#### AGENDA ELLETTSVILLE PLAN COMMISSION Town Hall 1150 W. Guy McCown Drive Ellettsville, Indiana Thursday, April 4, 2024 - 6:00 P.M.

#### **Pledge of Allegiance**

**Roll Call** 

Approval of Minutes – March 7, 2024

#### **Monthly Conflict of Interest Statement**

#### **Old Business**

#### **New Business**

Voluntary Annexation of 317 E. Main Street, Ellettsville (.50 Acres); Petitioner: Lindsey Norris; Case No. PC 24-12

Voluntary Annexation of 313 E. Main Street, Ellettsville (.50 Acres); Petitioner: Lindsey Norris; Case No. PC 24-17

Voluntary Annexation of 6140 N. Starnes Road and Starnes Road, Ellettsville (two parcels totaling 143 Acres); Petitioner: Umbaugh Farms LLP; Case No. PC 24-15

Preliminary Plat Pre-Approval for 115 Lots (151 Acres) in Phase 1 of the Proposed Harmon Farms Subdivision (7633 W. State Road 46); Petitioner: Chris Smith; Case No. PC 24-14

#### **Planning Department Update**

Town Council Work Session: Monday, April 22, 2024, 7:00 p.m., or after the Town Council meeting, at Town Hall

Next Meeting – May 2, 2024

#### Privilege of the Floor - Non-Agenda Items

#### **Plan Commission Comments**

#### Adjournment

The Town of Ellettsville is inviting you to a scheduled Zoom meeting.

Topic: Plan Commission Time: Apr 4, 2024 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting https://us02web.zoom.us/j/83673071482?pwd=REtQdE9UODZjMHFPTmlMdnZjT0VQQT09

Meeting ID: 836 7307 1482 Passcode: 532508

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Dial by your location

- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 931 3860 US
- +1 929 205 6099 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US

Meeting ID: 836 7307 1482 Passcode: 532508

### March 7, 2024

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, March 7, 2024, at Town Hall. David Drake called the meeting to order at 6:00 p.m. and Dan Swafford led the Pledge of Allegiance.

**Roll Call:** Members participating were: David Drake, President; Dan Swafford, Vice President; Steve Hale; Pamela Samples and Ryan Skaggs. Denise Line, Planning Director, Mike Burns, Assistant Planner, and Darla Brown, Town Attorney, were also present. Zach Michael and Pat Wesolowski were absent.

#### **Approval of the Minutes**

David Drake entertained a motion to approve the minutes for the regular meeting on February 1, 2024. Steve Hale made a motion to approve the minutes for February 1, 2024. Dan Swafford seconded the motion. Motion carried.+

#### **New Business**

# Development Plan Approval for a Car Wash located at 4200 N. Kemp Road; Petitioner: Jay Strauss; Case No. PC 24-08

**Denise Line, Planning Director,** explained the .82-acre subject property is located at 4200 N Kemp Road and is zoned C-3 General Business. The car wash is 7430 square feet and would be accessed from Kemp Road. During tech review the petitioner was asked to voluntary add landscaping and buffering along the State Road 46. The petitioner responded that is a question for planning. Grading was done on the site without a grading permit. Staff recommends that the plan commission approve the Development Plan with the following conditions being met prior to building permit approval. Written approval from Ellettsville Utilities that the water requirements can be met; submit a grading permit application for approval and issuance of a grading permit; landscape buffer along West State Road 46; drawings of physical address to be placed on building; and provide information on the type of check valve to be used on the project.

**Ken Blackwell, Developer of Ellis Ridge**, explained that he did not know that his existing grading permit was not valid and stopped work when he was notified by Denise.

**Jay Strauss, Petitioner,** described the type of building and the equipment that would be used. He is agreeable to landscape buffering along State Road 46 and the other conditions outlined by Denise. He stated that he will install a fence on the east side to block headlights to the homes to the east.

Nick Brehl, Local Resident, expressed his concern about noise and headlights from the business and the proposed buffering is not adequate.

Mark Dobbs, Local Resident, explained his concern about the added traffic and if there are any plans for an addition road to the east,

David Drake made a motion to approve the Development Plan with the five conditions stated by Denise and an additional condition that a six feet privacy fence be installed on the east side property line for 40-60 feet. Steve Hale seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried.

# Preliminary Plat Approval for Seventeen (17) Single-Family Residential Lots (8.29 Acres) in the Prominence Fields, Phase 3, Subdivision (N. Louden Road); Petitioner: Valu-Built Construction; Case No. PC 24-11

**Denise Line, Planning Director,** explained the subject property is located north of West Upland Drive and parallel to North Louden Road to the west. The property is zoned R-1 Single Family Residential and will be accessed from N. Zoiey Way. Lots will meet the size requirements granted by the Board of Zoning Appeals on December 13, 2023 which allowed a reduction of the lot width to 50 feet and a lot size to 8,500 square feet. Staff recommends that the plan commission approve the Preliminary Plat.

