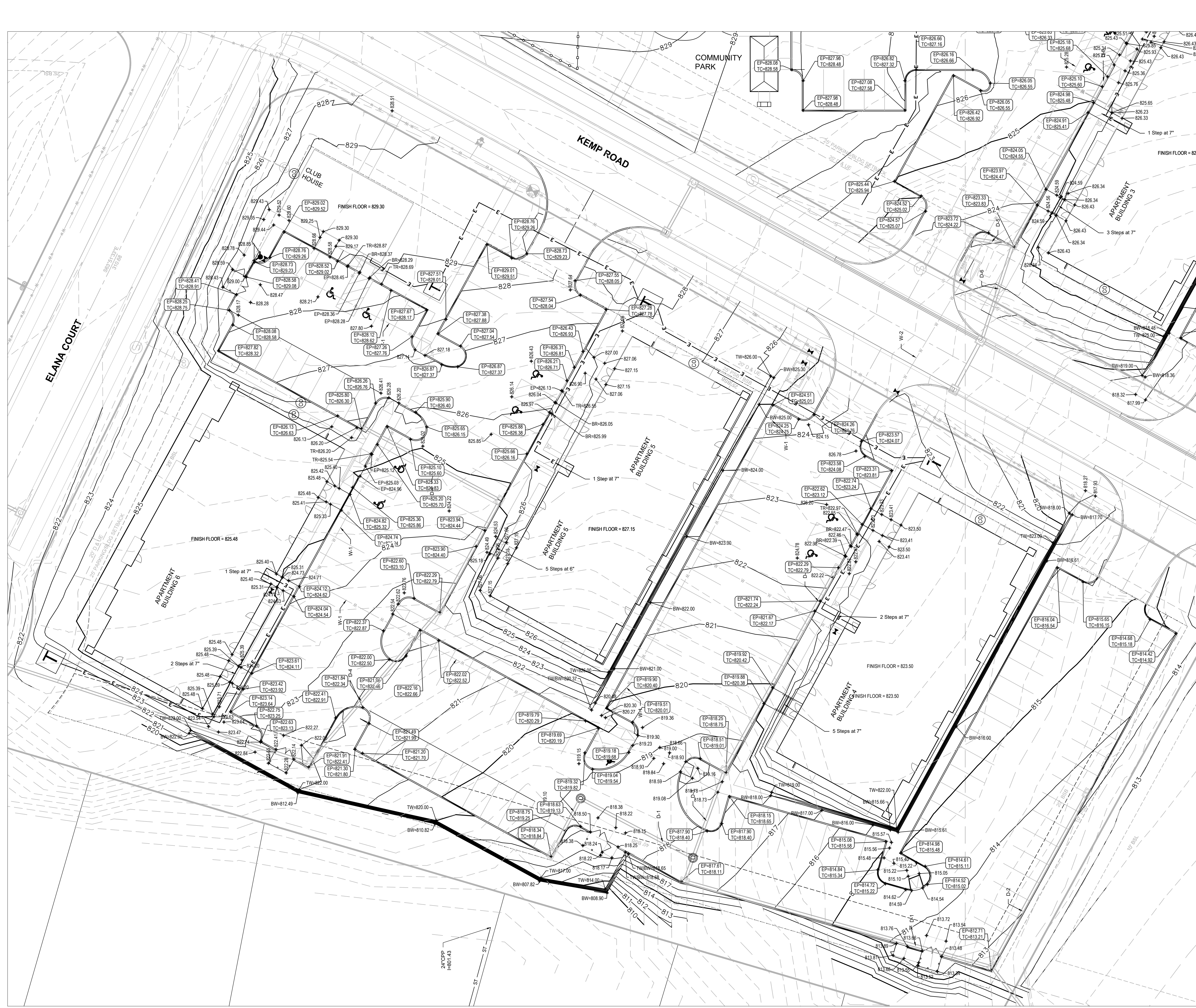
### LEGEND

⊙	SANITARY SEWER MANHOLE
—S—	SANITARY SEWER LINE
—L—	SANITARY LATERAL
⊕	SANITARY CLEANOUT
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER AIR RELEASE VALVE
⊕	WATER METER
—W—	WATER LINE
⊕	STORM INLET
⊕	STORM MANHOLE
⊕	STORM YARD INLET

REVISIONS	BY	DATE

DESIGNED	KES	DRAWN	SPP	CHECKED	DATE
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JOB NUMBER	6213
SHEET	5 OF 20
DATE	10/01/2021
GRADING	OPVERALL



**GRADING LEGEND**

EXISTING MINOR CONTOUR	----	XXXX
EXISTING MAJOR CONTOUR	----	XXXX
PROPOSED MINOR CONTOUR	----	XXXX
PROPOSED MAJOR CONTOUR	----	XXXX
EXISTING ELEVATION	---	EX XXX.XX
PROPOSED ELEVATION	---	XXXX.XX
EDGE OF PAVEMENT ELEVATION	EP=	XXXX.XX
TOP OF CURB ELEVATION	TC=	XXXX.XX
HIGH POINT	HP	XXXX.XX
LOW POINT	LP	XXXX.XX
FINISH FLOOR ELEVATION	FF=	XXXX.XX
TOP OF RETAINING WALL	TW=	XXXX.XX
BOTTOM OF RETAINING WALL	BW=	XXXX.XX
TOP OF RAMP	TR=	XXXX.XX
BOTTOM OF RAMP	BR=	XXXX.XX

**GENERAL NOTES**

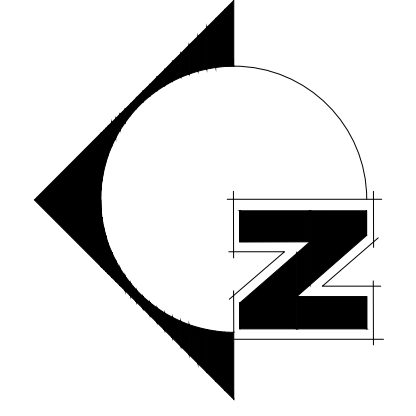
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**SMITH DESIGN GROUP**  
 CIVIL ENGINEERING · LAND SURVEYING  
 2155 E. STATE ROAD 46 · ELLETTSVILLE, IN 47404  
 PH: 812.338.4538 · MAILING@SDG.COM

NOT FOR CONSTRUCTION

XX/XX/20XX

**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404



0 20 40  
 10  
 SCALE: 1"=20'

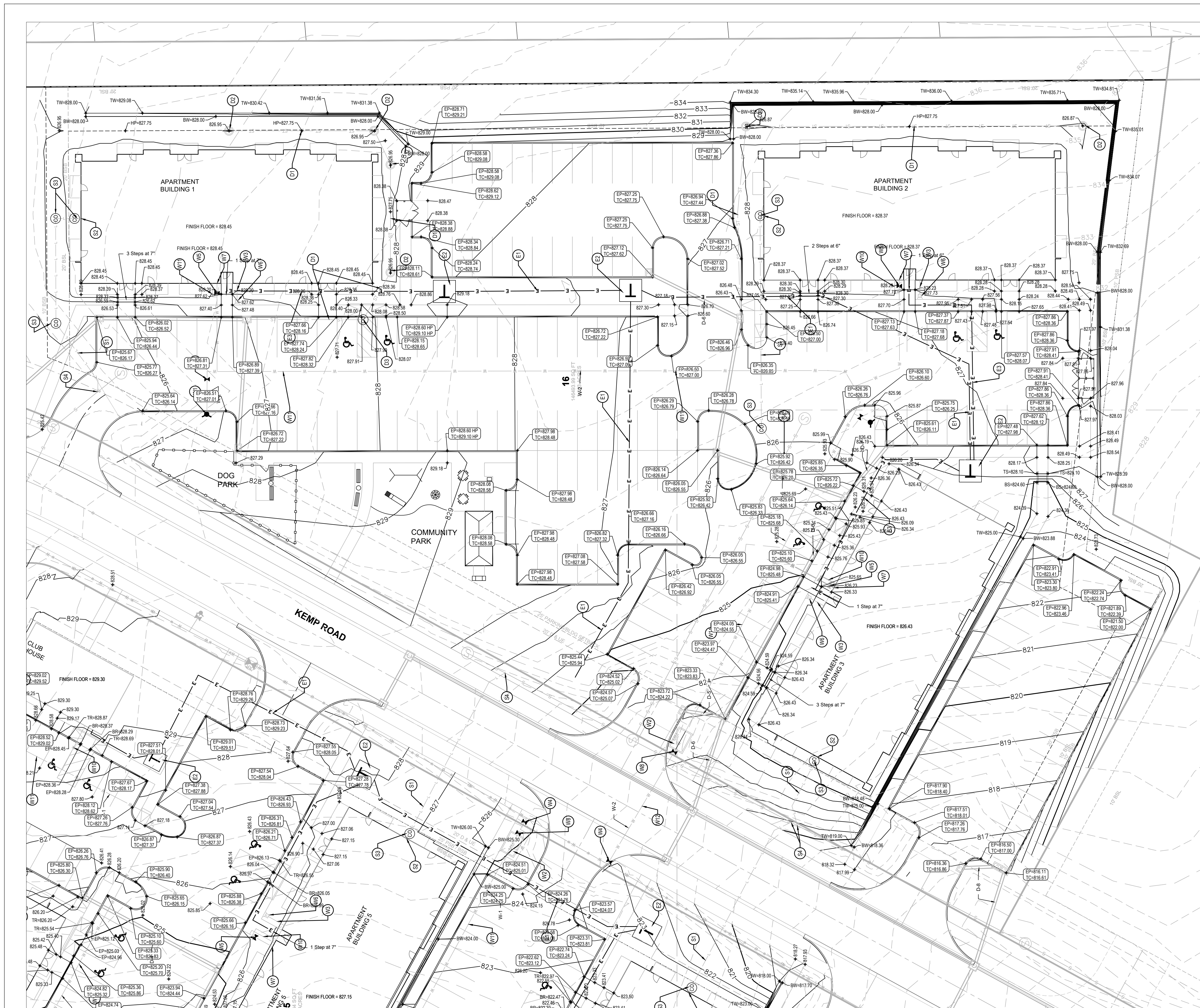
**LEGEND**

⊙	SANITARY SEWER MANHOLE
—S—	SANITARY SEWER LINE
—L—	SANITARY LATERAL
⊕	SANITARY CLEANOUT
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER AIR RELEASE VALVE
⊕	WATER METER
—W—	WATER LINE
⊕	STORM INLET
⊕	STORM MANHOLE
⊕	STORM YARD INLET

REVISIONS	DATE

DESIGNED	KES	DRAWN	SPP	CHECKED	DATE
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JOB NUMBER  
**6213**  
 SHEET  
**6 OF 20**  
 DATE  
 10/01/2021  
 GRADING (WEST)



### GRADING LEGEND

EXISTING MINOR CONTOUR	---XXX
EXISTING MAJOR CONTOUR	---XXX
PROPOSED MINOR CONTOUR	---XXX
PROPOSED MAJOR CONTOUR	---XXX
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP = XXX.XX
TOP OF CURB ELEVATION	TC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF = XXX.XX
TOP OF RETAINING WALL	TW=XXX.XX
BOTTOM OF RETAINING WALL	BW=XXX.XX
TOP OF RAMP	TR=XXX.XX
BOTTOM OF RAMP	BR=XXX.XX

### GENERAL NOTES

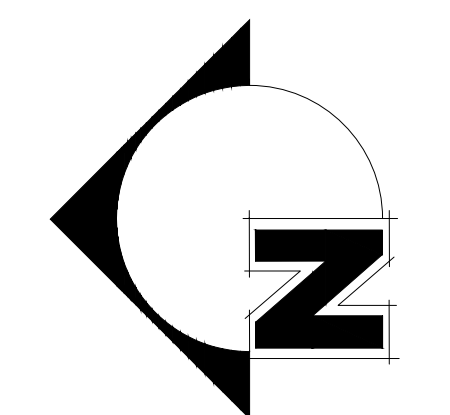
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- CONTACT THE TOWN OF ELLETTSVILLE PLANNING DEPARTMENT AT (812)876-8008 AND ELLETTSVILLE PUBLIC WORKS DEPARTMENT STORMWATER INSPECTOR AT (812)876-2297 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO EARTH DISTURBING ACTIVITIES.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:  
MANHOLES: RIM ELEVATION  
INLETS: GUTTER ELEVATION

**SMITH DESIGN GROUP**  
 CIVIL ENGINEERING - LAND SURVEYING  
 2155 E. COLLETT AVENUE - ELLETTSVILLE, IN 47404  
 (812) 838-8838 - [smithgroup.com](http://smithgroup.com)

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XX/XX/20XX

**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404



0 20 40  
 10  
 SCALE: 1"=20'

### LEGEND

(S)	SANITARY SEWER MANHOLE
—S—	SANITARY SEWER LINE
—L—	SANITARY LATERAL
(V)	SANITARY CLEANOUT
(H)	WATER VALVE
(F)	FIRE HYDRANT
(WAV)	WATER AIR RELEASE VALVE
(W)	WATER METER
—W—	WATER LINE
(I)	STORM INLET
(M)	STORM MANHOLE
(Y)	STORM YARD INLET

BY	DATE

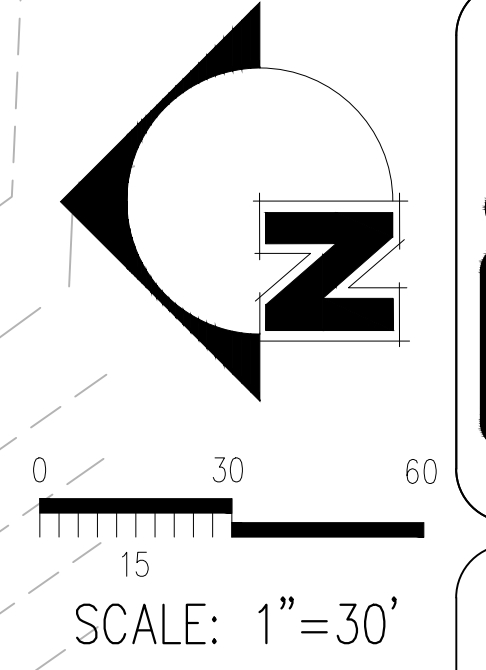
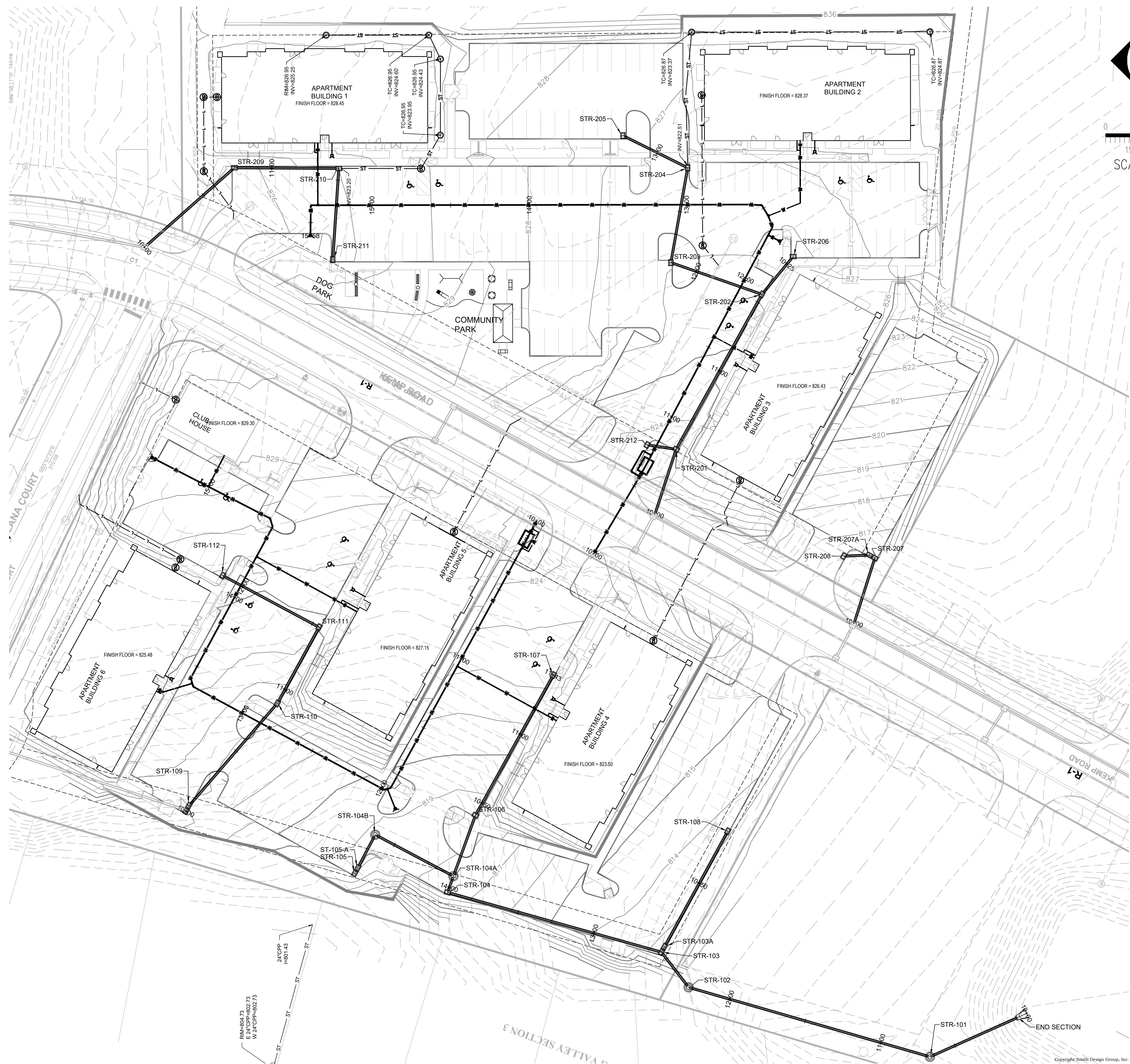
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**6213**  
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**7 OF 20**

DATE  
 10/01/2021

GRADING (EAST)