AJ Willis, Engineer, Bynum Fanyo & Associates explained this case is about continuing the subdivision with another phase and there will three water quality detention ponds. Sewer connection will be to the existing two phases of Prominence Fields.

Ryan Skaggs made a motion to approve the Preliminary Platt. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

#### Development Plan Approval for a Maintenance and Office Building located at 901 N. Guy McCown Drive; Petitioner: Town of Ellettsville Department of Public Works; Case No. PC 24-09

**Denise Line, Planning Director,** explained the subject property consists of 4.6 acres and is zoned C-3 Neighborhood Commercial. The building is approximately 24,000 square feet in size. It will be accessed from West Guy McCown Drive. Staff recommends that the plan commission approve the Development Plan.

AJ Willis, Engineer, Bynum Fanyo & Associates explained that the curve was widened to allow truck access. When drive reaches building it will be split to separate truck and car traffic. The building features office space as well as six garage bays. There is a fenced in area for storage. The goal for completion is Christmas of this year.

**Jeff Schunn, local resident,** stated his concern with the large trucks exiting from W Guy McCown Drive on State Road 46 given the speed of the traffic on State Road 46.

**Kip Headdy, Street Commissioner,** explained that his crews leave in the morning and come back in the afternoon so traffic should not be a concern.

Steve Hale made a motion to approve the Development Plan. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

#### Development Plan Approval for a Student Activity Center at Edgewood High School (601 S. Edgewood Drive); Petitioner: Bledsoe Riggert Cooper & James; Case No. PC 24-06

**Denise Line, Planning Director,** explained the building will be 23,000 square feet located on 1.4 acres and zoned R-1 Single Family Residential. A parking lot will be added and there is also some remodeling and demolition. The project will be will be accessed from South Edgewood Drive and West Edgewood Drive. Staff recommends that the plan commission approve the Development Plan.

**Bill Riggert, Riggert Bledsoe Cooper James Engineering,** explained the addition will go out into the west parking lot. A new parking lot will be added too the west side at the practice football field.

Misha Beljayer, Representative for Petitioner, explained that this addition is not for added enrollment. It will free up space to for the cafeteria and kitchen area.

Jerry Sanders, Superintendent RB&B School, explained that the current auxiliary gym is not large enough to for spectators and is a safety concern. This addition will provide a larger space for sporting events.

**Roger Floyd, Local Resident,** expressed this concern about a barrier between this addition and the homes in his neighborhood.

Steve Hale made a motion to approve the Development Plan. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

#### Development Plan Approval for an Early Childhood Center for Richland-Bean Blossom Community School Corporation (7710 W. Reeves Road); Petitioner: Bledsoe Riggert Cooper & James; Case No. PC 24-07

**Denise Line, Planning Director,** explained this building would be 33,094 square feet and is on a 5.5-acre lot. The property is zoned R-1 Single Family Residential and accessed from West Reeves Road. Criteria D was not met on this project, which addresses capacity of adjacent streets to ensure they can safely and efficiently accommodate the additional traffic generated by the development. There are many complaints now about the heavy traffic on Reeves Road. Included in the original packet was a design for an emergency access road that was not approved by the Fire Department. Earlier today an amended emergency road design was agreed by the fire department and the school.

Jerry Sanders, Superintendent RB&B School, explained this project would not require all the students to arrive at the same time. The new pre-school will have a minimal impact on the current traffic issues. The school will continue to do its best to keep traffic on the school property instead of the road. The possible expansion of Sycamore Street will also help with traffic.

**Kevin Patton, Ellettsville Fire Chief**, explained the concern was there was no access to the rear of this building for fire equipment. During tech review the engineering firm came with a design for a green roadway. The concern is that these are hard to maintain in the winter. We asked if this could be a blacktop road to the parking lot. However, the school plans call for a new building in this location which means it would have to be removed in the future. The agreement we came up with was a partial road that would allow for access to this new building.

Steve Hale made a motion to approve the Development Plan. Pamela Samples seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

### **Planning Department Updates**

**Denise Line, Planning Director,** advised next month's meeting is on April 4, 2024 and there will be new business.

#### **Plan Commission Comments**

#### **Privilege of the Floor**

#### Adjournment

David Drake adjourned the meeting at 7:30 p.m.