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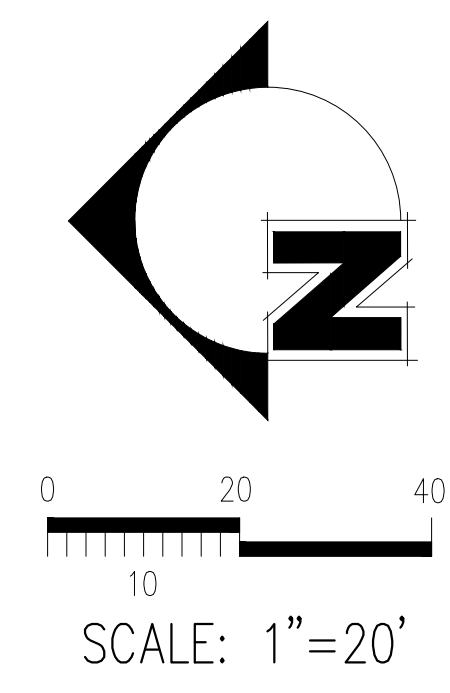
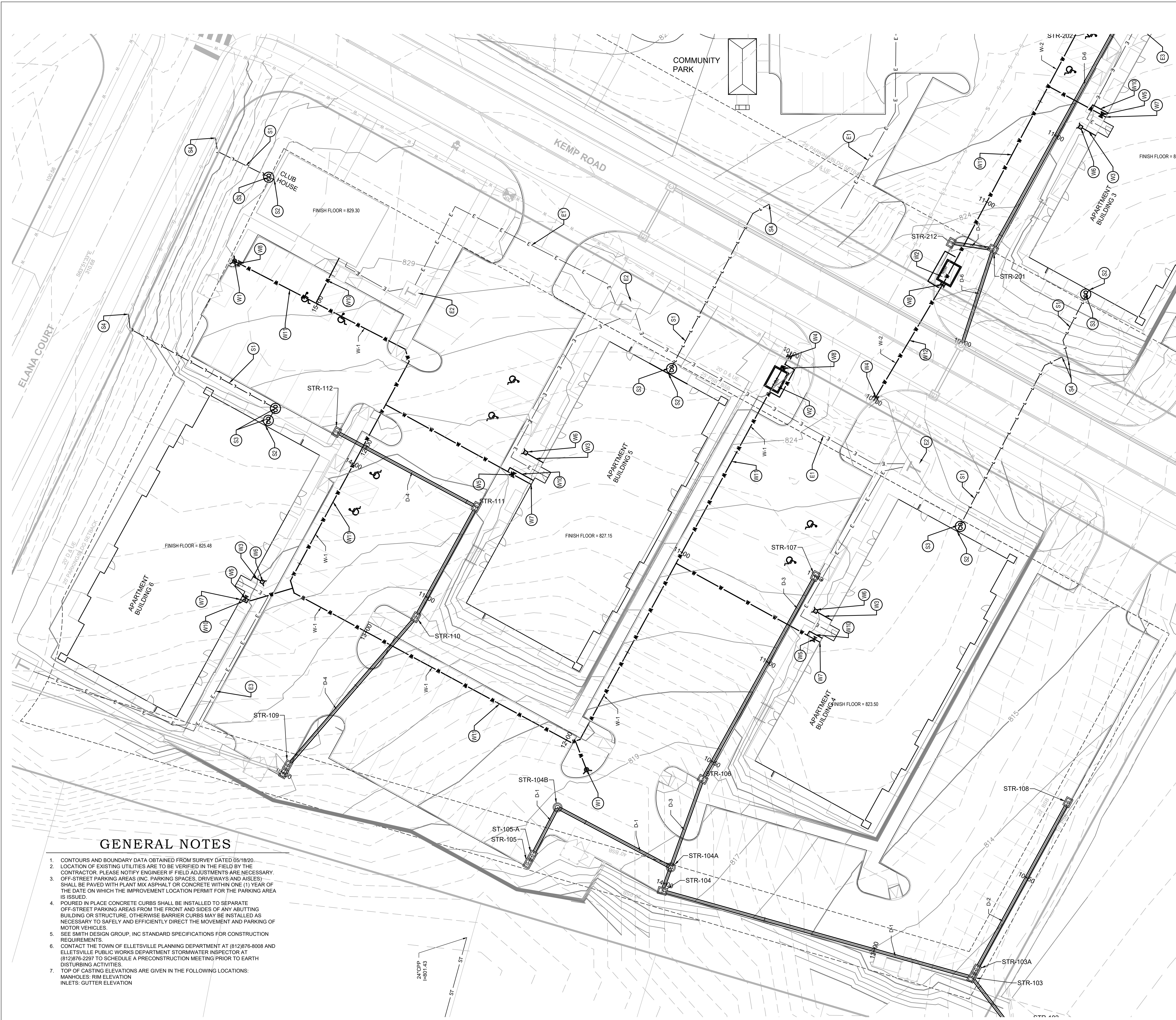
OVERALL UTILITY

**UTILITY LEGEND**

- FIRE HYDRANT SINGLE
- WATER METER PIT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- WATER AIR RELEASE VALVE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- STORM YARD INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT
- WATER LINE
- SEWER LINE
- SEWER LATERAL
- UNDERGROUND ELECTRIC

**GENERAL NOTES**

- CONTOURS AND BOUNDARY DATA OBTAINED FROM SURVEY DATED 05/18/20.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
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**SMITH DESIGN GROUP**  
 CIVIL ENGINEERING, LAND SURVEYING  
 2755 E. 82ND ST. SUITE 100  
 INDIANAPOLIS, IN 46216  
 (317) 338-8838 • smithdsg.com

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**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

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SHEET  
**9 OF 20**

DATE  
**10/01/2021**

UTILITY (WEST)

**UTILITY KEY NOTES**

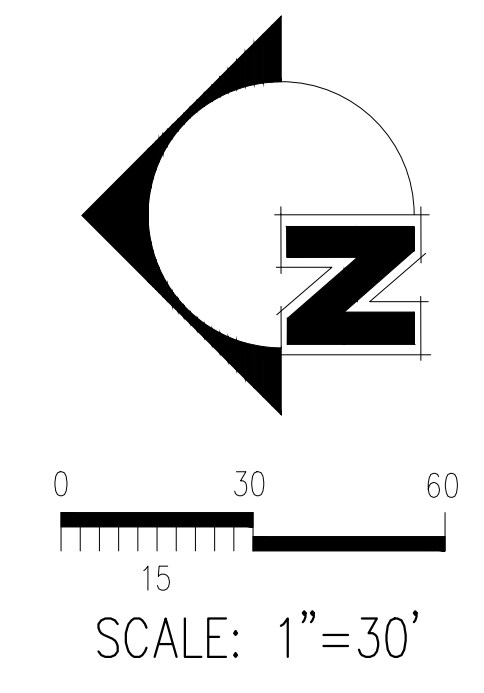
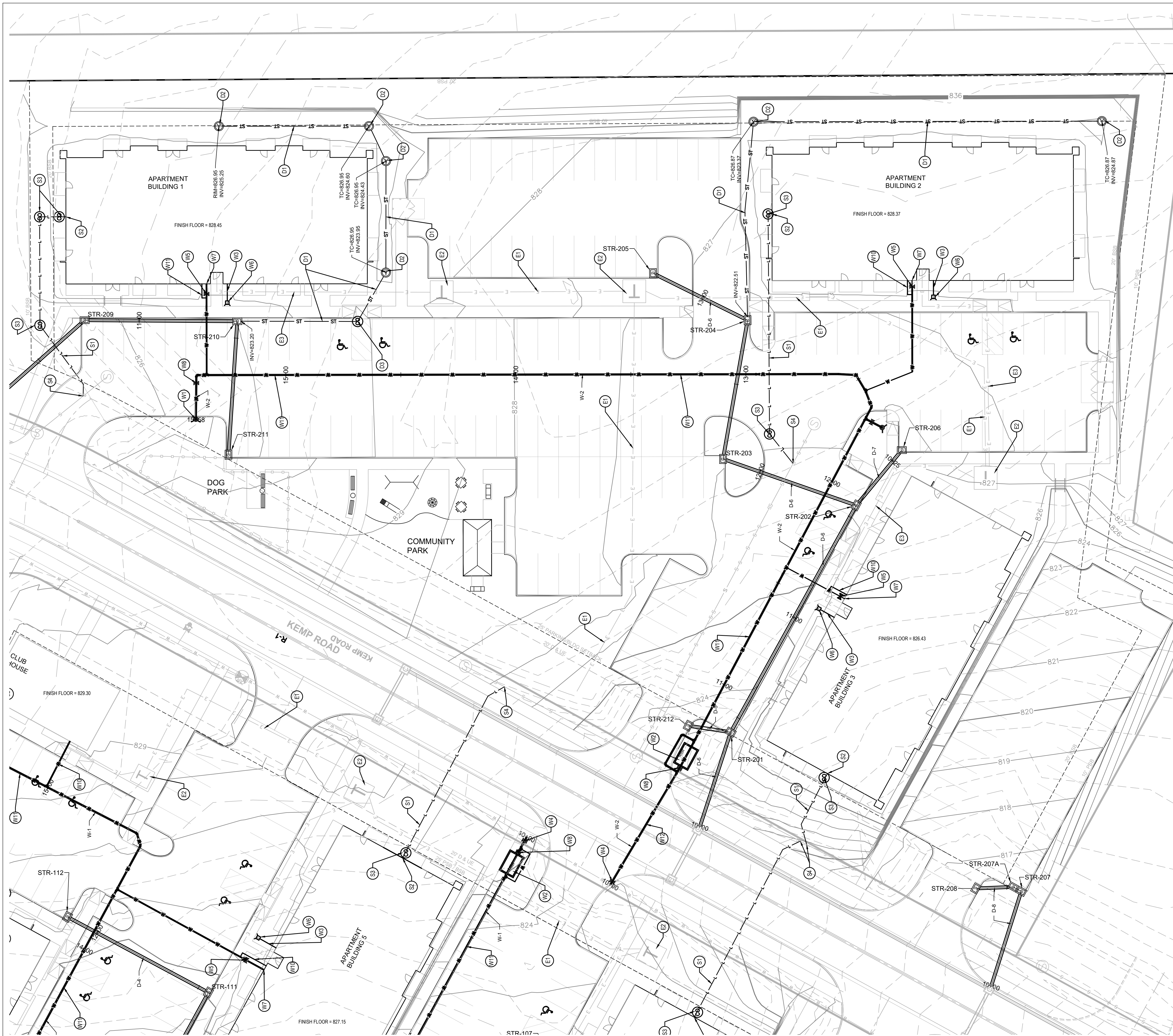
- WATER LINE NOTES (W)**
- FIRE HYDRANT PER DETAIL (SEE DETAIL ON DETAILS SHEET), SET WHERE SHOWN WITH PUMPER NOZZLE FACING THE STREET.
  - WATER METER VAULT, 10FT X 6FT INTERNAL VAULT DIMENSIONS SHOWN BUT MAY BE ADJUSTED TO BE LARGER OR SMALLER IF NEEDED. CONTRACTOR TO CONFIRM EQUIPMENT FITS WITHIN VAULT TO THE TOWN OF ELLETTSVILLE'S SATISFACTION PRIOR TO ORDERING. VAULT MUST BE OUTSIDE OF THE EXISTING PUBLIC RIGHT OF WAY.
  - 4" C900 PVC DR-14 DRY FIRE LINE WITH LOCATE WIRE. BACKFILL PER DETAIL (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MIN.
  - TAP EXISTING 8" WATER MAIN PER TOWN OF ELLETTSVILLE REQUIREMENTS. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR, TAP SADDLE, AND TAP VALVE FOR THE TAP. TOWN OF ELLETTSVILLE PERSONNEL MUST PERFORM THE TAP AND WILL PROVIDE THE NECESSARY TAPPING EQUIPMENT AND LABOR FOR THE TAP. SCHEDULE THE TAP WITH THE TOWN OF ELLETTSVILLE INSPECTOR THAT IS ASSIGNED TO THIS JOB.
  - POST INDICATOR VALVE.
  - FIRE DEPARTMENT CONNECTION (5" STOR2).
  - 4" C900 PVC DR-14 WATER LINE WITH LOCATE WIRE. BACKFILL PER DETAIL (SEE DETAIL ON DETAILS SHEET) SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING SPRINKLER ROOM.
  - 8" GATE VALVE.
  - A REDUCED PRESSURE (RP) BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED ON EACH OF THE TWO DOMESTIC SERVICE LINES IN THE BUILDING PER DETAIL (SEE DETAILS SHEET). THE MAKE, MODEL, AND EXPECTED SIZE OF THE BACKFLOW PREVENTION DEVICES IS SPECIFIED ON THE PLUMBING PLANS.
  - 2" DOMESTIC SERVICE. BACKFILL PER DETAIL (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MIN.
  - 8" DUCTILE IRON PIPE WATER LINE. BACKFILL PER DETAIL (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MIN.
- SANITARY SEWER NOTES (S)**
- 6" SDR-35 PVC SANITARY SEWER LATERAL (SLOPE @ 1.00% MIN). BACKFILL PER DETAIL (SEE DETAIL ON DETAILS SHEET).
  - CONNECT TO BUILDING SANITARY WASTE LINE (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
  - SANITARY CLEANOUT PER STANDARD DETAIL (SEE DETAIL ON DETAILS SHEET).
  - CONNECT SANITARY LATERAL TO 8" SANITARY MAIN.
- STORM SEWER NOTES (D)**
- 12" HOPE PIPE STORM SEWER PIPE (SLOPE @ 1.0% MINIMUM)
  - 12" NYLOPLAST DOME INLET C1299CGD.
  - STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
- ELECTRIC NOTES (E)**
- PRIMARY CONDUCTOR CONDUIT (TWO 4" CONDUITS). CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE CONDUIT TO THE PROPERTY LINE. DUKE ENERGY WILL INTERCEPT THE CONDUIT AT THIS POINT, INSPECT THE CONDUIT AND FURNISH AND INSTALL THE PRIMARY CONDUCTOR CABLES. SEE DETAILS SHEET FOR DUKE ENERGY PLAN. COORDINATE ALL ELECTRIC WORK WITH DUKE ENERGY PRIOR TO CONSTRUCTION.
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NOT FOR CONSTRUCTION

XX/XX/20XX

**FLATS ON 46**  
**3888 W. STATE ROAD 46**  
**ELLETSVILLE, IN 47404**

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REVISIONS	BY	DATE

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UTILITY (EAST)

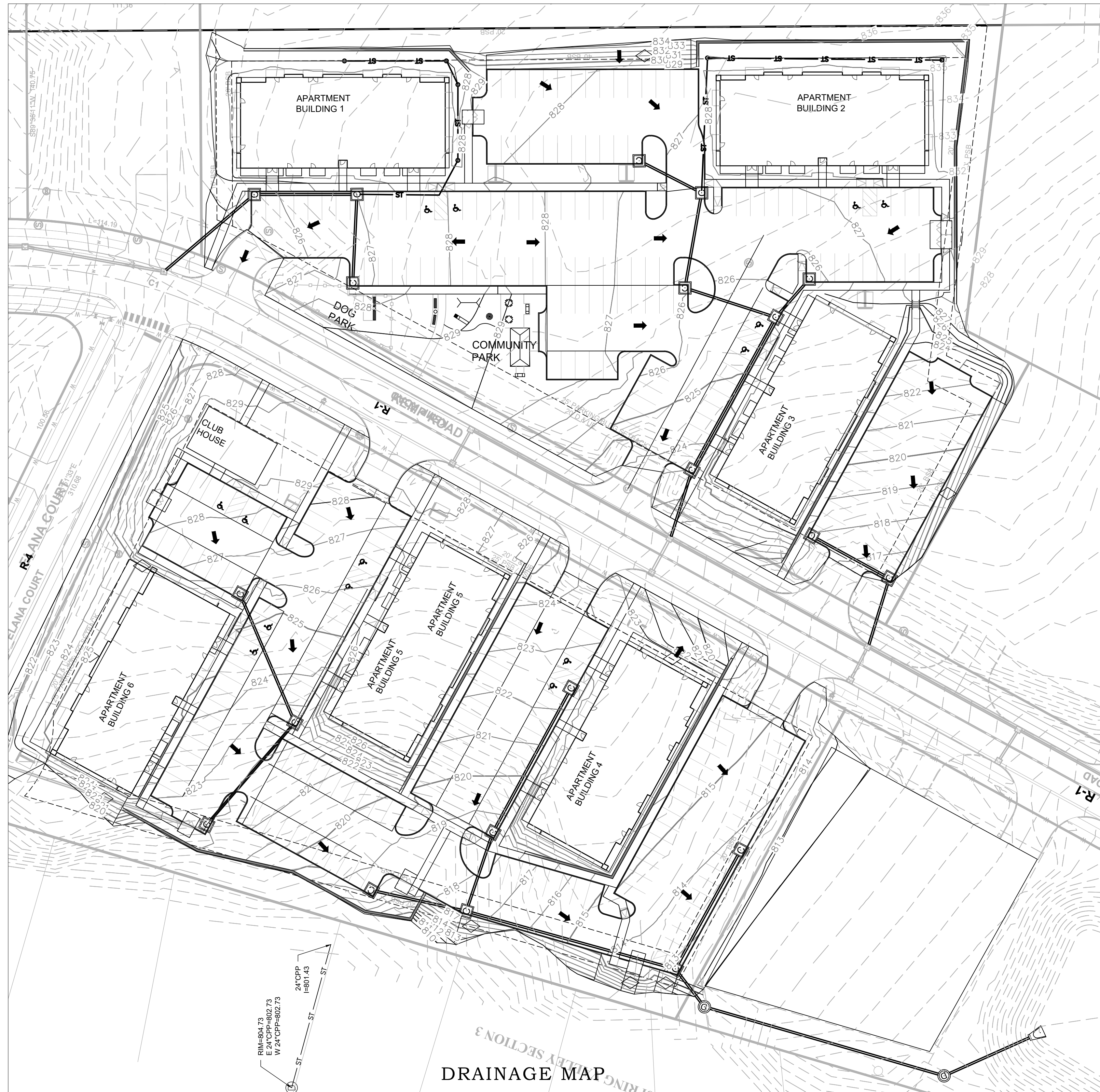
**NARRATIVE**

**SEC. A - CONSTRUCTION PLAN ELEMENTS**

- A1 - Plan Index  
Shown on this sheet.
- A2 - 11x17 Plat  
Included with submission.
- A3 - Narrative describing nature and purpose of project  
The purpose of this project is for development of multifamily residential site.
- A4 - Vicinity Map  
Shown on title sheet.
- A5 - Legal Description  
Lots 16 and Lot 17 of the Ellis-Ridge Subdivision.
- A6 - Site Improvements  
Shown on Site Plan.
- A7 - Hydrologic Unit Code  
The HUC code is 051202010100.
- A8 - Notation of any State or Federal permits  
None.
- A9 - Specific points where storm water discharge leaves the site  
The runoff from the site will drain to the north and south to storm sewer infrastructure within the Ellis-Ridge Subdivision to common detention ponds.
- A10 - Location of Wetlands, lakes, and water courses  
No known wetlands exist on site based on a review of the National Wetlands Inventory Map. No known lakes or water courses exist on site. An existing manmade pond is on-site but will be removed as a part of this project.
- A11 - Identification of all receiving waters  
Jacks Defeat Creek is the receiving water.
- A12 - Groundwater discharge  
There are no known sinkholes on site.
- A13 - Floodplains, floodway fringes, floodways  
None exist on site.
- A14 - Peak Discharges  
Pre-construction (10-year): 95.55 cfs  
Post-construction (10-year) (detained): 79.69 cfs
- A15 - Adjacent Properties  
Residential use is to the north, east and west. Commercial uses are to the south.
- A16 - Disturbed Areas  
Extents of disturbed areas are shown on the Grading Plan.
- A17 - Vegetative Cover  
Existing vegetation consists of woods and grass area.
- A18 - Soils Map  
See map and legend this sheet.
- A19 - Storm Water Drainage Systems  
See utility plan for existing and proposed storm water drainage systems.
- A20 Off site construction activities  
Not required.
- A21 - Proposed stockpile and/or borrow/disposal area locations  
Temporary stockpile location is shown on the SWPPP.
- A22 - Existing Topography  
See grading plan.
- A23 - Proposed Topography  
See grading plan.

**SECTION B STORMWATER POLLUTION PREVENTION PLAN - CONSTRUCTION COMPONENT**

- B1 - Description of potential pollutant sources assoc. w/constr.  
Possible pollutants associated with construction include trucks used for delivery of fuel and maintenance of vehicles. Some pollutants associated with construction include grit and sediment due to grading and clearing, rust and brake dust from the construction vehicles and various fluids that may be used to lubricate or maintain construction equipment. Other pollutants may be possible, but are not foreseeable at this time. Specifications shown on the erosion control notes address recommendations used for spills and other groundwater contaminants due to construction.
- B2 - Sequence describing storm water quality measures implementation relative to land disturbing activity indicated in the General Erosion Control Sequence.
- B3 - Stable construction entrance location and specifications  
Entrance will be within the Ellis-Ridge Subdivision and will utilize the construction entrance as shown on the Ellis Ridge Subdivision plans. Specifications are shown on the SWPP Specifications sheet.
- B4 - Sediment control measures for sheet flow  
Silt fence will be utilized. Locations are shown on the erosion control plan and detailed on the details sheet. Specifications are shown on SWPP Specifications sheet.
- B5 - Sediment control measures for concentrated flow areas  
Temporary sediment trap will be installed within the Ellis Ridge Subdivision and rip rap will be used as shown on the erosion control plan. Specifications are shown on the SWPP Specifications sheet.
- B6 - Storm sewer inlet protection measure location & spec's.  
Curb and Yard Inlet protection are shown on the erosion control plan and specifications are shown on the SWPP specifications notes sheet.
- B7 - Runoff control measures  
Three detention basins will be utilized for this project with the Ellis-Ridge Subdivision of the site.
- B8 - Storm water outlet protection specifications  
Rip rap will be utilized as shown on the erosion control plan. The specifications are shown on the SWPP specifications sheet.
- B9 - Grade stabilization structure locations and specifications  
Retaining walls will be required in some areas for grade stabilization.
- B10 - Location, dimensions, specifications, & constr. details of each storm water quality measure.  
Typical storm water quality measures include temporary sediment basins as shown on the grading plan and detailed on the details sheet and the erosion control notes sheet. Specifications are shown on the SWPP Specifications sheet.
- B11 - Temporary surface stabilization methods appropriate for each season  
Season specific temporary surface stabilization methods and specifications are outlined on the SWPP specifications sheet.
- B12 - Permanent surface stabilization specifications  
Permanent surface stabilization methods are shown on the erosion control notes sheet. Specifications are contained in the project manual.
- B13 - Material handling and spill prevention plan  
Specifications for material handling and spill prevention are noted on the SWPP specifications sheet.
- B14 - Monitoring and maintenance guidelines for each proposed storm water quality measure  
Specifications for temporary erosion control devices is noted on the SWPP specifications sheet.
- B15 - Erosion & sediment control specifications for individual building lots  
Individual lot erosion & sediment control specifications details are on the SWPP plan sheet.



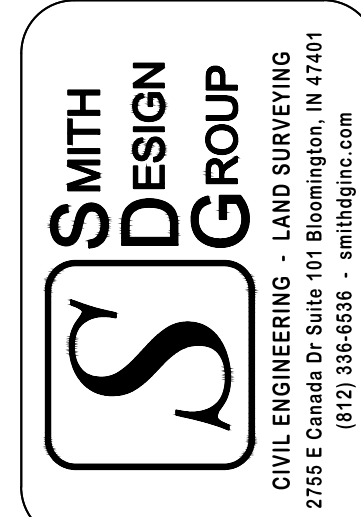
**SEC C. STORMWATER POLLUTION PREVENTION PLAN - POST CONSTRUCTION**

- C1 - Description of pollutants & their sources associated with the proposed land use  
Pollutants associated with post construction use include lawn fertilizers, pesticides, household chemicals, oils, grease, petroleum products, solvents and vehicle fluids, dust and paint products. Other pollutants associated with vehicle repair and maintenance may be present.
- C2 - Sequence describing storm water quality measures implementation  
Site surface restoration will occur at the end of land disturbing activity. A general sequence of construction is shown on the SWPPP.
- C3 - Description of proposed post-construction storm water quality measures  
Post construction storm water quality will consist of re-establishment of vegetative cover. Runoff from the paved surface areas of the site will be directed to a detention pond within the Ellis-Ridge Subdivision. The amended soils and infiltration properties thereof combined with an underdrain will provide for site water quality enhancement. Native plants will also be planted within the rain garden areas.
- C4 - Location, dimensions, specifications, and construction details of each storm water quality measure  
The location of said features described above are shown on the grading plan. Specifications are contained in the project manual.
- C5 - Description of maintenance guidelines for post construction storm water quality measures  
Maintenance of post construction storm water quality measures will consist of mowing and re-seeding as required to maintain vegetative cover. The Owner's Association will be responsible for future maintenance and removal of any accumulated sediment and trash on site.



**SOILS MAP**

CrC- Crider silt loam 6-12% slopes  
CaD- Caneyville silt loam, 12-18% slopes  
BdB- Bedford silt loam, 2-6% slopes



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SWPPP INDEX

## GENERAL CONSTRUCTION SEQUENCE

1. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL COORDINATE AN ON SITE MEETING WITH THE TOWN OF ELLETTSVILLE PLANNING 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR PROVIDE START DATE AT PRE-CONSTRUCTION MEETING.
2. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE AS SHOWN IN THE ELLIS-RIDGE SUBDIVISION PLANS.
3. POST THE NOI APPLICATION LETTER AND LOCAL GRADING PERMIT, PROPERTY OWNER CONTACT INFORMATION, IDEM SPILL EMERGENCY REPORTING LINE AND SPILL KIT LOCATION.
4. INSTALL TEMPORARY SILT FENCE.
5. CLEAR EXISTING TREES AND STOCKPILE TOPSOIL. LOCATION MAY VARY BASED ON CONTRACTOR PREFERENCE, HOWEVER ENSURE COMPLIANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.
6. INSTALL TEMPORARY DIVERSION DITCHES.
7. COMPLETE SITE EARTHWORK TO CREATE BUILDING PAD AND PARKING LOT.
8. INSTALL UTILITY INFRASTRUCTURE.
9. INSTALL PERMANENT ROCK CHUTE AND TEMPORARY ROCK DAMS AT PIPE OUTLETS.
10. INSTALL TEMPORARY CONCRETE WASHOUT. LOCATION MAY VARY BASED ON CONTRACTOR PREFERENCE, HOWEVER ENSURE COMPLIANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.
11. INSTALL CONCRETE CURBS.
12. INSTALL AGGREGATE BASE ON ROADS.
13. INSTALL ASPHALT AND CONCRETE PAVEMENT ALONG WITH CONCRETE WALK.
14. REPLACE TOPOSOIL IN LAWN AREAS.
15. INSTALL PERMANENT LAWNS. ALL DISTURBED AREAS TO BE MULCH SEEDED.
16. ONCE LAWNS ARE ESTABLISHED, REMOVE SILT FENCE AND OTHER EROSION CONTROL MEASURES AND PATCH ANY BARE SPOTS.
17. AFTER STABILIZATION, CONTACT TOWN OF ELLETTSVILLE PLANNING DEPARTMENT FOR FINAL INSPECTION AND FILE NOTICE OF TERMINATION (NOT)

## SWPP GENERAL REQUIREMENTS

1. CONSTRUCTION SEQUENCE ABOVE IS GENERAL GUIDANCE FOR CONSTRUCTION AND CONTRACTOR MAY ADJUST AS NECESSARY KEEPING THE SITE IN FULL COMPLIANCE.
2. ANY BARE EARTH AREAS TO REMAIN IDLE FOR MORE THAN 7 DAYS SHALL BE TEMPORARY OR PERMANENTLY STABILIZED BY THE END OF NEXT BUSINESS DAY FROM CEASING OF LAND DISTURBING ACTIVITIES. MULCH SEEDED MUST BE DONE IN ACCORDANCE WITH TABLE BELOW.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL DEVICES.
4. CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL EROSION CONTROL DEVICES AND EQUIPMENT WEEKLY AND PRIOR TO AND IMMEDIATELY FOLLOWING ANY RAIN EVENT.
5. INSPECTIONS SHALL BE CONDUCTED BY A QUALIFIED INDIVIDUAL.
6. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A LOG BOOK OF ALL RAIN EVENTS, INSPECTIONS, REPAIR AND MAINTENANCE WORK AND EQUIPMENT ON SITE. LOG BOOK SHALL BE MADE AVAILABLE FOR REVIEW UPON MS4'S REQUEST WITHIN 48 HOURS.

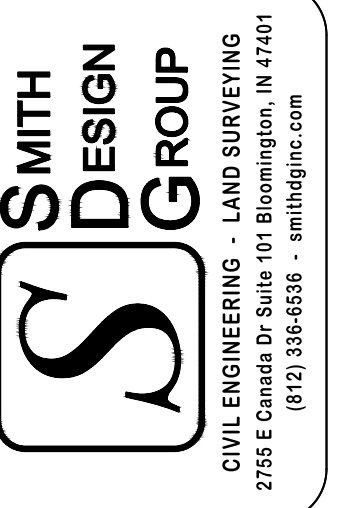
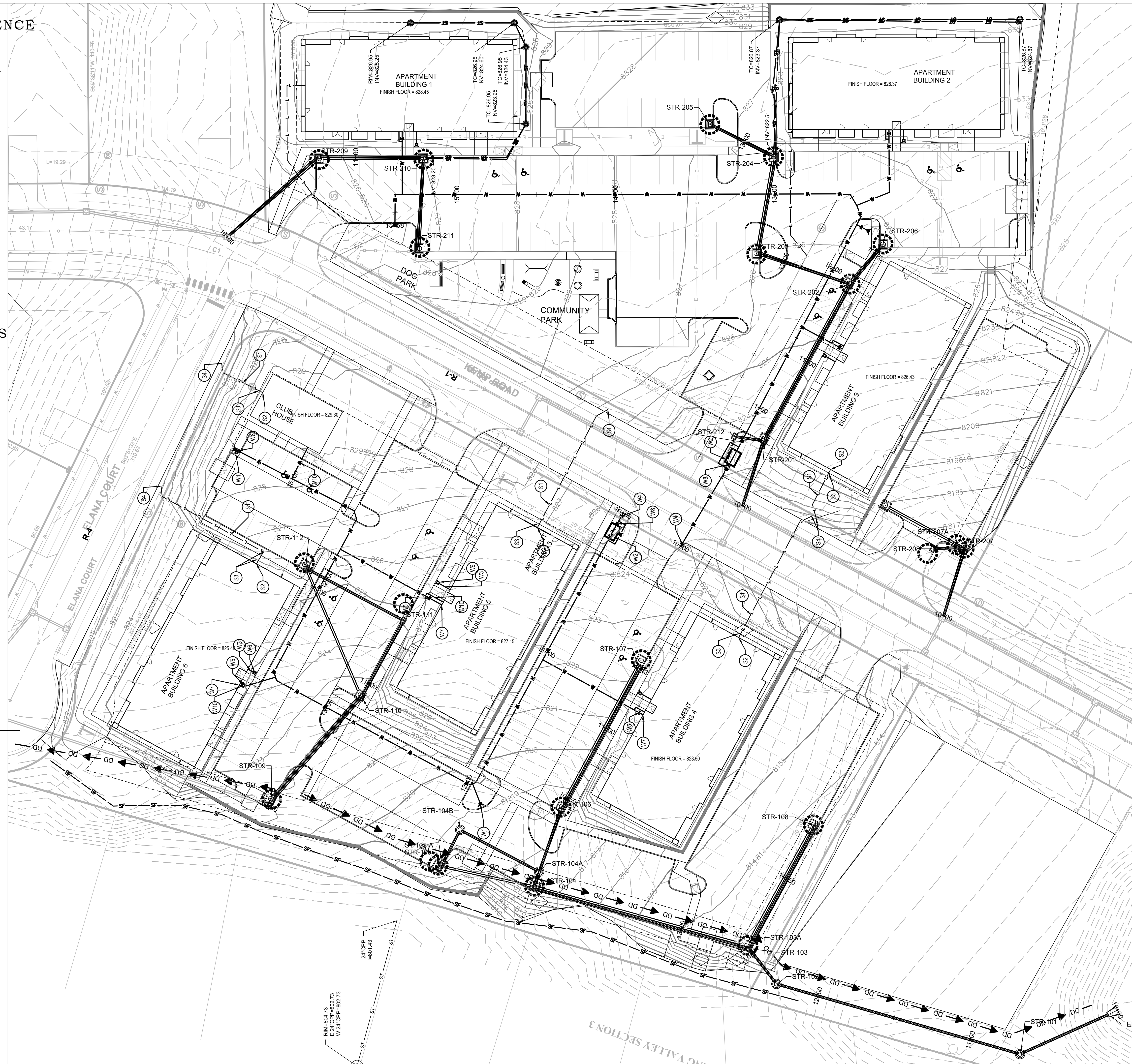
### TEMPORARY SEEDING RECOMMENDATIONS

SEED SPECIES	RATE / ACRE	PLANTING DEPTH	OPTIMUM DATES **
WHEAT OR RYE	150 LBS	1 TO 1 1/2 IN.	9/5 TO 10/30
SPRING OATS	100 LBS	1 IN.	3/1 TO 4/15
ANNUAL RYEGRASS	40 LBS	? IN	3/1 TO 5/1 8/1 TO 9/1
GERMAN MILLET	40 LBS	1 TO 2 IN.	5/1 TO 6/1
SUDANGRASS	35 LBS	1 TO 2 IN.	5/1 TO 7/30

\* PERMANENT SPECIES MAY BE USED AS A TEMPORARY COVER, ESPECIALLY IF THE AREA TO BE SEEDING WILL REMAIN BARE FOR MORE THAN A YEAR (PRACTICE 3.3.2).  
 \*\* SEEDING DONE OUTSIDE THE OPTIMUM DATES INCREASES THE CHANCES OF SEEDING FAILURE.

## EROSION CONTROL LEGEND

SILT FENCE	
DIVERSION DITCH	
TREE PROTECTION FENCE	
ROCK CHECK DAM	
ROCK CHECK DAM	
TEMPORARY CONSTRUCTION ENTRANCE	
CONCRETE WASHOUT	
ROCK CHUTE	
EROSION CONTROL BLANKET, NORTH AMERICAN GREEN # SC150BN OR EQUAL.	
CURB INLET PROTECTION	
YARD INLET PROTECTION	



NOT FOR CONSTRUCTION

XX/XX/20XX

FLATS ON 46  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

REVISIONS	BY	DATE

DESIGNED	KES	DATE
DRAWN	SPP	
CHECKED		

JOB NUMBER  
**6213**  
 SHEET  
**13 OF 20**  
 DATE  
 10/01/2021

SWPP PLAN



NOT FOR CONSTRUCTION

XX/XX/20XX

FLATS ON 46  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

NO.	BY	DATE

REVISIONS	DATE

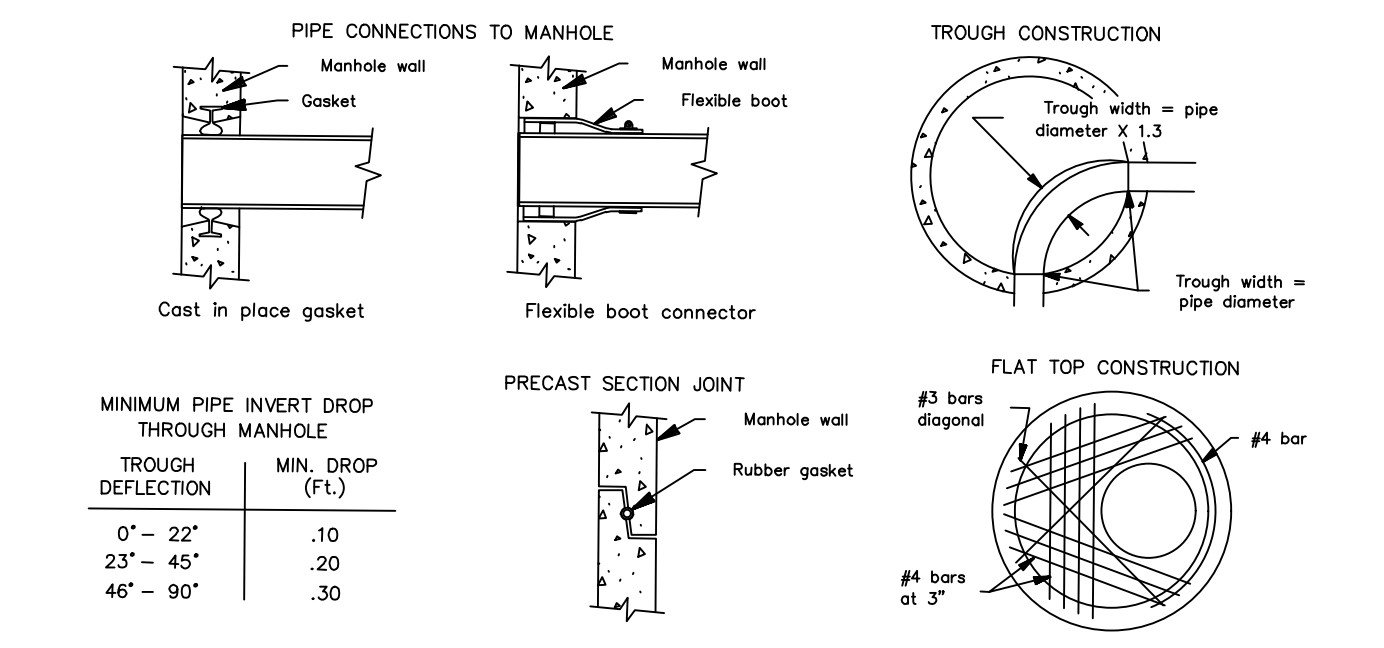
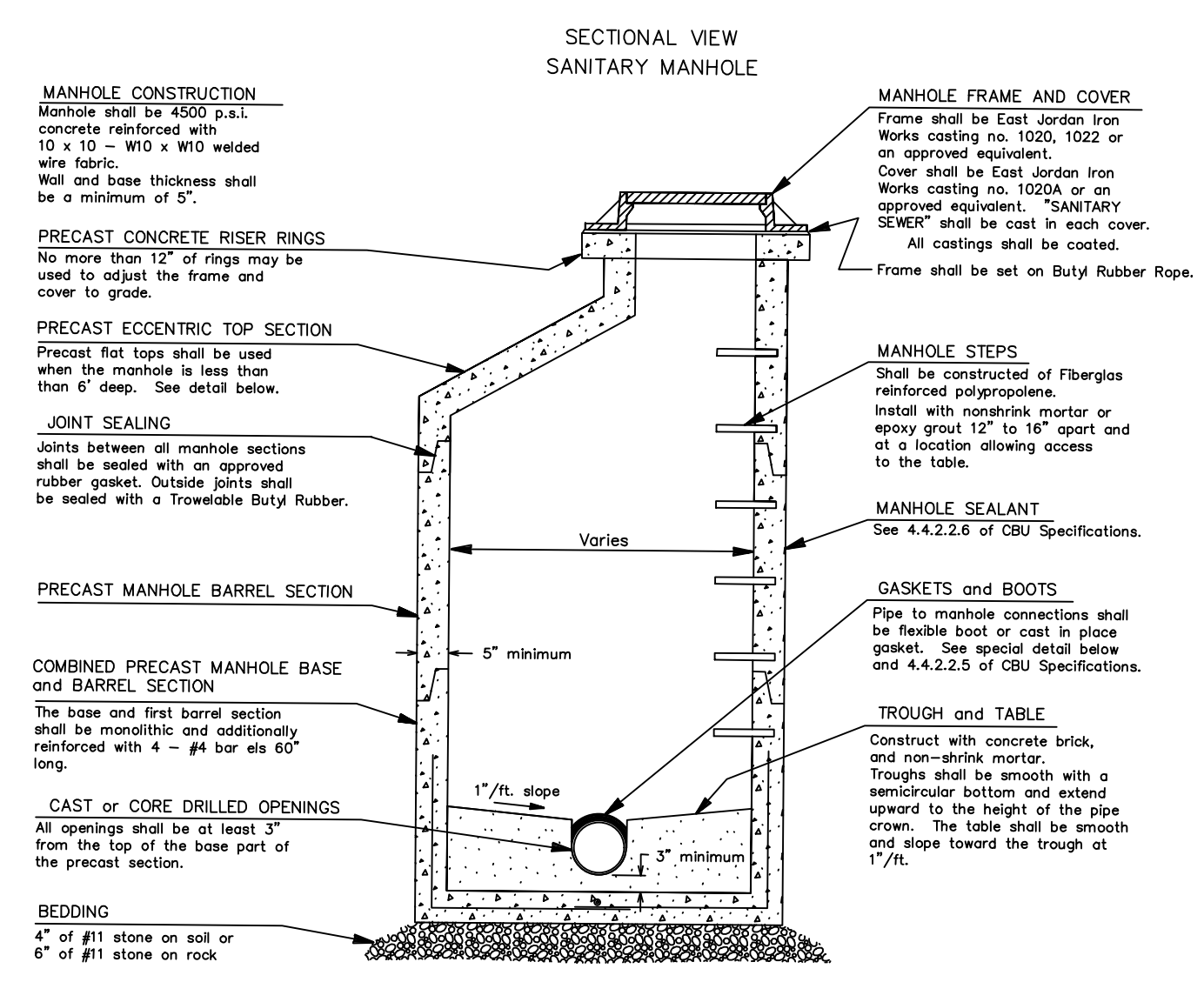
APPROVED	DATE
KES	
SPP	
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DATE	