David Drake, President

Ryan Skaggs

Pamela Samples

Pat Wesolowski

Dan Swafford, Vice President

Steve Hale

Zach Michael

Mike Burns, Secretary



Town of Ellettsville Department of Planning & Development

### PC 24-12 – Voluntary Annexation Petition Staff Report

#### **Petition**

**Case - PC 24-12 – Lindsey Norris Annexation.** A request by Lindsey Norris, to voluntarily annex a parcel totaling approximately one-half (.50) acres of land. The subject parcel is located at 317 E. Main Street.

#### Surrounding Zoning Districts & Uses



	Zoning District	Property Use
North:	AG/RR: Agricultural/Rural Reserve (County)	Vacant Land
South:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential
East:	R-1; Single Family Residential	Vacant Land
West:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential

#### **Considerations**

The petitioner is requesting to annex one (1) parcel totaling approximately one-half (.50) acres of land, located at 317 E. Main Street.

1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:

- a. Consent of 100% of the property owners within the area to be annexed.
- b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
- 2. The proposed annexation area is 32% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
- 3. The properties are currently zoned IP, Institutional Public, by Monroe County and is recommended to be designated as Residential-1, Single Family Residential upon annexation.
- 4. The property will be located in Council Ward 3.
- 5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
- 6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

#### **Plan Commission Action**

The Plan Commission action shall be in the form of a *favorable, unfavorable,* or *no recommendation* to Town Council, which takes final action on the annexation petition.

#### Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of R-1, Single Family Residential, upon annexation.

Submitted by Denise Line Director, Ellettsville Planning April 4, 2024







(313 E. Main Street & 317 E. Main Street share a driveway.)



# Town of Ellettsville Department of Planning & Development

#### FISCAL PLAN Norris Annexation

### Location: 317 E. Main Street Size: +/- .50 acres Number of Parcels: 1 Current Zoning (Monroe County): IP; Institutional/Public Proposed Zoning: R-1; Single Family Residential

#### State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed is thirty-two percent (32%) contiguous to the boundaries of the municipality;

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

- 1. The cost estimates for planned services to be furnished to the property to be annexed;
- 2. The method or methods of financing the planned services;
- 3. The organization and extension of services;
- 4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
- 5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
- 6. The estimated effect on taxpayers in the Town of Ellettsville;
- 7. The effect of annexation on the Town of Ellettsville finances;
- 8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
- 9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

#### Project Description

#### **Contiguity**

The property to be annexed by the Town of Ellettsville has a total border of 615.44 feet and is contiguous along 197.67 feet. The total percentage contiguous is 32%, meeting contiguity requirements of Indiana Code and will be zoned Residential-1; Single Family Residential.

#### Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

#### **Organization and Extension of Services**

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

#### 1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

#### 2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

#### **Financial Recommendations**

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

- 1. Real Property Tax
  - a. The net assessed valuations of the parcel as of April 6, 2023, is \$83,000 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
- 2. Personal Property Tax
  - a. There will likely not be personal property taxes associated with development of this parcel.
- 3. Local Income Tax (LIT)
  - a. On July 1<sup>st</sup> of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the

proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.

- 4. Water/Sewer
  - a. There are no expected cost increases to the Town to provide these services.

#### Effect of Annexation

- 1. Estimated Effect on Taxpayers in Ellettsville
  - a. The estimated tax rate would drop from 0.5673 to 0.6071 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
  - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of
     0.004 would amount to approximately \$8.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
  - c. The annexation will not require any increase in expenditures.
  - d. The annexation of this parcel should have no noticeable effects on service levels.
  - e. The annexation will have minimal to no effect on annual debt service payments.
- 2. Estimated Effect on Municipal Finances
  - a. The estimated levy increase due to the annexation is \$400.47. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$1,601.88 over this time period compared to the growth rate without annexation.
  - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
- 3. Estimated Effect on Other Political Subdivisions
  - a. There is no outstanding Monroe County debt tied to income taxes to consider.
  - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
  - c. Richland Township currently has \$38,475 of outstanding debt to be paid in full by end of calendar year 2024.
    - i. Ellettsville would be required to repay a total of \$4.88 to cover the amount lost from annexation. (See appendix for yearly totals)
  - d. There is a tax rate totaling 0.14430 for Richland Township Fire that would result in approximately \$107 per year that would be lost due to annexation.
    - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
  - e. The circuit breaker does not come into effect for this annexation.

#### Parcels to be Annexed

- 1. Parcel ID No. 53-04-10-100-003.001-011
  - a. Property Owner Lindsey & Joshua Norris
  - b. Property Address 317 E. Main Street
  - c. Assessed Value (2023) \$83,000

#### **Other Considerations**

- 1. The property is currently zoned IP; Institutional/Public by Monroe County and all will be designated as Residential-1; Single Family Residential
- 2. All of the properties will be assigned to Council Ward 3.

#### **Summary**

The purpose of this annexation is to bring one (1) parcel into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of Residential-1; Single Family Residential.