JOB NUMBER  
**6213**

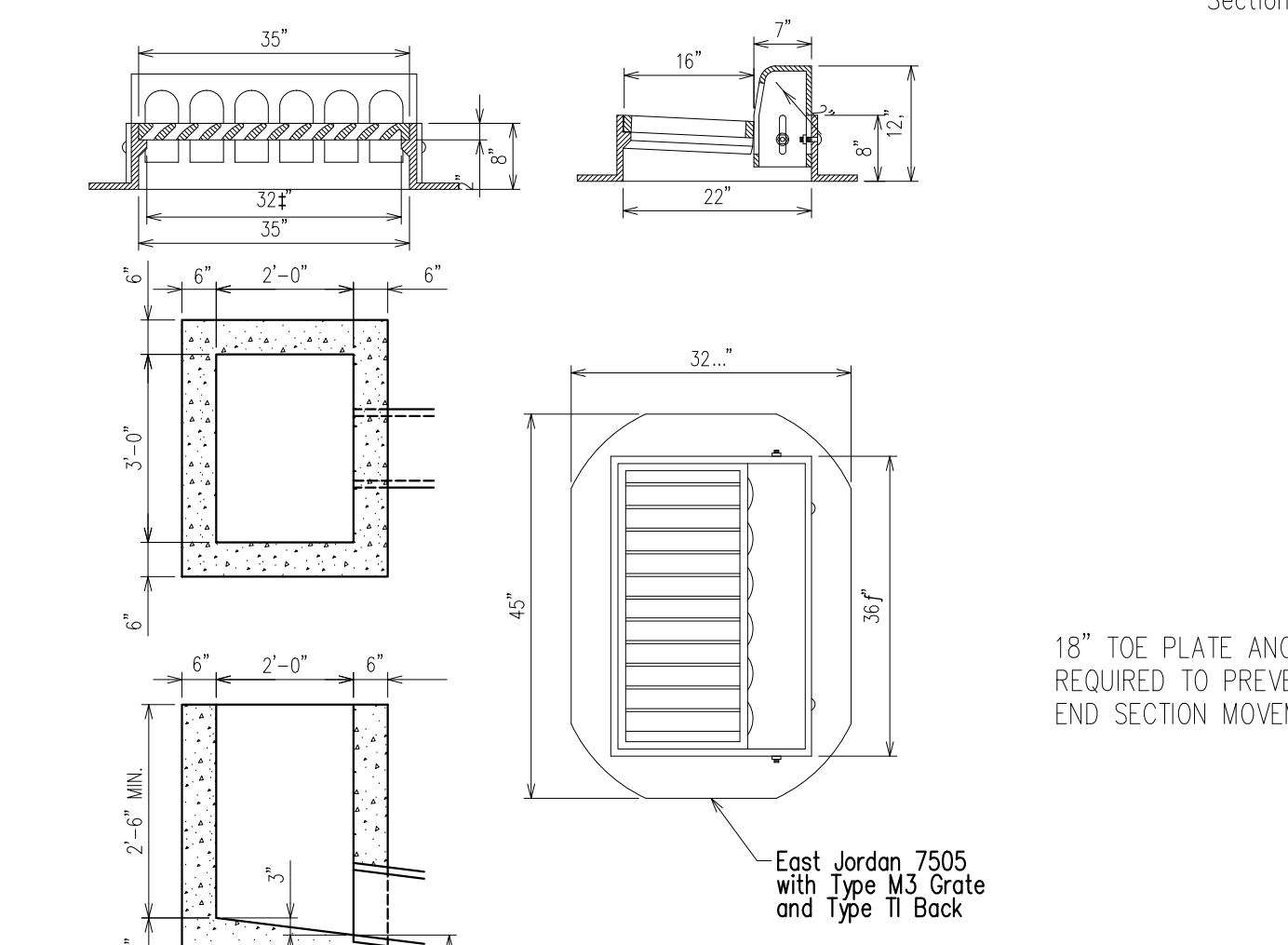
SHEET  
**15 OF 20**

DATE  
**10/01/2021**

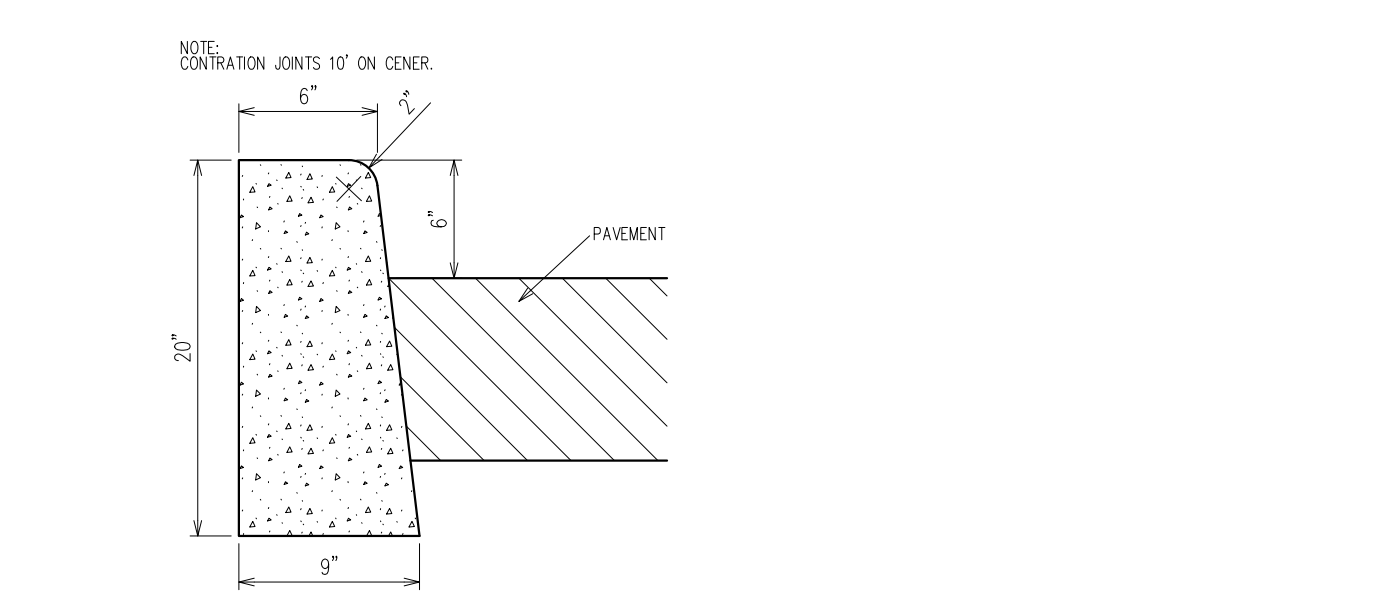
CIVIL DETAILS



**SANITARY SEWER MANHOLE DETAIL**  
NO SCALE

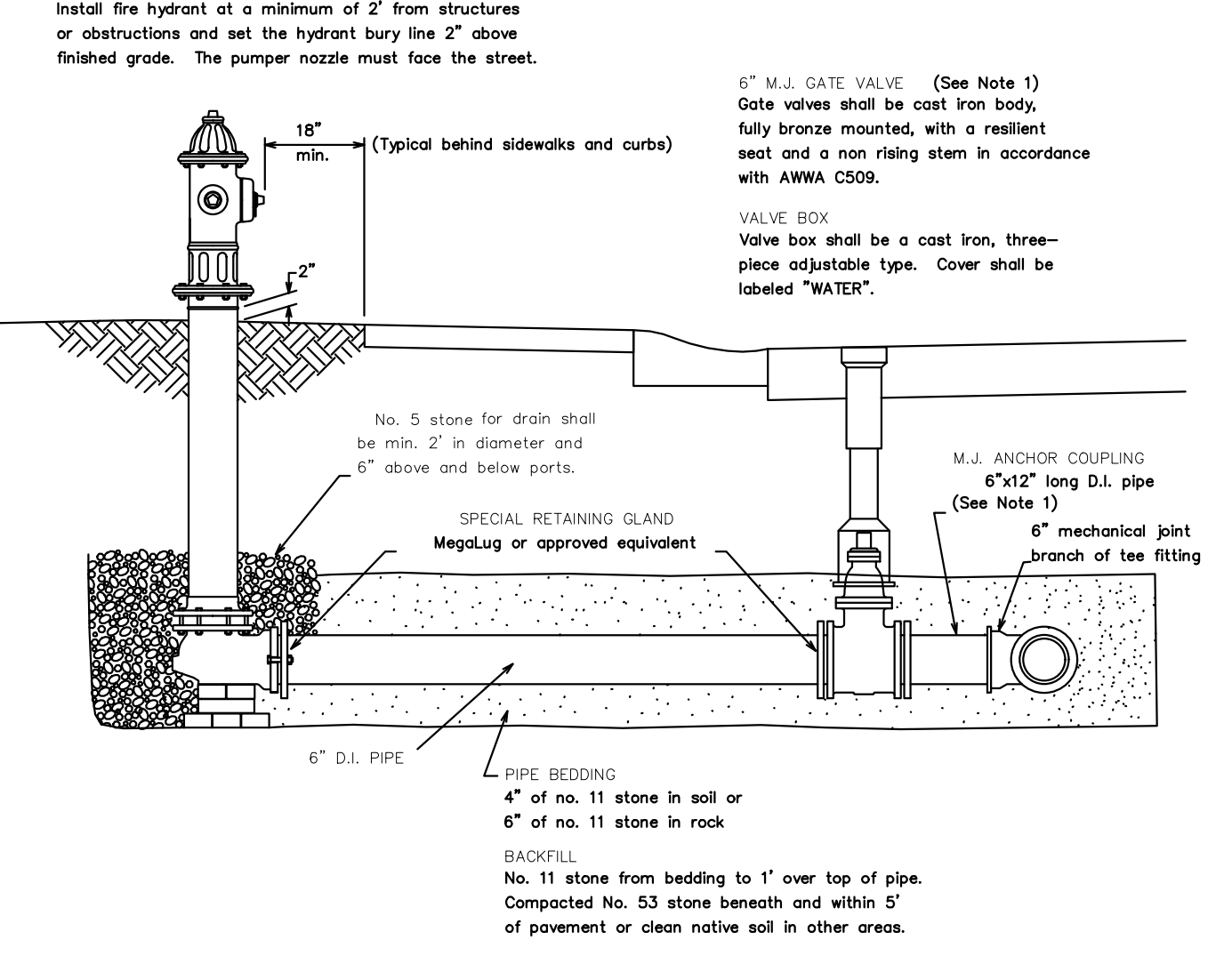


**COMBINED CURB AND GUTTER INLET DETAIL**  
NO SCALE

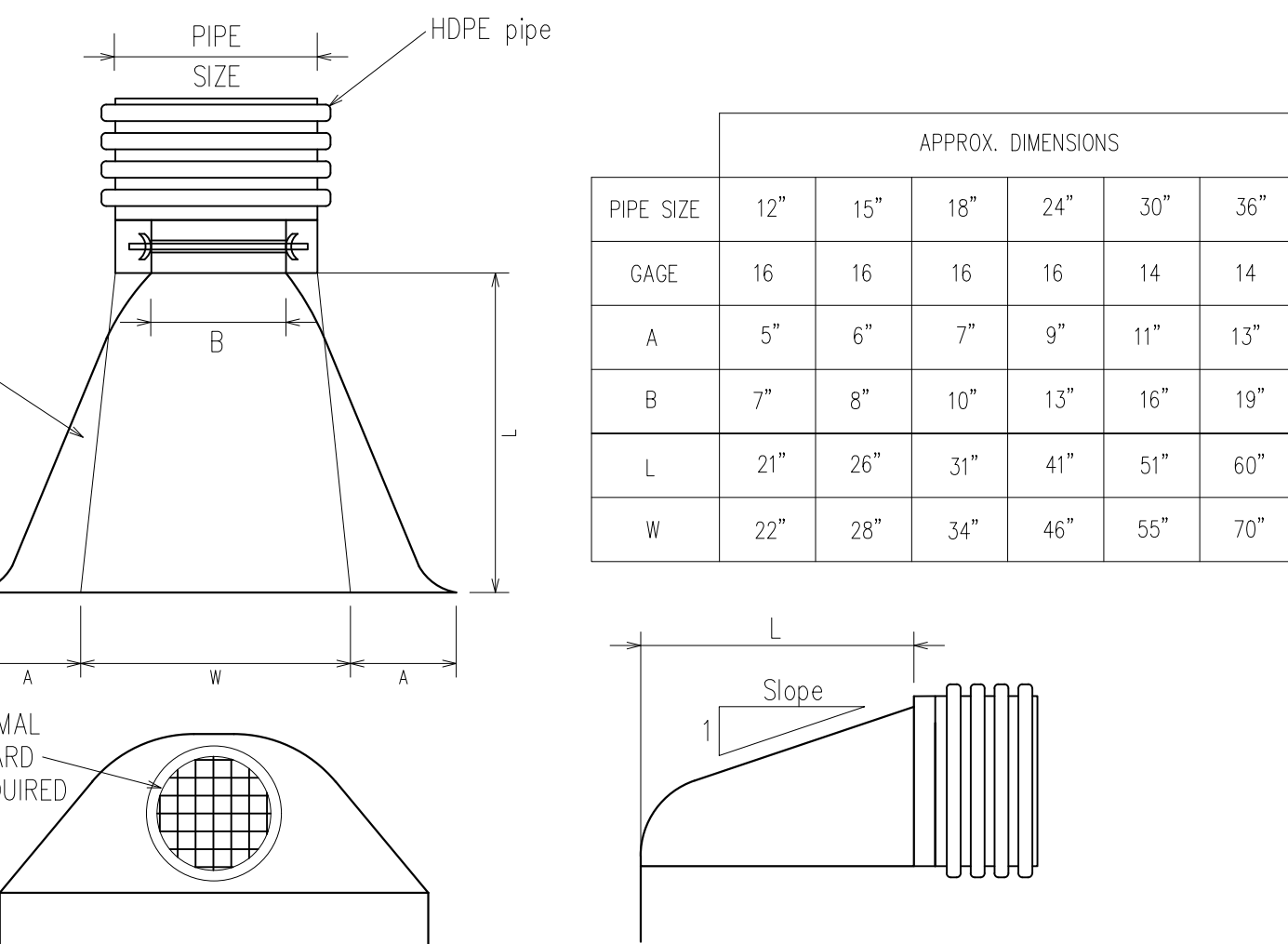


**STANDING CONCRETE CURB DETAIL**  
NO SCALE

**FIRE HYDRANT**  
 Fire hydrants shall conform to ANSI/AWWA C502 and must be Kennedy Guardian model K81 or Mueller Super Centurion 200 (catalog no. A-423) or Waterloo Pacer Classic. These are dry-barrel type firehydrants with a 5" main valve opening, two hose nozzles and one pumper nozzle. Hydrants shall have a mechanical joint type connection and shall be painted according to 4.4.4.4. FIRE HYDRANTS.

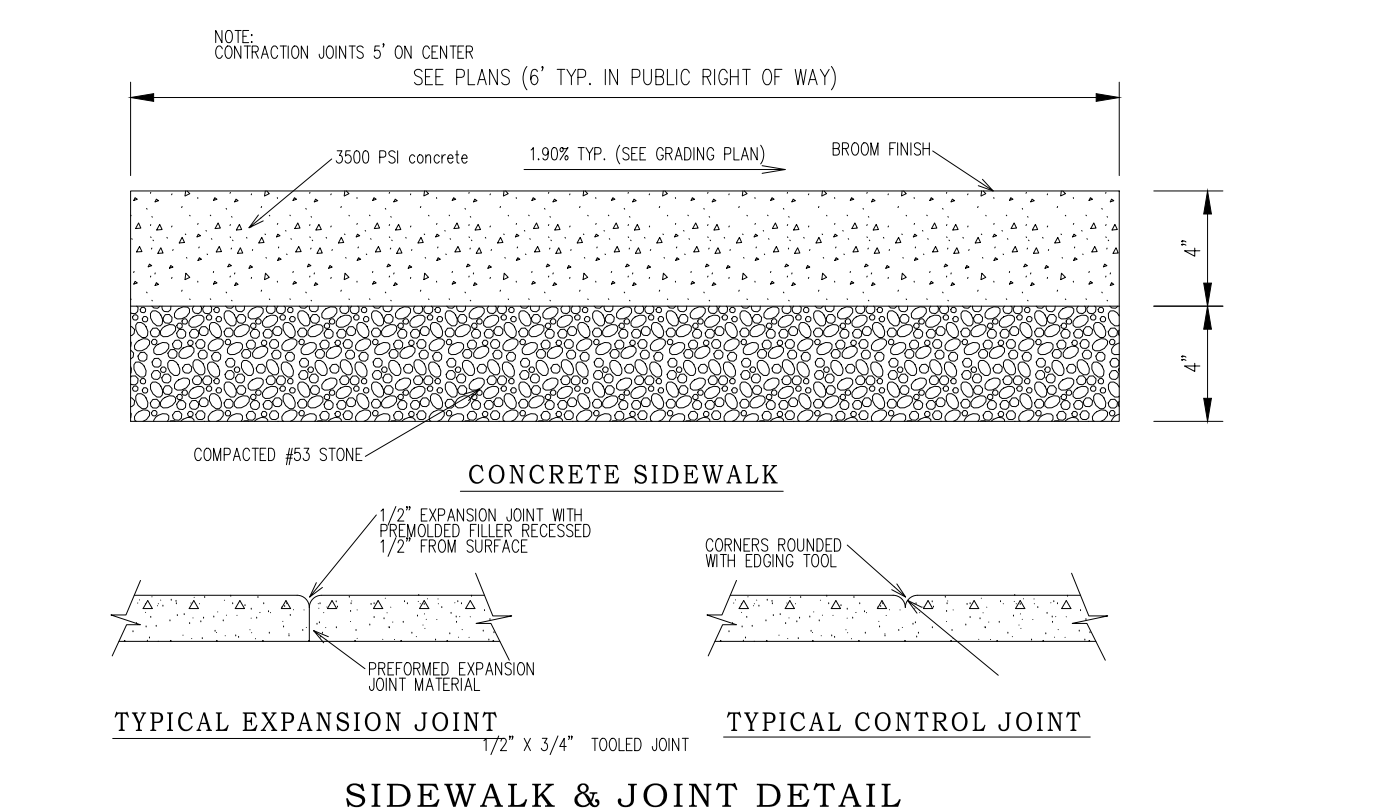


**FIRE HYDRANT ASSEMBLY DETAIL**  
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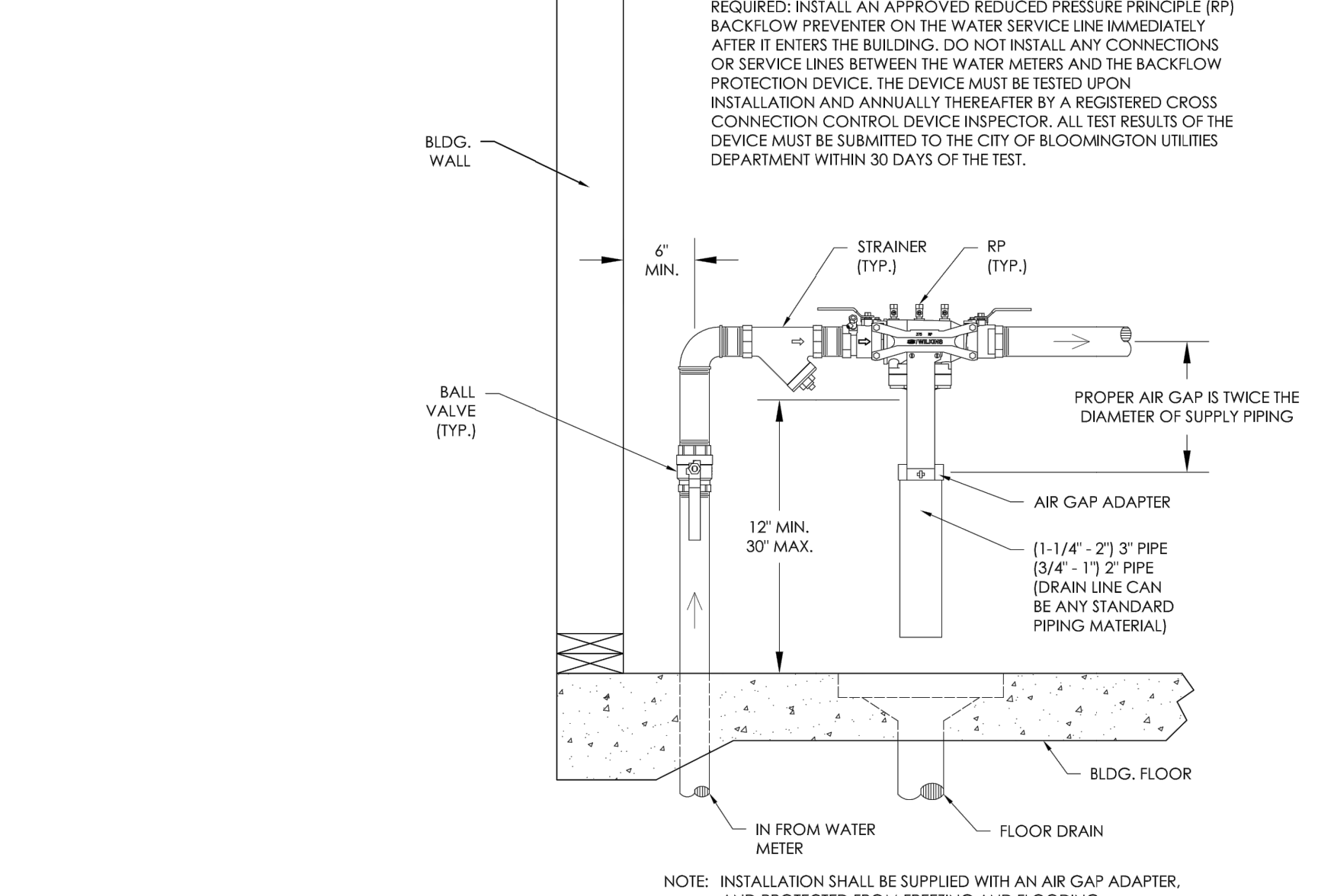
**END SECTION DETAIL**  
NO SCALE

NOTES:  
 1. END SECTIONS ARE TO BE GALVANIZED STEEL OR ALUMINUM.  
 2. 1/2" THREADED ROD TO BE USED FOR CONNECTION TO PIPE.  
 3. SUBSTITUTIONS TO BE SUBMITTED TO ENGINEER FOR APPROVAL.

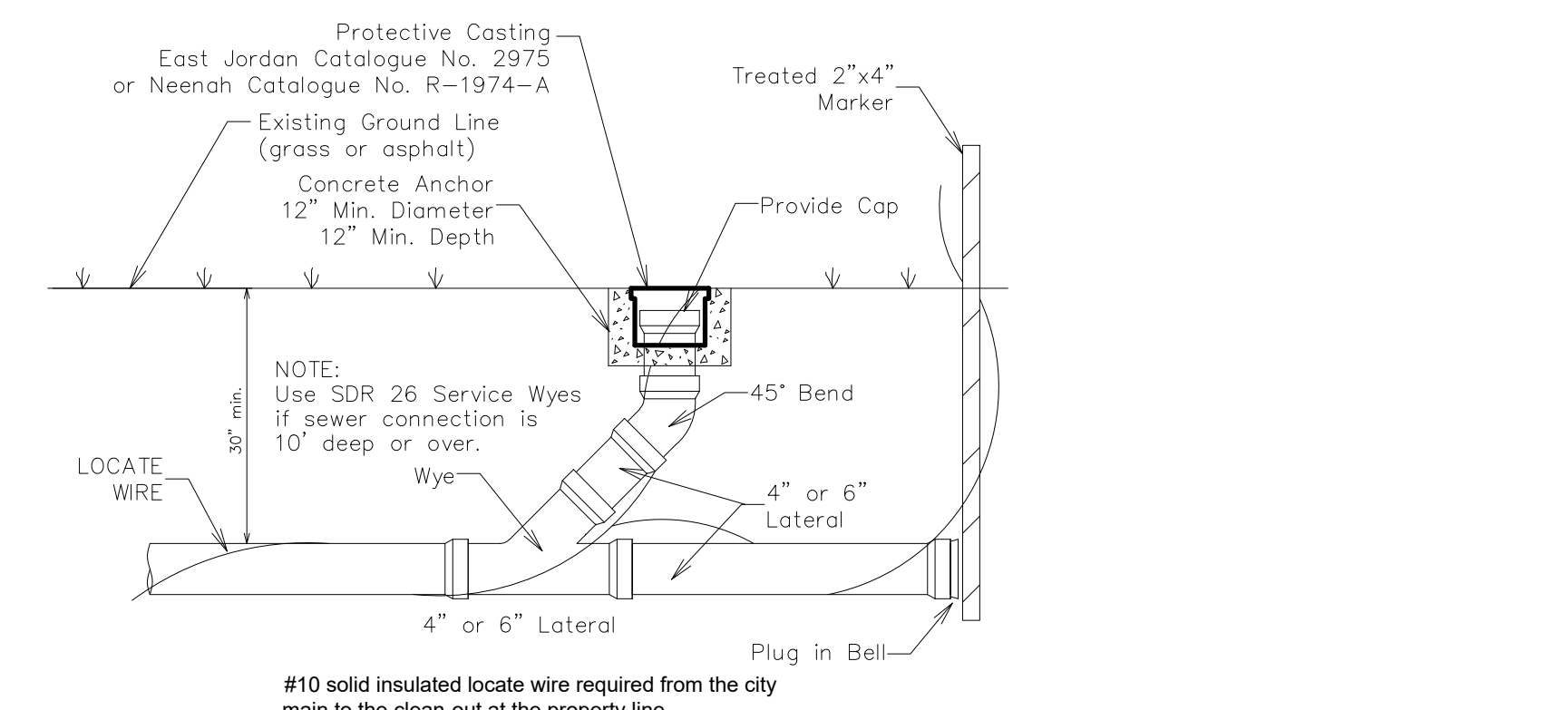


**SIDEWALK & JOINT DETAIL**  
NO SCALE

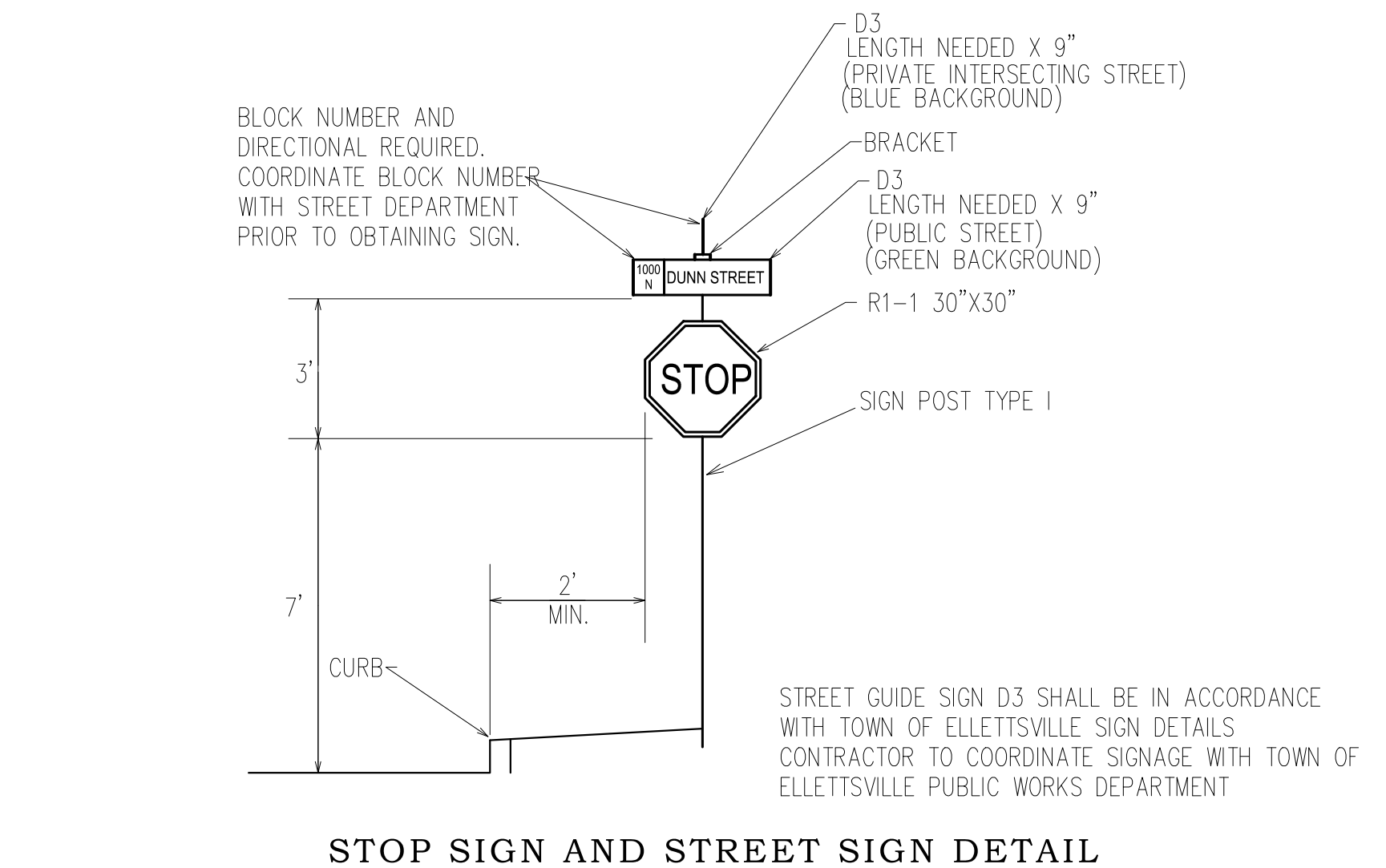
**NOTES**  
 1. For connection to existing water mains, a 6" tapping valve and saddle shall be used in place of the gate valve and anchor coupling.



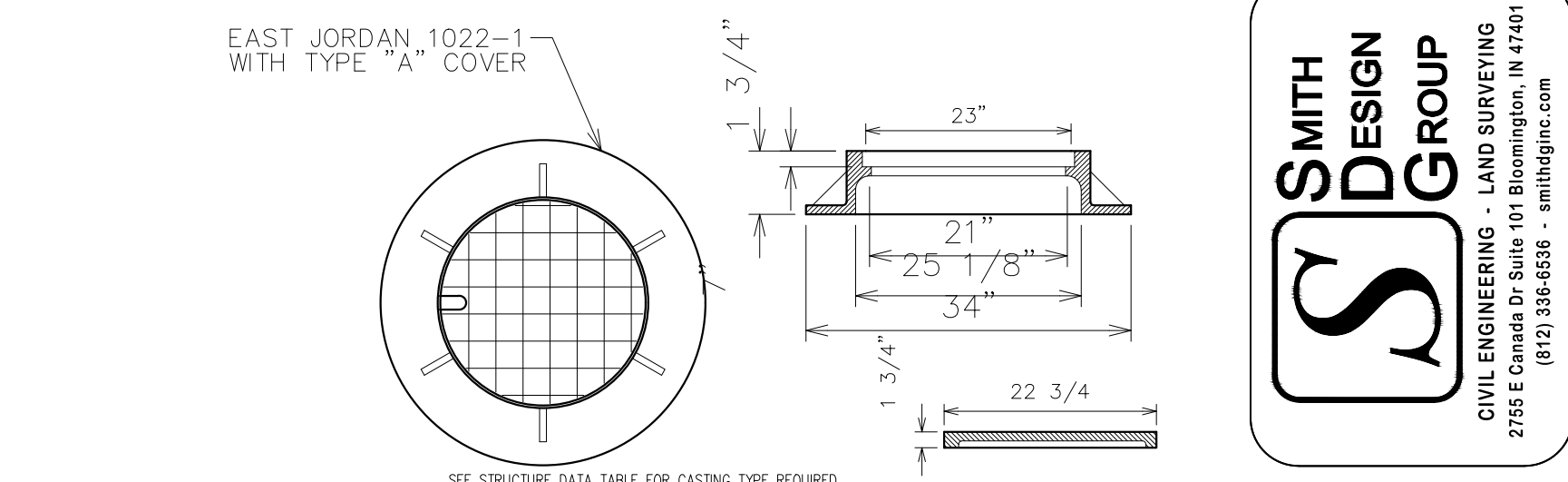
**BACKFLOW PREVENTER DETAIL**  
NO SCALE



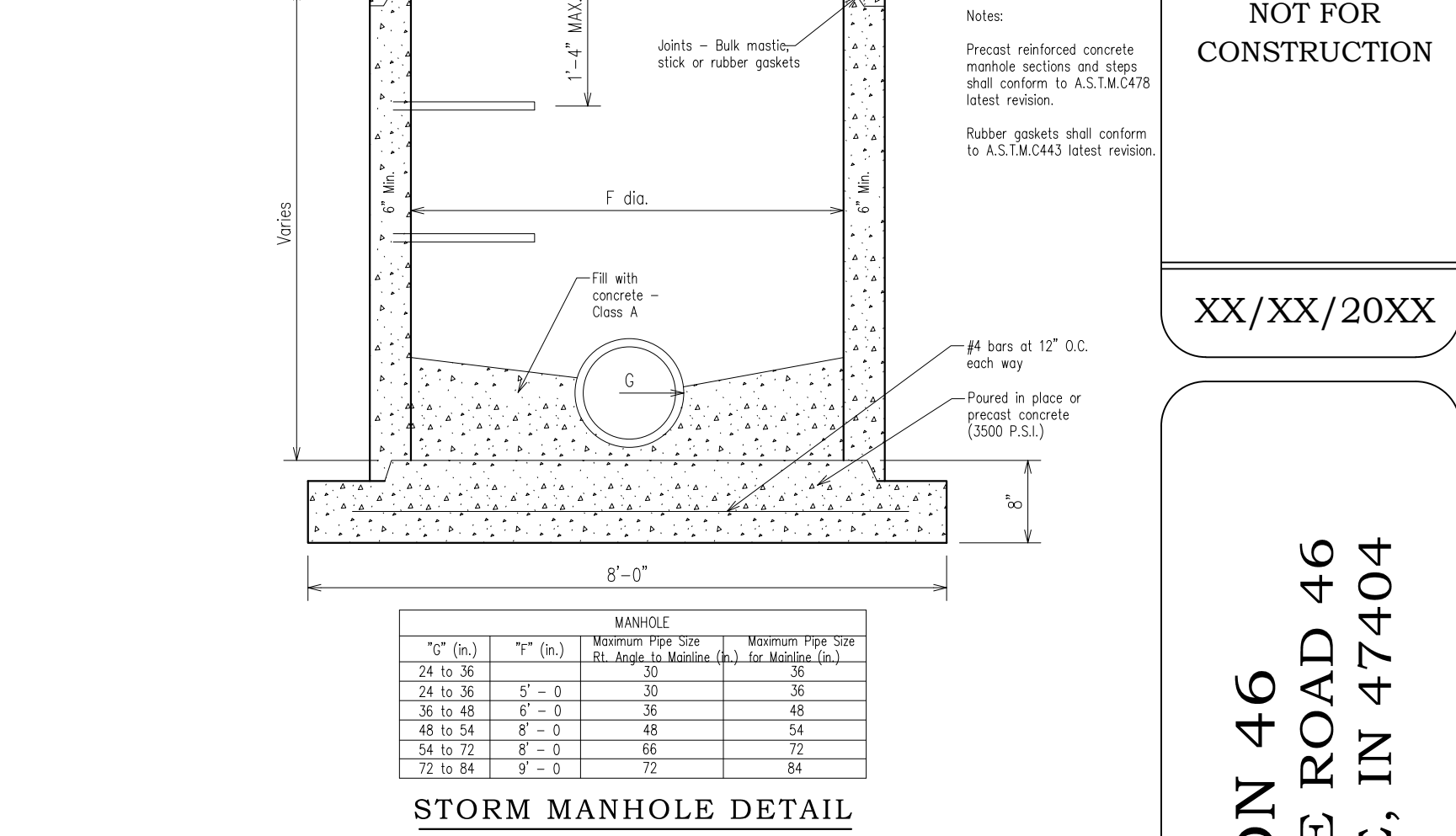
**SANITARY SEWER CLEAN OUT**  
NO SCALE



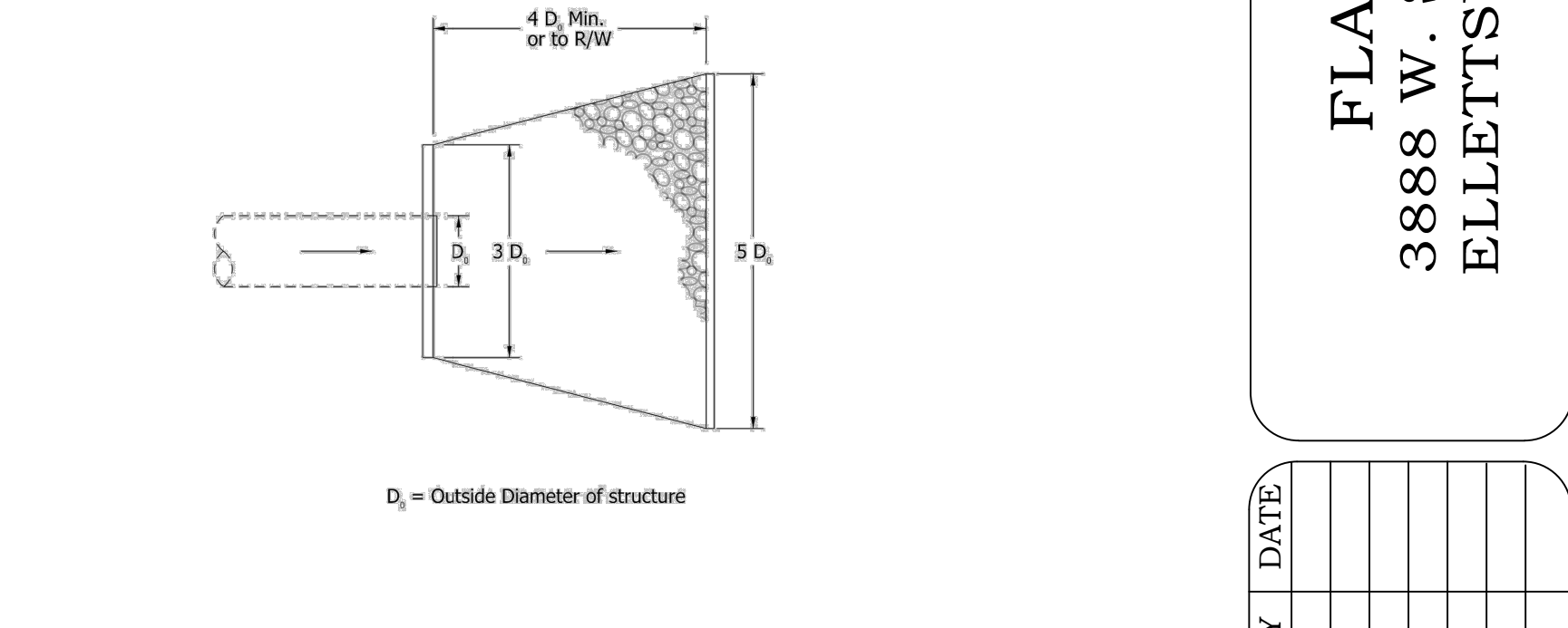
**STOP SIGN AND STREET SIGN DETAIL**  
NO SCALE