#### Legal Description

A part of the Northeast Quarter of Section Ten (10), Township Nine (9) North, Range Two (2) West in Monroe County, Indiana, more specifically described as follows, to-wit: Commencing at the southeast corner of said Northeast Quarter of Section Ten (10) and proceeding in a Westerly direction along the south line of said Northeast Quarter a distance of one thousand three hundred forty (1340) feet to a point; thence North 45 degrees 45 minutes West a distance of three hundred fifty-four (354) feet to a stake, which is the Point of Beginning; thence at right angles in a Northeasterly direction a distance of one hundred ninety-eight (198) feet to a stake; thence at right angles in a Northwesterly direction a distance of one hundred ten (110) feet to a stake; thence at right angles in a Southwesterly direction a distance of one hundred ten (110) feet to the point of beginning; the parcel containing a calculated area of twenty-one thousand seven hundred eighty (21,780) square feet, more or less.

Also an easement for ingress and egress over a center line bounded and described as follows: Beginning at a point at right angles to and twenty (20) feet Northeast of the southwest corner of the tract herein conveyed; thence running in a Northwesterly direction to a point where the center line of said easement coincides with a line running South 86 degrees 30 minutes East along the southeast side of Kenneth E. Kettery and Jane Kettery, husband and wife, property; and running on said line South 86 degrees 30 minutes East for a distance of five hundred fortysix (546) feet to the center line of the County Road, it being stipulated that the grantees herein shall have the right to maintain said road for a distance of twenty (20) feet on each side of said center line and said easement for ingress and egress shall be a covenant running with the land, and shall run in favor of the grantees herein and their successors in title. The easement granted to the grantees herein is subject to equal rights, as granted by another easement to Frederick Deford and Phyllis L. Deford, husband and wife.



### Appendix - Fire Levies & Township Debt

<b>Richland Township</b> FIRE CUMULATIVE FIRE (Township)	<b>2</b> \$ \$	024 Certified Levy 736,950 206,634	2024 Certified Net Assessed Valuation \$653,903,847 \$653,903,847	
Total Fire Tax Rate				0.14430
			NAV (Less Annexed	
Richland Township		Levy	Parcels)	Adjusted Tax Rate
FIRE	\$	662,831	\$ 653,820,847	0.101378
CUMULATIVE FIRE (Township)	\$	179,789	\$ 653,820,847	0.027498
Adjusted Total Fire Tax Rate				0.12888
Adjusted Total Fire Tax Rate Increase				-0.01542
Richland Township - Outstanding Debt				
Year		Principal	Interest	Total Outstanding Debt
2024		\$38,000	\$475	\$38,475
TOTAL		\$38,000	\$475	\$38,475
Debt Repayment Assessment - After Annexation				
Annexation Assessed Value	\$	83,000		
Total Township Assessed Value	\$	653,903,847		
Annex Factor		0.0001269		
2024 Debt Repayment		\$4.88	(annex factor * outsta	inding debt)
Total Debt Repayment Due to Annexation		\$4.88		



*Town of Ellettsville Department of Planning & Development* 

### PC 24-17 – Voluntary Annexation Petition Staff Report

#### **Petition**

**Case - PC 24-17 –Lindsey Norris Annexation.** A request by Lindsey Norris, to voluntarily annex a parcel totaling approximately one-half (.50) acres of land. The subject parcel is located at 313 E. Main Street.

#### Surrounding Zoning Districts & Uses



	Zoning District	Property Use
North:	AG/RR: Agricultural/Rural Reserve (County)	Vacant Land
South:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential
East:	Formerly IP; Institutional Public (County)	Vacant Land
	(Adjacent property is being annexed into Ellettsville and will be R-1; Single Family Residential	
West:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential

#### **Considerations**

The petitioner is requesting to annex one (1) parcel totaling approximately one-half (.50) acres of land, located at 313 E. Main Street.

- 1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
  - a. Consent of 100% of the property owners within the area to be annexed.
  - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
- 2. The proposed annexation area is 32% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
- 3. The properties are currently zoned AG/RR, Agricultural/Rural Reserve, by Monroe County and is recommended to be designated as Residential-1, Single Family Residential upon annexation.
- 4. The property will be located in Council Ward 3.
- 5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
- 6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

#### **Plan Commission Action**

The Plan Commission action shall be in the form of a *favorable, unfavorable,* or *no recommendation* to Town Council, which takes final action on the annexation petition.

#### **Staff Recommendation**

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of R-1, Single Family Residential, upon annexation.