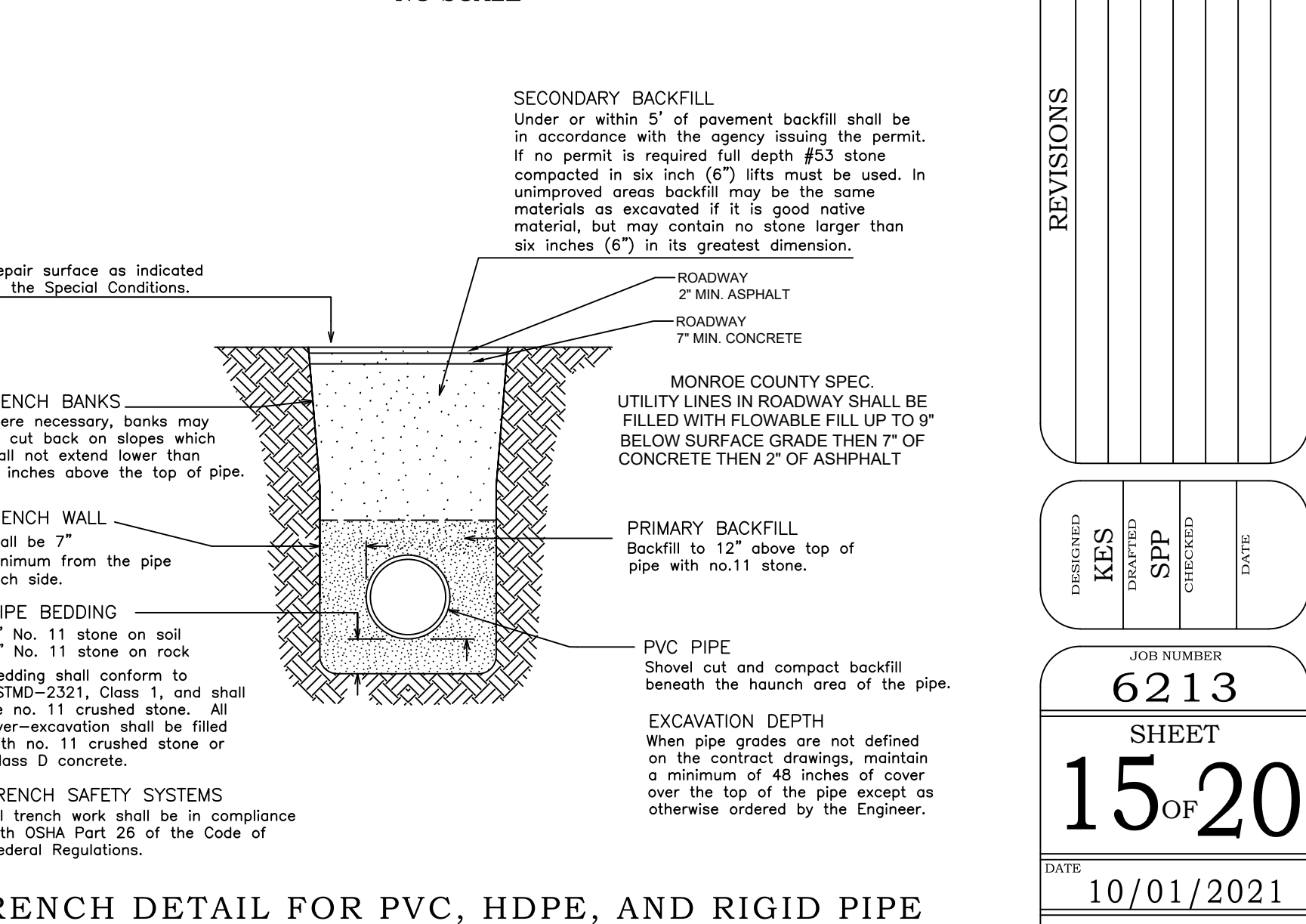
**STORM MANHOLE DETAIL**  
NO SCALE



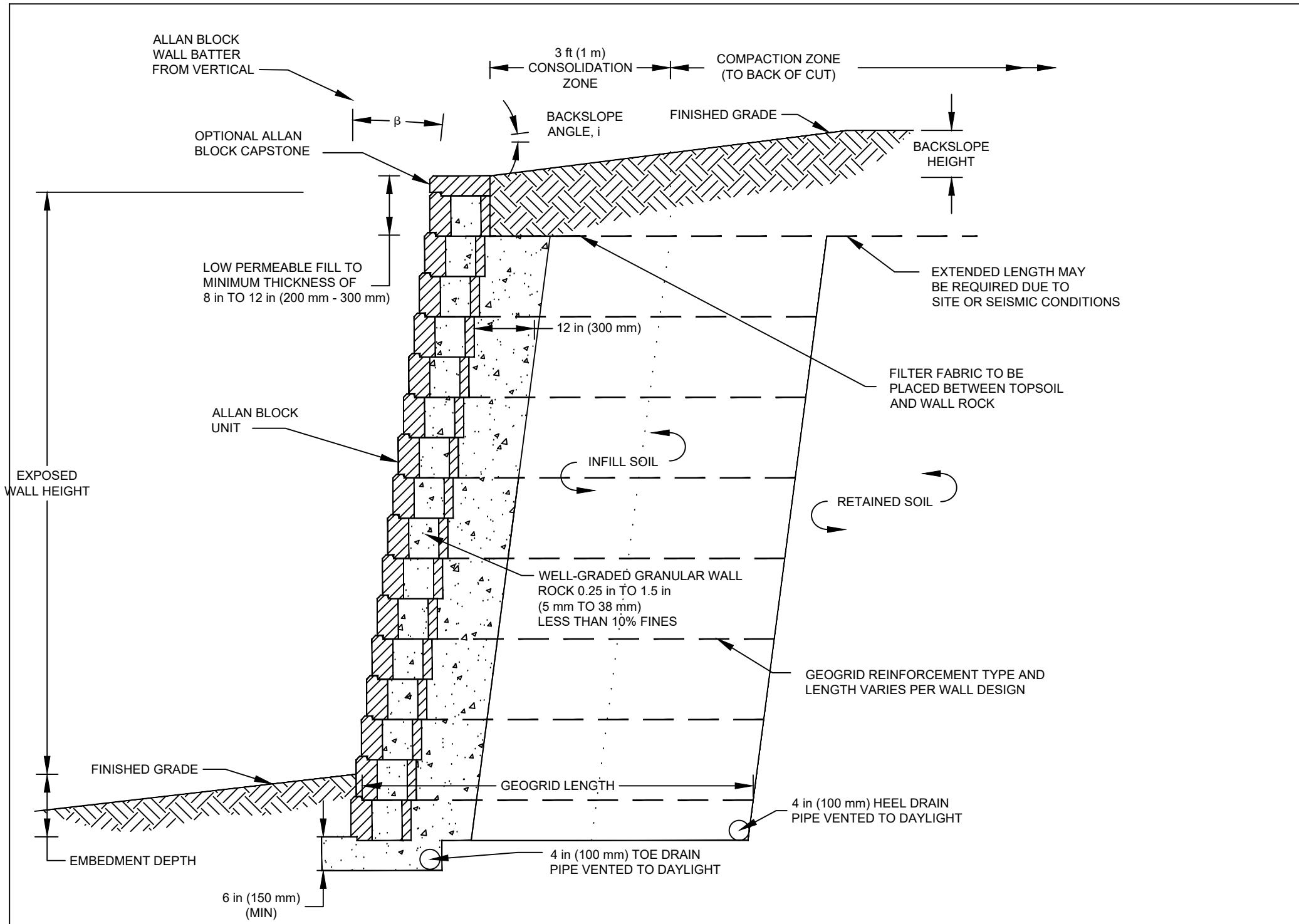
**MINIMUM RIPRAP APRON DIMENSIONS**  
NO SCALE



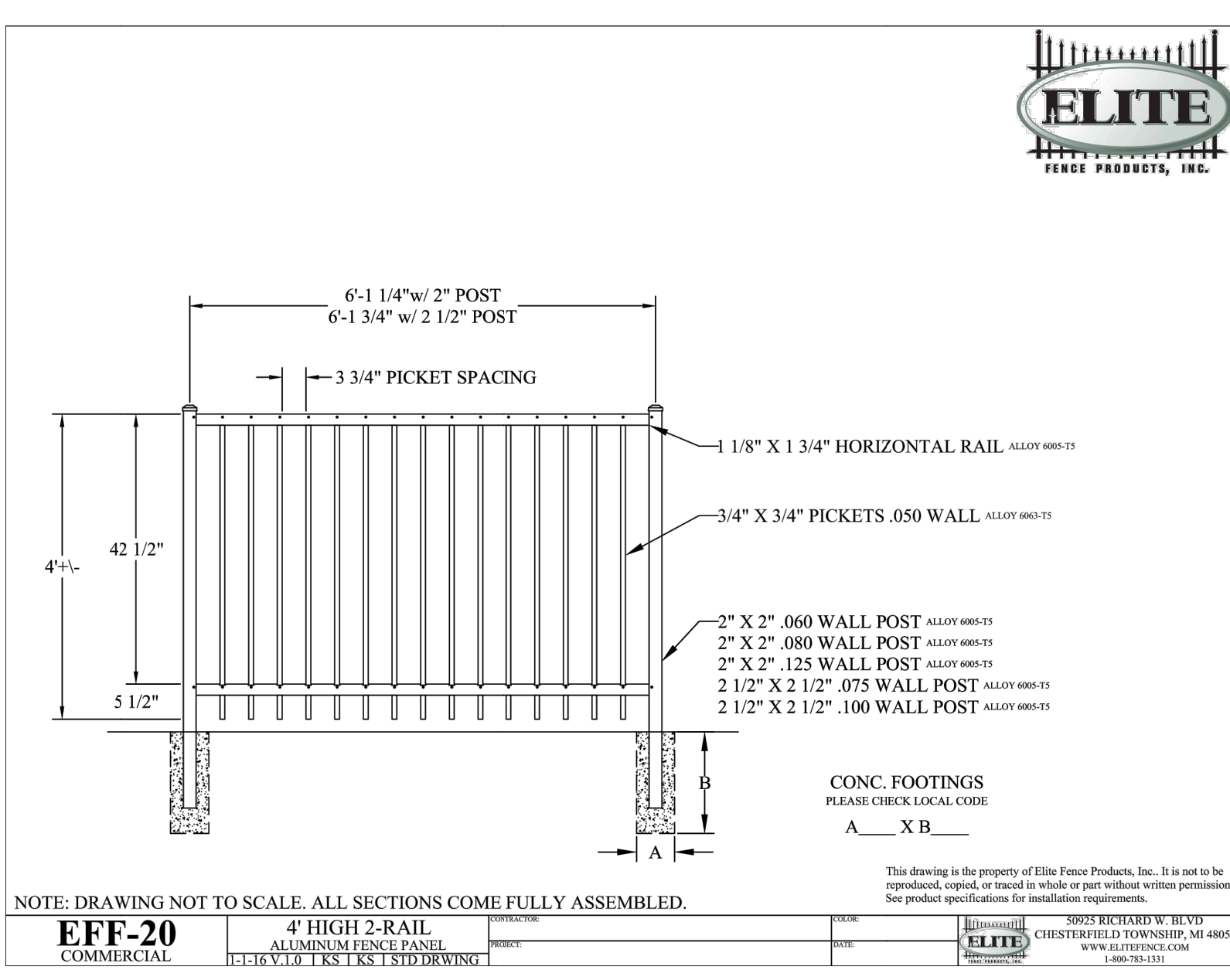
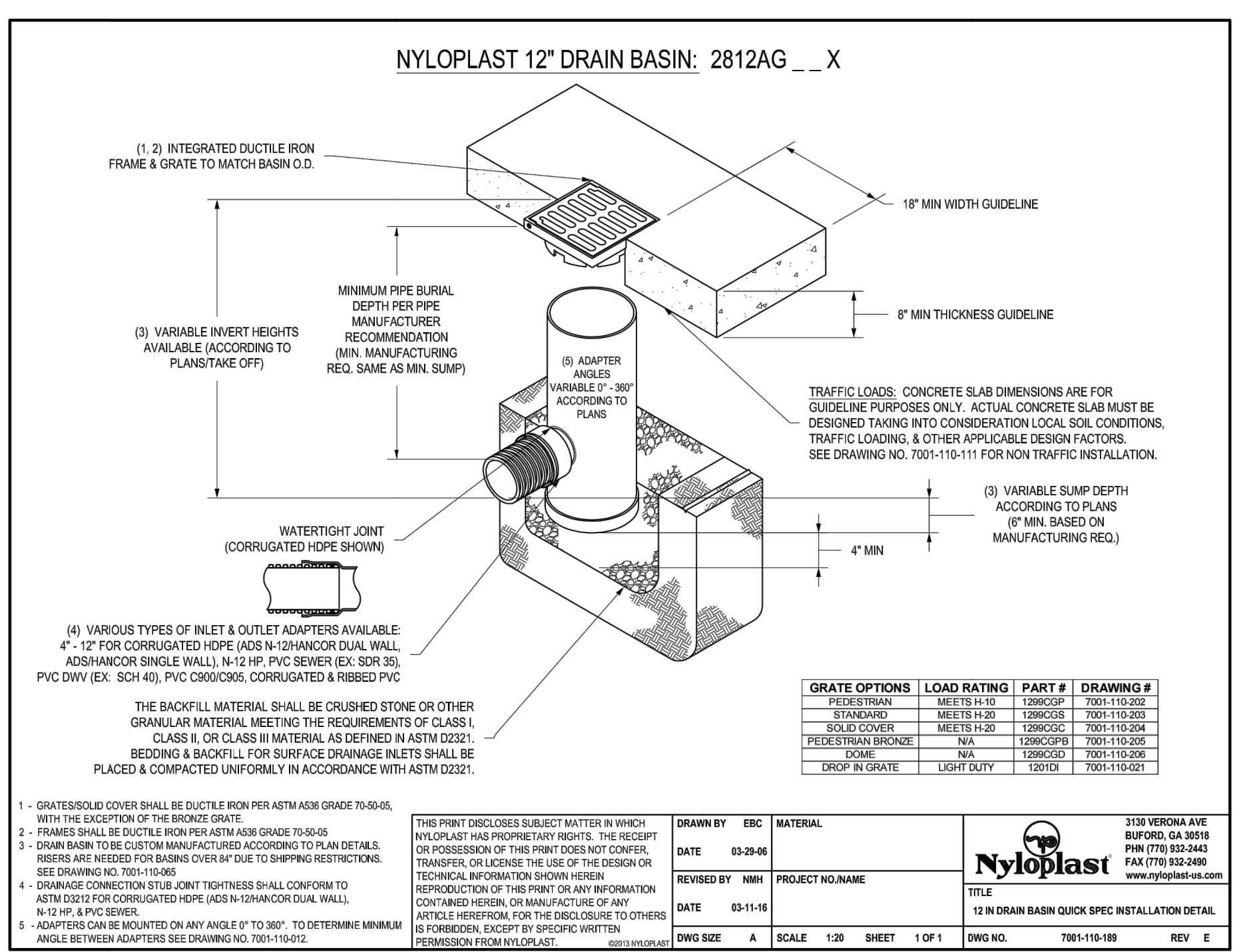
**ROCK CHUTE DETAIL**  
NO SCALE



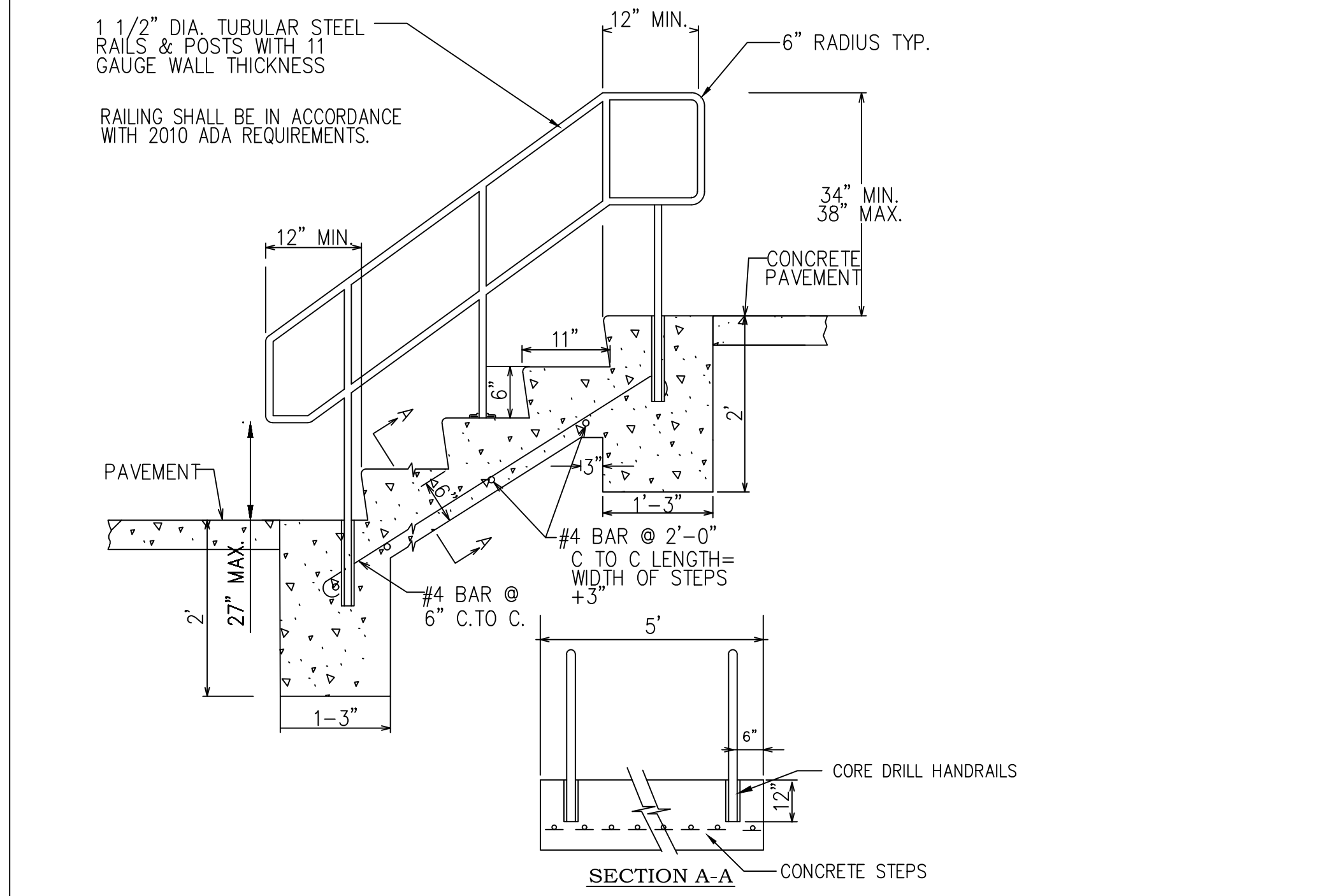
**TRENCH DETAIL FOR PVC, HDPE, AND RIGID PIPE**  
NO SCALE



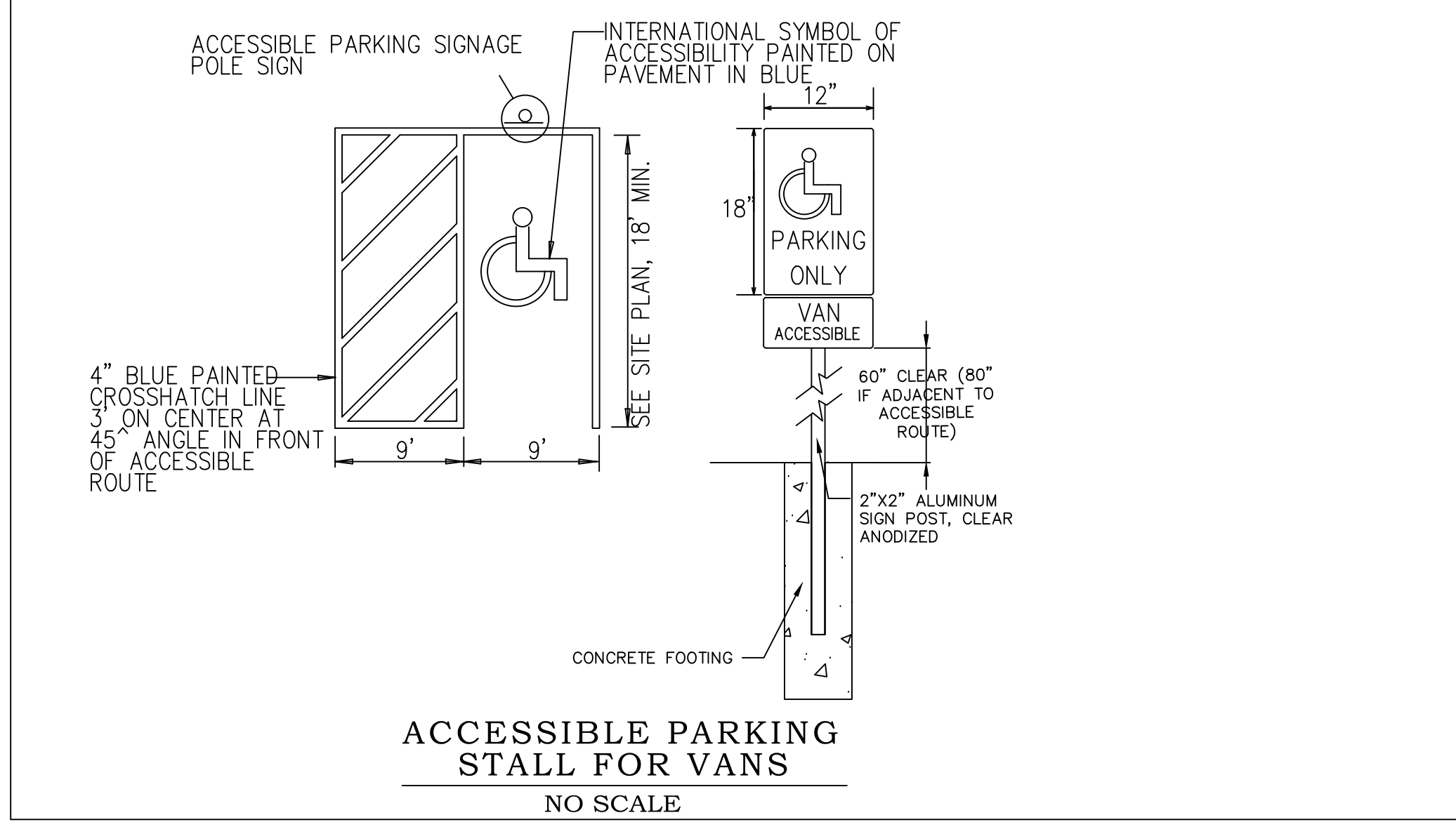
**ALLAN BLOCK RETAINING WALL DETAIL**  
NO SCALE



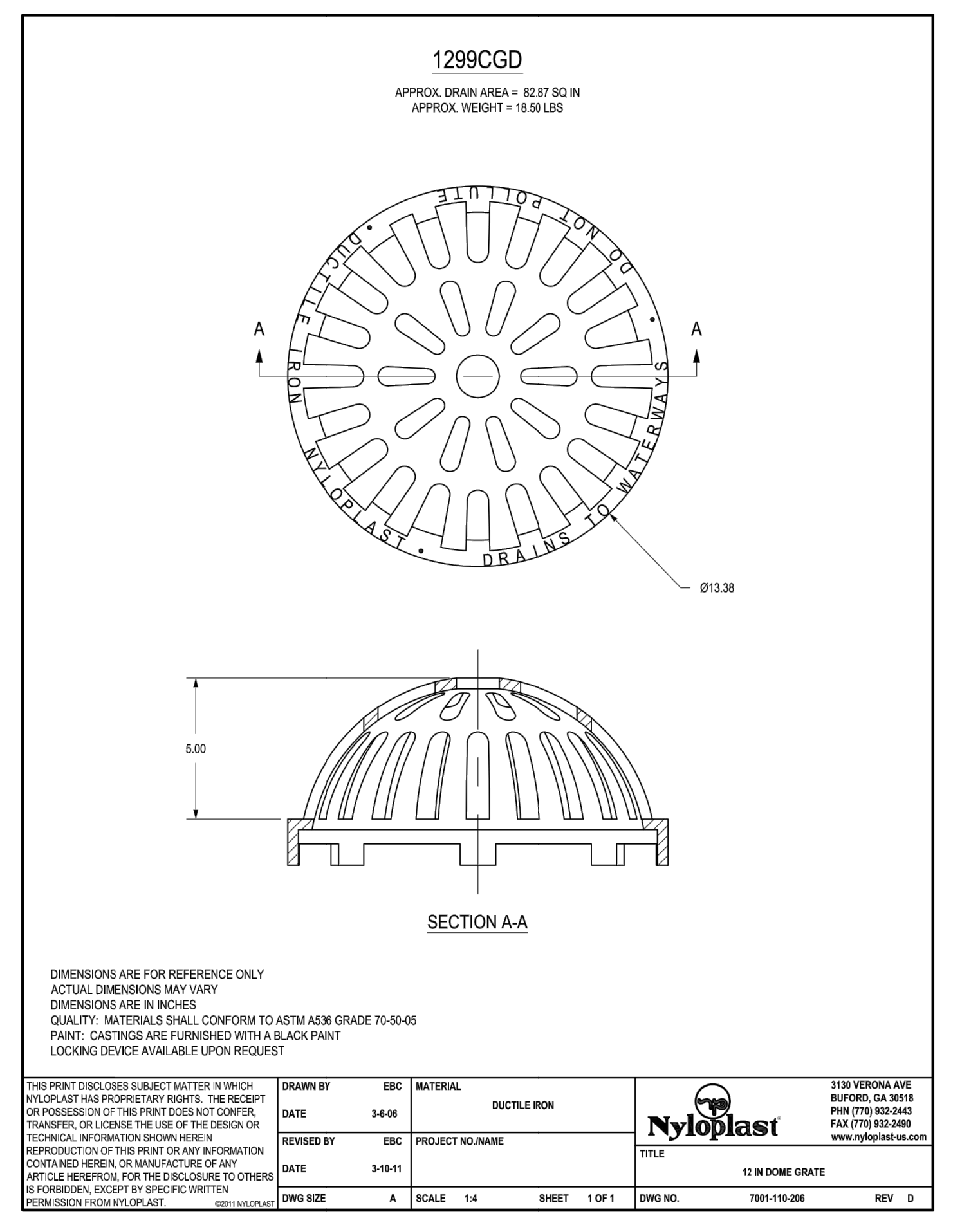
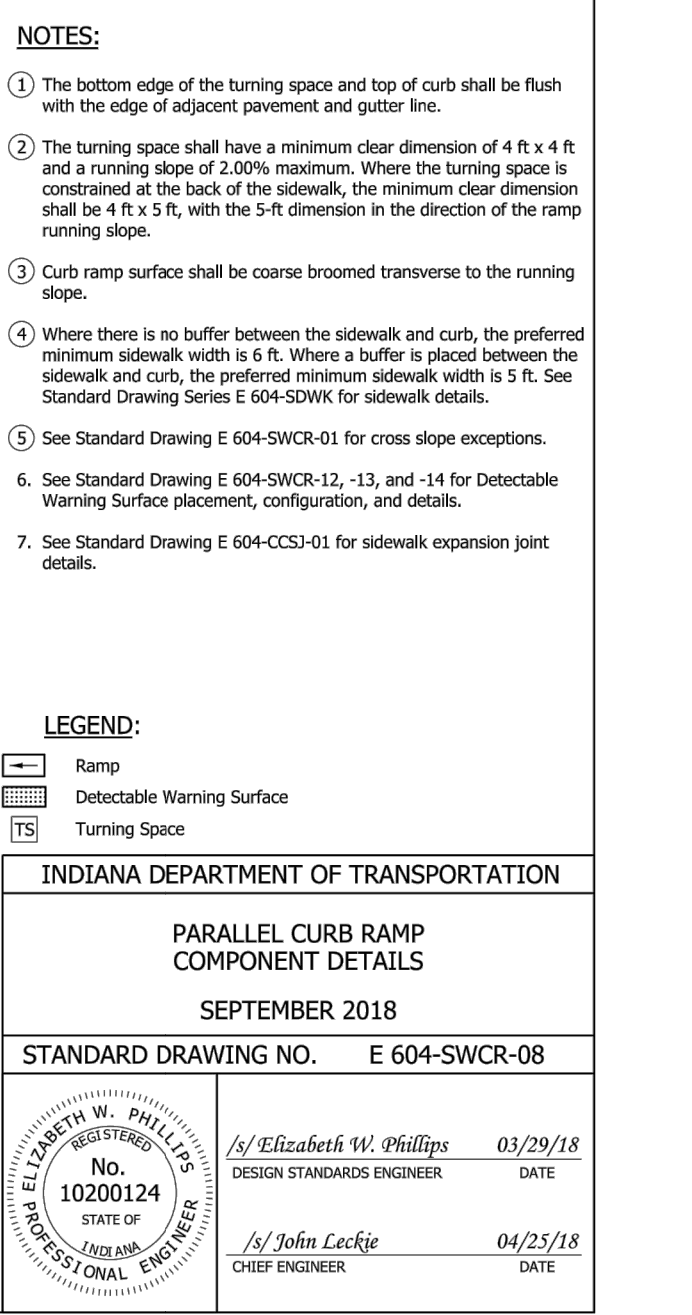
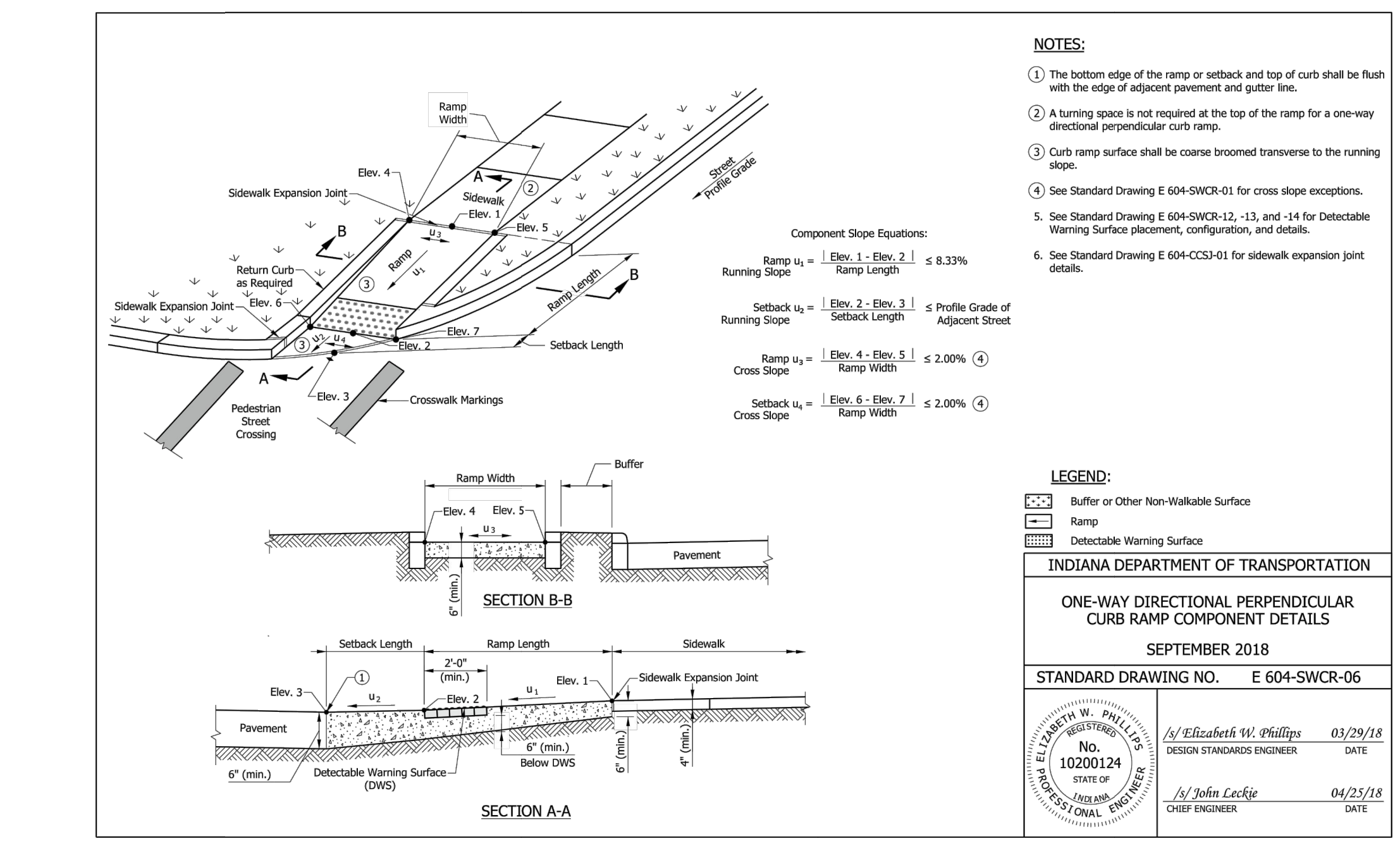
**RAILING DETAIL**  
NO SCALE



**CONCRETE STAIR DETAIL**  
NO SCALE



**ACCESSIBLE PARKING STALL FOR VANS**  
NO SCALE



1299CGD	APPROX. DRAIN AREA = 82.87 SQ IN	APPROX. WEIGHT = 18.50 LBS
12 IN DOME GRATE		

**SMITH DESIGN GROUP**  
CIVIL ENGINEERING - LAND SURVEYING  
2755 E Canada Dr Suite 101 Bloomington, IN 47401  
(317) 338-6536

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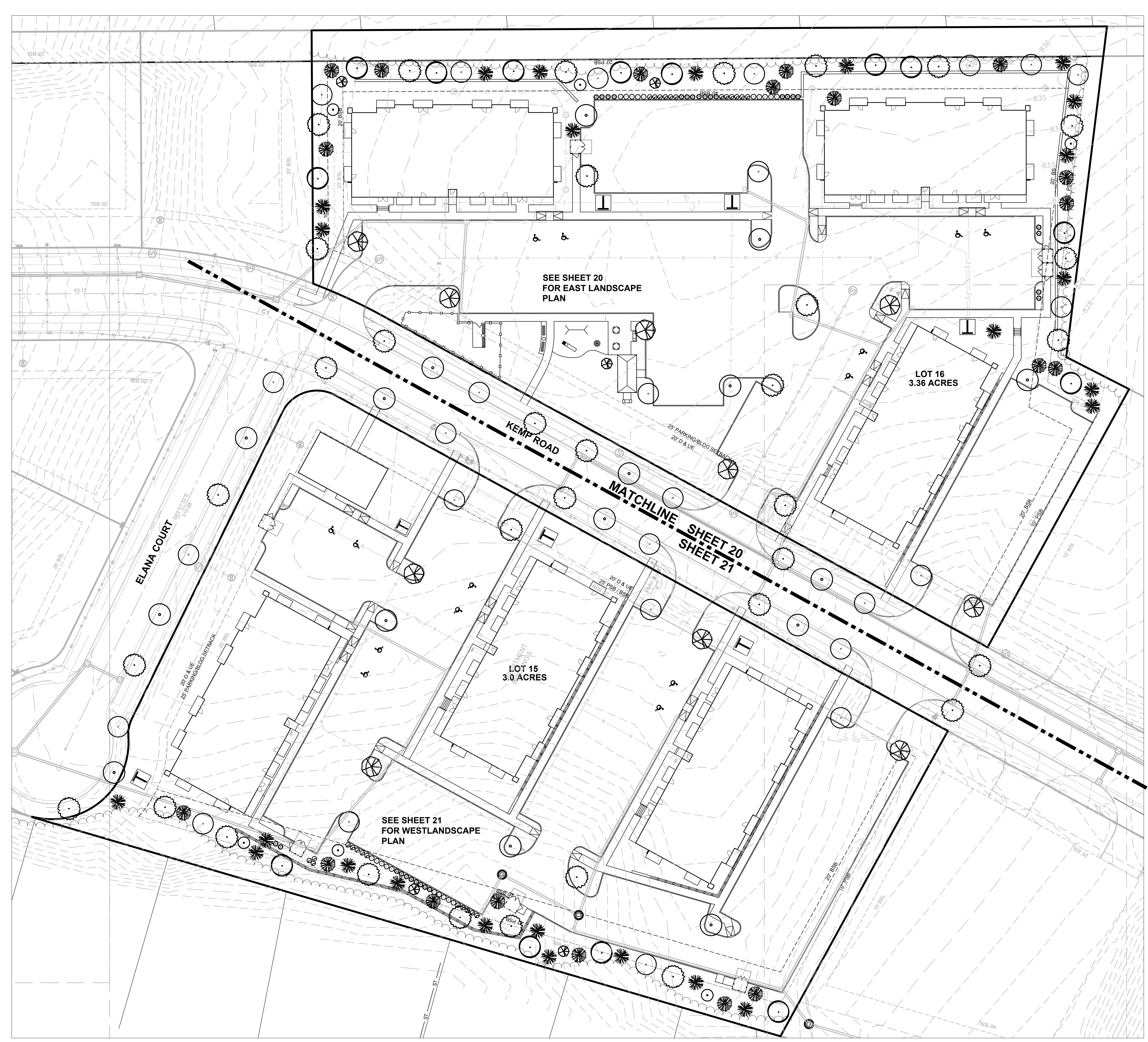
**FLATS ON 46**  
3888 W. STATE ROAD 46  
ELLETTTSVILLE, IN 47404