Submitted by Denise Line Director, Ellettsville Planning April 4, 202











# Town of Ellettsville Department of Planning & Development

#### FISCAL PLAN Norris Annexation No. 2

#### Project Description

Location: 313 E. Main Street Size: +/- .50 acres Number of Parcels: 1 Current Zoning (Monroe County): AG/RR; Agricultural/Rural Reserve Proposed Zoning: R-1; Single Family Residential

#### **State Law Requirements**

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

 The aggregate external boundaries of the territory sought to be annexed is thirty-two percent (32%) contiguous to the boundaries of the municipality;

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

- 1. The cost estimates for planned services to be furnished to the property to be annexed;
- 2. The method or methods of financing the planned services;
- 3. The organization and extension of services;
- 4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
- 5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
- 6. The estimated effect on taxpayers in the Town of Ellettsville;
- 7. The effect of annexation on the Town of Ellettsville finances;
- 8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
- 9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

#### **Contiguity**

The property to be annexed by the Town of Ellettsville has a total border of 615.09 feet and is contiguous along 197.39 feet. The total percentage contiguous is 32%, meeting contiguity requirements of Indiana Code and will be zoned Residential 1; Single Family Residential.

#### Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

#### **Organization and Extension of Services**

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

#### 1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

#### 2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

#### **Financial Recommendations**

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

- 1. Real Property Tax
  - a. The net assessed valuations of the parcel as of April 6, 2023, is \$91,400 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
- 2. Personal Property Tax
  - a. There will likely not be personal property taxes associated with development of this parcel.
- 3. Local Income Tax (LIT)
  - a. On July 1<sup>st</sup> of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the

proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.

- 4. Water/Sewer
  - a. There are no expected cost increases to the Town to provide these services.

#### Effect of Annexation

- 1. Estimated Effect on Taxpayers in Ellettsville
  - a. The estimated tax rate would drop from 0.5673 to 0.6071 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
  - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of
     0.004 would amount to approximately \$8.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
  - c. The annexation will not require any increase in expenditures.
  - d. The annexation of this parcel should have no noticeable effects on service levels.
  - e. The annexation will have minimal to no effect on annual debt service payments.
- 2. Estimated Effect on Municipal Finances
  - a. The estimated levy increase due to the annexation is \$441. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$1,881.09 over this time period compared to the growth rate without annexation.
  - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
- 3. Estimated Effect on Other Political Subdivisions
  - a. There is no outstanding Monroe County debt tied to income taxes to consider.
  - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
  - c. Richland Township currently has \$38,475 of outstanding debt to be paid in full by end of calendar year 2024.
    - i. Ellettsville would be required to repay a total of \$4.88 to cover the amount lost from annexation. (See appendix for yearly totals)
  - d. There is a tax rate totaling 0.14430 for Richland Township Fire that would result in approximately \$107 per year that would be lost due to annexation.
    - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
  - e. The circuit breaker does not come into effect for this annexation.

#### Parcels to be Annexed

- 1. Parcel ID No. 53-04-10-100-004.001-011
  - a. Property Owner Lindsey & Joshua Norris
  - b. Property Address 313 E. Main Street
  - c. Assessed Value (2023) \$91,400

#### **Other Considerations**

- 1. The property is currently zoned AG/RR Agricultural/Rural Reserve by Monroe County and all will be designated as Residential-1; Single Family Residential
- 2. All of the properties will be assigned to Council Ward 3.

#### **Summary**

The purpose of this annexation is to bring one (1) parcel into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of Residential-1; Single Family Residential.

#### Legal Description

A part of the Northeast Quarter of Section Ten (10), Township Nine (9) North, Range Two (2) West, Monroe County, Indiana, as described in Deed Book 332, page 368 in the Office of the Recorder of Monroe County, Indiana, and more particularly described by a survey dated September 22, 1989, as follows:

Beginning at the Southeast Corner of the said Northeast Quarter, thence West 1340 feet, thence North forty-five (45) Degrees, Forth-five (45) Minutes West 464 feet to the point of beginning; thence continuing North Forty-five (45) Degrees, Forty-five (45) Minutes West 110.0 feet, thence North Forty-four (44) Degrees, Forty-five (45) Minutes East 110.0 feet, thence South Forty-four (44) Degrees, Fifteen (15) Minutes West 198.0 feet to the point of beginning.

Containing .50 acres, more or less.

ALSO: an easement for ingress and egress being 40 feet wide and being 20 feet on both sides of the under-described centerline:

Beginning at the Southeast corner of said Northeast Quarter, thence West 1340 fee, thence North Fortyfive (45) Degrees, Forty-five (45) Minutes West 484 feet to the point of beginning of said centerline: thence South Eighty-seven (87) Degrees, Thirty-one (31) Minutes, Twenty-eight (28) Seconds West 546 feet to the centerline of a county road.



### Appendix - Fire Levies & Township Debt

<b>Richland Township</b> FIRE CUMULATIVE FIRE (Township)	<b>2</b> \$ \$	024 Certified Levy 736,950 206,634	<b>2024 Certified Net</b> <b>Assessed Valuation</b> \$653,903,847 \$653,903,847	
Total Fire Tax Rate				0.14430
<b>Richland Township</b> FIRE CUMULATIVE FIRE (Township)	\$ \$	<b>Levy</b> 662,831 179,789		
Adjusted Total Fire Tax Rate Adjusted Total Fire Tax Rate Increase				0.12888 -0.01542
Richland Township - Outstanding Debt				
Year		Principal	Interest	Total Outstanding Debt
2024 <b>TOTAL</b>		\$38,000 <b>\$38,000</b>	\$475 <b>\$475</b>	\$38,475 <b>\$38,475</b>
Debt Repayment Assessment - After Annexation				
Annexation Assessed Value Total Township Assessed Value	\$ \$	91,400 653,903,847		
Annex Factor		0.0001398		
2024 Debt Repayment		\$5.38	(annex factor * outsta	nding debt)
Total Debt Repayment Due to Annexation		\$5.38		



*Town of Ellettsville Department of Planning & Development* 

### PC 24-15 – Voluntary Annexation Petition Staff Report

#### **Petition**

**Case - PC 24-15 Umbarger Farms LLP Annexation.** A request by Umbarger Farms LLP, to voluntarily annex two (2) parcels totaling approximately 148 acres of land. The subject parcels are located at 6140 N. Starnes Road and N. Starnes Road.

#### Surrounding Zoning Districts & Uses



	Zoning District	Property Use
North:	I-1: Light Industrial (Ellettsville)	Commercial Warehouse
South:	AG/RR: Agriculture/Rural Reserve (County)	Agriculture/Residential (County)
East:	C-3; General Business	Mixed-Use Village Center
West:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential, Vacant Land & Agricultural Land

#### **Considerations**

The petitioner is requesting to annex two (2) parcels totaling approximately 143 acres of land, located at 6140 N. Starnes Road and N. Starnes Road.

- 1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
  - a. Consent of 100% of the property owners within the area to be annexed.
  - At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
- 2. The proposed annexation area is 49.68% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
- 3. The properties are currently zoned AG/RR, Agricultural Reserve, by Monroe County and is recommended to be designated as A-1, Agricultural, upon annexation.
- 4. The properties will be located in Council Ward 1.
- 5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
- 6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

#### **Plan Commission Action**

The Plan Commission action shall be in the form of a *favorable, unfavorable,* or *no recommendation* to Town Council, which takes final action on the annexation petition.

#### Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of A-1, Agricultural, upon annexation.

Submitted by Denise Line Director, Ellettsville Planning April 4, 2024



#### Staff Photos





# Town of Ellettsville Department of Planning & Development

#### FISCAL PLAN Umbarger Farms Annexation

#### **Project Description**

Location: 6140 N. Starnes Road

Starnes Road

**Size**: +/- 143 acres

Number of Parcels: 2

Current Zoning (Monroe County): AG/RR; Agricultural/Rural Reserve

Proposed Zoning: A-1; Agricultural

#### **State Law Requirements**

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

- The aggregate external boundaries of the territory sought to be annexed are fifteen percent (15%) contiguous to the boundaries of the municipality;
  - a. A strip of land less than 150 wide does not count towards contiguity.

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

- 1. The cost estimates for planned services to be furnished to the property to be annexed;
- 2. The method or methods of financing the planned services;
- 3. The organization and extension of services;
- 4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
- 5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
- 6. The estimated effect on taxpayers in the Town of Ellettsville;
- 7. The effect of annexation on the Town of Ellettsville finances;
- 8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and

9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

#### **Contiguity**

The property to be annexed by the Town of Ellettsville has a total border of 10,202 feet and is contiguous along 5,068 feet. The total percentage contiguous is 49.68%, meeting contiguity requirements of Indiana Code and will be zoned Agriculture 1; Agricultural.

#### Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

#### **Organization and Extension of Services**

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

#### 1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

#### 2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

#### **Financial Recommendations**

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

- 1. Real Property Tax
  - a. The net assessed valuations of the parcels as of May 10, 2022, is \$265,600 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
- 2. Personal Property Tax
  - a. There will likely not be personal property taxes associated with development of this parcel.

- 3. Local Income Tax (LIT)
  - a. On July 1<sup>st</sup> of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.
- 4. Water/Sewer
  - a. There are no expected cost increases to the Town to provide these services.