REVISIONS	BY	DATE

DESIGNED		DATE	
CHECKED		DATE	
		DATE	

JOB NUMBER	6213
SHEET	16 OF 20
DATE	10/01/2021
CIVIL DETAILS (2)	





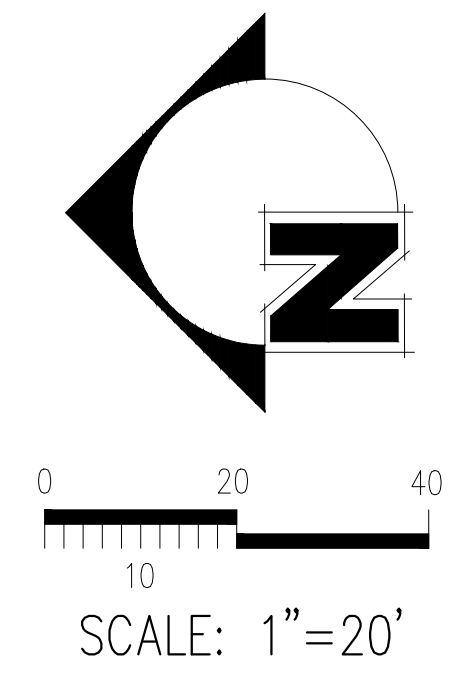
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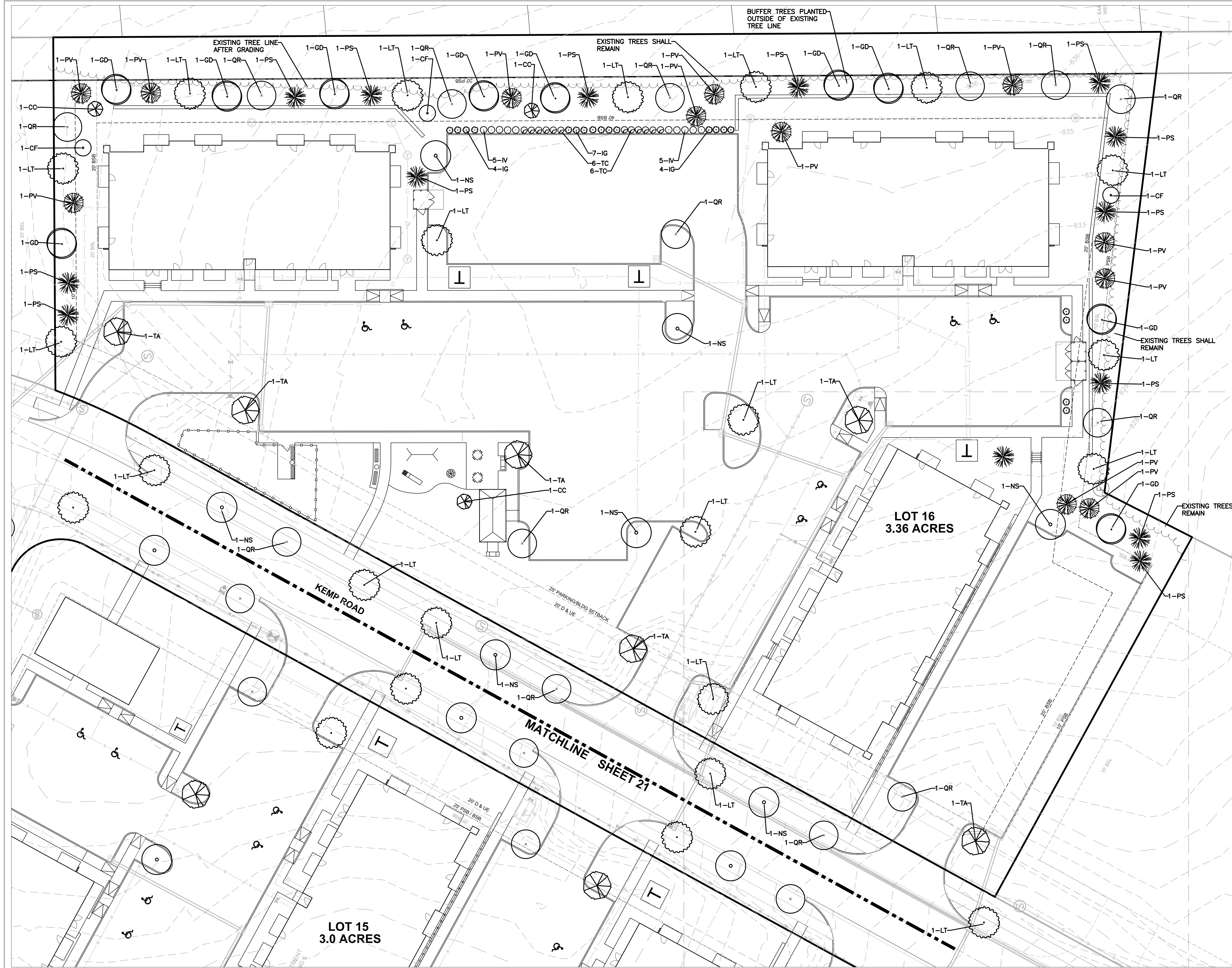
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JOB NUMBER	6213
SHEET	17 OF 20
DATE	10/01/2021

OVERALL LANDSCAPE

- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
  - SANITARY SEWER LINE
  - SANITARY LATERAL
  - ⊙ SANITARY CLEANOUT
  - ⊙ WATER VALVE
  - ⊙ FIRE HYDRANT
  - ⊙ WATER AIR RELEASE VALVE
  - ⊙ WATER METER
  - WATER LINE
  - ⊙ STORM INLET
  - ⊙ STORM MANHOLE
  - ⊙ STORM YARD INLET





REVISIONS	BY	DATE

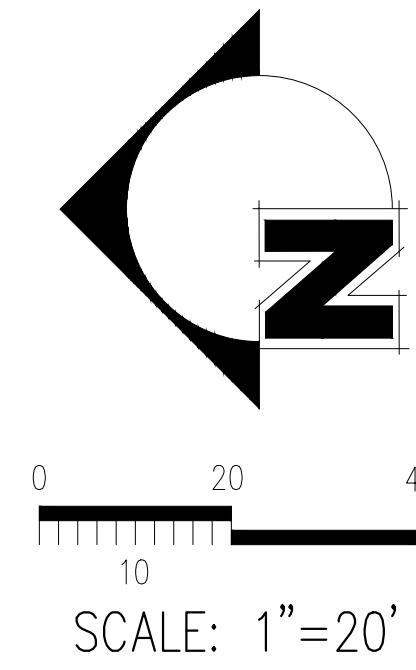
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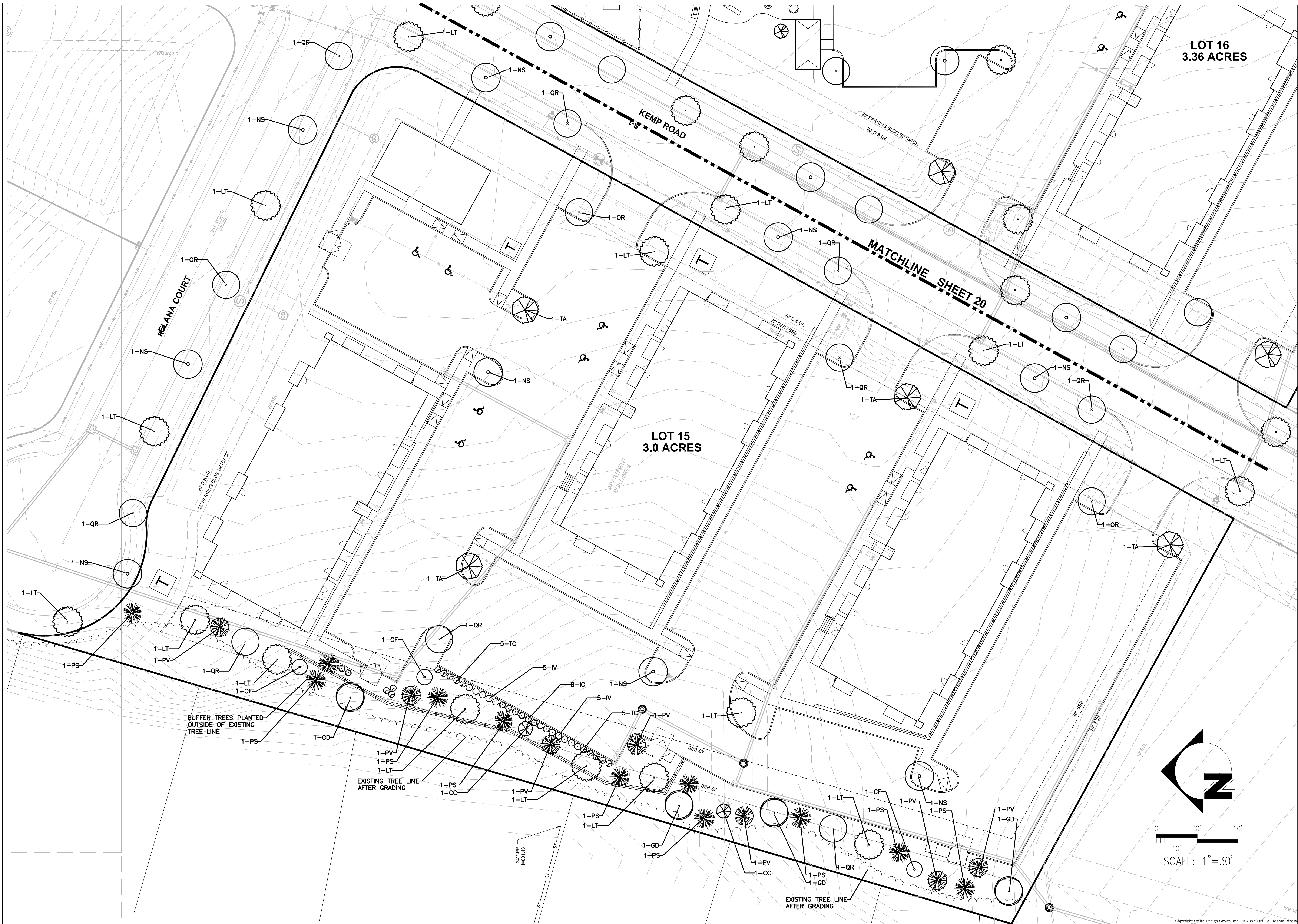
JOB NUMBER  
**6213**

SHEET  
**18 OF 20**

DATE  
**10/01/2021**

EAST LANDSCAPE PLAN





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 CIVIL ENGINEERING LAND SURVEYING  
 2755 E. COLLETSVILLE AVENUE  
 ELLETTSVILLE, IN 47404  
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**FLATS ON 46**  
 3888 W. STATE ROAD 46  
 ELLETTSVILLE, IN 47404

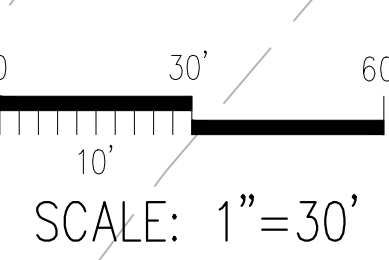
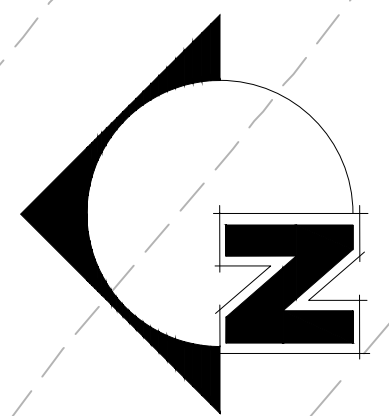
REVISIONS	BY	DATE

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JOB NUMBER: **6213**  
 SHEET: **19 OF 20**

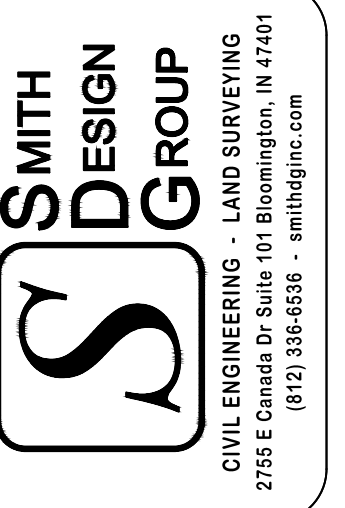
DATE: **10/01/2021**

**WEST LANDSCAPE PLAN**



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PLANT TABLE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	D-VALUE
		TREES			
CC	5	CERCUS canadensis	Eastern Redbud	2" Caliper	
CF	6	CORNUS florida	Flowering Dogwood	2" Caliper	
GD	14	GYMNOCLADUS dioica	Kentucky Coffee Tree	2" Caliper	
LT	34	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	
PS	25	PINUS strobus	White Pine	6' Hgt.	
PV	19	PINUS virginiana	Virginia Pine	6' Hgt.	
NS	16	NYSSA sylvatica	Black Tupelo	2" Caliper	
QR	26	QUERCUS rubra	Northern Red Oak	2" Caliper	
TA	10	TILIA americana	Basswood	2" Caliper	
		SHRUBS			
IG	29	ILEX glabra	Inkberry	3 Gallon	
IV	20	ITEA virginica	Virginia Sweetspire	3 Gallon	
TC	25	TAXUS Canadensis	Canadian Yew	3 Gallon	



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FLATS ON 46  
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**6213**

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DATE  
**10/01/2021**

LANDSCAPE NOTES AND DETAILS

**Flats on SR 46 Ellettsville  
Zone PUD**

**Landscape Requirements Lot 16 Multi Family 3.36 Acres**

**Street Trees Required**  
1 canopy tree per 40 feet of property that abuts a public right-of-way or public street, entrance drives excluded from calculation  
Kemp Road = 498lf-81lf (drives)=417 LF = 11 Trees Required

**Interior plantings for Multifamily Development lot 16**  
Lot Area 3.36 acres. Buildings, parking lots, walks, and buffer = 2.26 AC.  
Area not covered = 1.1 AC

Area not covered by structure, parking lot or buffer shall have 14 large canopy trees, 5 evergreen trees and 5 med or small canopy trees required.  
**17 large canopy trees required, 6 evergreen trees required, and 6 med or small trees required.**

36 shrubs required per acre of site not covered by parking lot, walks, or structure or buffer.  
**40 Shrubs required**

**Buffer Zone Lot 16**

**Existing Tree lines shall be preserved**  
Buffer shall be 6' high and 10 feet wide between multifamily area and single-family lots/ Buffer shall be a mix of evergreen and deciduous trees at 20' on center  
Buffered Yard 944' = 48 trees required

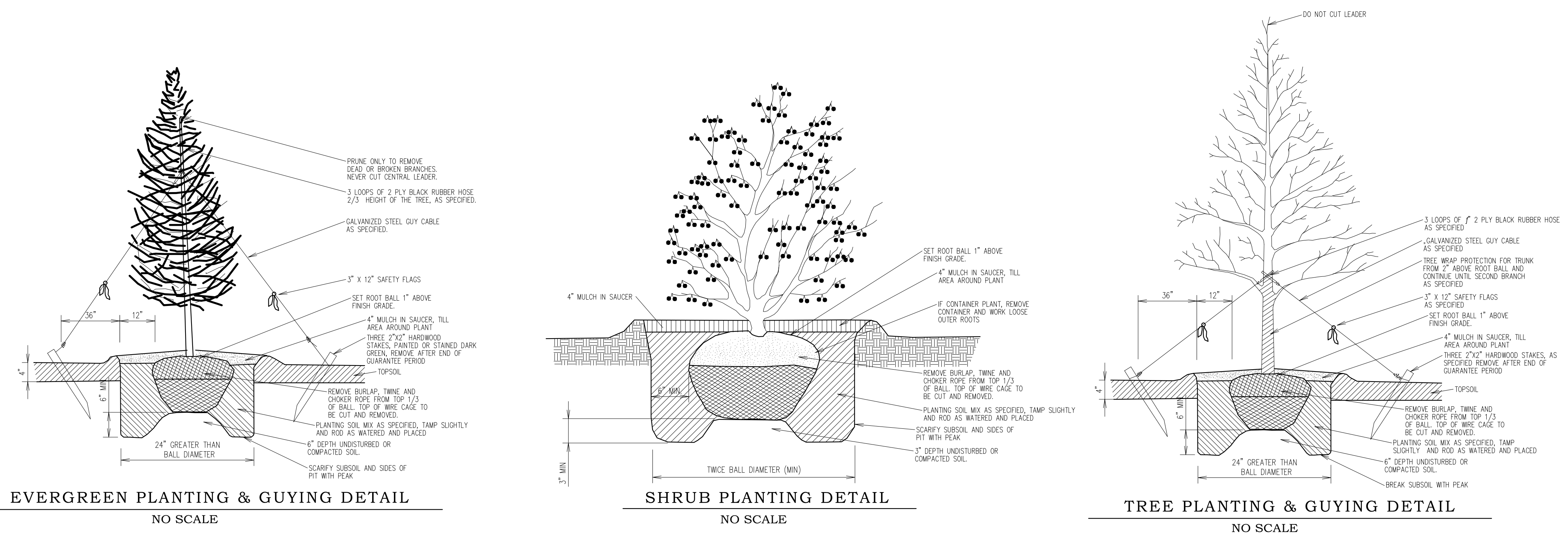
**Landscape Requirements Lot 15 Multi Family 3.0 Acres**

**Street Trees Required**

1 canopy tree per 40 feet of property that abuts a public right-of-way or public street, entrance drives excluded from Calculation  
Kemp Road = 476 lf-81 lf (drives)=395 LF = 10 Trees Required  
Elana Court = 349 lf = 9 trees required

**Interior plantings for Multifamily Development**

Lot Area 3.0 acres. Buildings, parking lots, walks, and buffer = 2.1 AC  
Area not covered = .9 AC



**LANDSCAPE NOTES**

- 1) PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY PLANNING PRIOR TO INSTALLATION.
- 2) ALL LANDSCAPED BEDS AND ISLANDS SHALL RECEIVE A MINIMUM OF 18" OF PLANTING MIX, 4" OF SHREDDED HARDWOOD BARK MULCH. BEDS SHALL HAVE A SPADE CUT EDGE.
- 3) THE PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING EXISTING AND NEW LANDSCAPING AS SHOWN ON THE APPROVED PLAN.

**FINISH LAWN TYPE**

FINISHED SEED MIXTURE shall be 50 lb/ac of Perennial Ryegrass, 50 lb/ac of Certified Common Kentucky Bluegrass, and 50 lb/ac Merit Kentucky Bluegrass or approved equivalent. Contractor shall seed at a rate of 150 lbs/acre.