#### Effect of Annexation

- 1. Estimated Effect on Taxpayers in Ellettsville
  - a. The estimated tax rate would increase from 0.5673 to 0.6169 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
  - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.004 would amount to approximately \$16.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
  - c. The annexation will not require any increase in expenditures.
  - d. The annexation of this parcel should have no noticeable effects on service levels.
  - e. The annexation will have minimal to no effect on annual debt service payments.
- 2. Estimated Effect on Municipal Finances
  - a. The estimated levy increase due to the annexation is \$1,281.52. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$5,466.28 over this time period compared to the growth rate without annexation.
  - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
- 3. Estimated Effect on Other Political Subdivisions
  - a. There is no outstanding Monroe County debt tied to income taxes to consider.
  - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
  - c. Richland Township currently has \$38,475 of outstanding debt spread across three years to consider.
    - i. Ellettsville would be required to repay a total of \$1,393.78 over those five years to cover the amount lost from annexation. (See appendix for yearly totals)
  - d. There is a tax rate totaling 0.014430 for Richland Township fire that would result in approximately \$107 per year that would be lost due to annexation.
    - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
  - e. The circuit breaker does not come into effect for this annexation.

#### Parcels to be Annexed

- 1. Parcel ID No. 53-04-05-400-004.000-011
  - a. Property Owner Umbarger Farms LLP
  - b. Property Address N. Starnes Road
  - c. Assessed Value (2023) \$122,400
- 2. Parcel ID No. 53-04-05-400-003.000-011
  - a. Property Owner Umbarger Farms LLP
  - b. Property Address 6140 N. Starnes Road
  - c. Assessed Value (2022) \$143,200

#### **Other Considerations**

- 1. The properties are currently zoned AG/RR; Agricultural/Rural Reserve by Monroe County and all will be designated as R-1; Single Family Residential
- 2. All of the properties will be assigned to Council Ward 1.

#### **Summary**

The purpose of this annexation is to bring two (2) parcels into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of A-1; Agricultural.

#### Legal Description

#### Parcel No. 53-04-05-400-004.000-011

The Northwest Quarter of the Southeast Quarter of Section 5, Township 9 North, Range 2 West, containing 37 acres, more or less.

Parcel No. 53-04-05-400-003.000-011

The Northeast Quarter of the Southeast Quarter and the South Half of the Southeast Quarter of Section 5, Township 9 North, Range 2 West, containing 111 acres, more or less.



### Appendix - Fire Levies & Township Debt

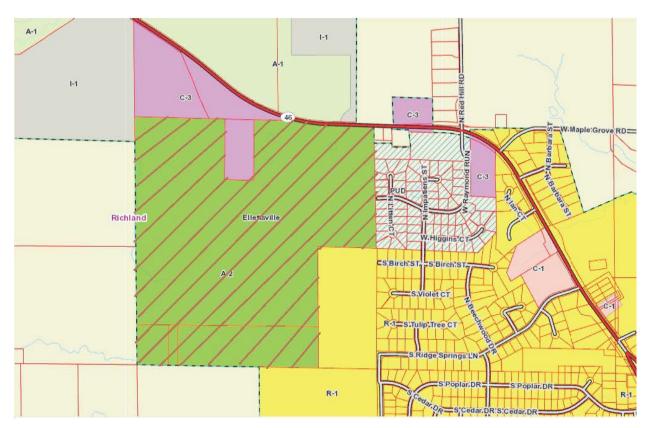
<b>Richland Township</b> FIRE CUMULATIVE FIRE (Township)	<b>2</b> \$ \$	024 Certified Levy 736,950 206,634	2024 Certified Net Assessed Valuation \$653,903,847 \$653,903,847	
Total Fire Tax Rate				0.14430
			NAV (Less Annexed	
Richland Township		Levy	Parcels)	Adjusted Tax Rate
FIRE	\$	662,831	\$ 653,638,247	0.101406
CUMULATIVE FIRE (Township)	\$	179,789	\$ 653,638,247	0.027506
Adjusted Total Fire Tax Rate Adjusted Total Fire Tax Rate Increase				0.12891 -0.01539
Richland Township - Outstanding Debt				
Year		Principal	Interest	Total Outstanding Debt
2024		\$38,000	\$475	\$38,475
TOTAL		\$38,000	\$475	\$38,475
Debt Repayment Assessment - After Annexation				
Annexation Assessed Value	\$	265,600		
Total Township Assessed Value		653,903,847		
Annex Factor		0.0004062		
2024 Debt Repayment		\$15.63	(annex factor * outsta	inding debt)
Total Debt Repayment Due to Annexation		\$15.63		



### PC 24-14 – Harmon Farms, Phase 1 Staff Report

#### **Petition**

**Case - PC 24-14 – Harmon Farms, Phase 1.** A request by Chris Smith for consideration of pre-approval of the preliminary plat for the proposed Harmon Farms, Phase 1, subdivision. The subject property is located at 7633 W. State Road 46.



	Zoning District	Property Use
North:	C-3; General Commercial, A-1; Agricultural and I-1; Light Industrial	Religious Institution/Lifeway Baptist Church and Agricultural/Vacant Land/Smithville Communications and Industrial/Smithville Communications
South:	R-1; Single Family Residential and AG/RR; Agricultural/Business-Industrial Overlay (County)	Agricultural/Richland Bean-Blossom Community School Corporation and Public Land/Well's Water Park (Town of Ellettsville)
East:	PUD; Planned Unit Development and R-1; Single Family	Litten Estates Subdivision
West:	I-1; Light Industrial and AG/RR; Agricultural/Business- Industrial Overlay (County)	Light Industrial/KeHe and Agricultural

#### **Considerations**

- The applicant is requesting preliminary plat pre-approval of approximately 151 lots totaling 115 acres in Phase 1 of the Harmon Farms Subdivision. Please note, Harmon Farms has not yet been designated as a subdivision.
- 2. The parcel is zoned Commercial-3; General Business.
- 3. The subdivision will have a temporary construction entrance accessed from W. State Road 46.
- 4. New infrastructure will be constructed to Town requirements.
- 5. The Tech Review Committee met on March 19<sup>th</sup> at Town Hall. Comments received from Town Departments are attached. All items have been or will be addressed by the date of the meeting.
- 6. A letter of credit will be required to cover any outstanding items from Tech Review and for erosion control.

#### <u>Notes</u>

The Petitioner is requesting pre-approval of the preliminary plat for Phase 1 of the Harman Farms subdivision.

The request for pre-approval is to allow the issuance of a grading permit so the Petitioner can begin infrastructure and rough-in streets and a multi-use path. Before the grading permit can be issued, Petitioner is to provide an INDOT permit for a temporary construction entrance at W. State Road 46. Grading of Phase 1 will include a connection on Harman Farms to Sycamore Drive. Petitioner will begin grading for this connection on his parcel only.

As a side note, Petitioner will construct the entire connection to Sycamore Drive from Harmon Farms to the school and will return to the Plan Commission for approval as well as going through tech review. Construction of the Sycamore Drive connection on property owned by the Richland-Bean Blossom Community School Corporation will require approval from the Parks Board, an easement for the use of park land and Plan Commission approval.

Lots will not be sold, structures cannot be constructed and building permits will not be issued. There are items on the preliminary plat that are not in compliance with Town Code. Therefore, Petitioner will be seeking variances from the Board of Zoning Appeals. Before the Petitioner can seek formal approval of the preliminary plat, approval of variances from the Board of Zoning Appeals and a traffic study will have to be provided. All easements are to be shown on the preliminary plat when Petitioner seeks formal approval from the Plan Commission.

#### Plan Commission Action

The Plan Commission action on the preliminary plat pre-approval can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

#### **Staff Recommendation**

It is of Staff opinion that the proposed pre-approval of the preliminary will provide what is needed for the Petitioner to begin grading. Therefore, Staff requests pre approval of the preliminary plat with the following conditions are to be met before grading begins:

- 1. Approval and issuance of a grading permit. All required documentation shall be included with the grading permit as well as an erosion control bond; and
- 2. Provide a copy of the temporary construction entrance permit from INDOT.

Submitted by Denise Line Director, Ellettsville Planning April 4, 2024



### **Site Photos**





P	ROPOSI	ED						
	<b>IAR</b>		<b>IFAF</b>		HAS			
	REL		<b>NAR</b>			REA	<b>PR</b>	OVAL –
73	366 W. S	STATE	ROAD 46					
El		VILLE,	ROAD 46 INDIANA	47429				
				A//	C301 - C305	DESCRIPTION GENERAL NOTES AND LEGEN OVERALL SITE PLAN ENLARGED SITE PLAN ENLARGED GRADING, DRAINA		
					C501 - C502	UTILITY PLAN LANDSCAPE PLAN TYPICAL ROAD CROSS SECTION		
	TY CONTACT INFORM	1ATION			C603	SITE AND UTILITY DETAILS DRAINAGE DETAILS STORMWATER POLLUTION PREVENTION PLAN, INFORMA		LOCATION MAP NOT TO SCALE
GAS CENTERPOINT ENERGY 4001 PROGRESS WAY SELLERSBURB, IN 47172	SEWER AND WATERELECTOWN OF ELLETTSVILLE UTILTIESSOUTI1150 W. GUY MCCOWN DRIVE300 H	CTRIC H CENTRAL INDIANA REMC MORTON AVENUE INSVILLE, INDIANA 46151		I Belate	C801 - C817	AND DETAILS ROADWAY GRADING PLAN & PROFILE		
JOEL BOSER (812)948-4902 TELEPHONE SMITHVILLE 1600 W. TEMPERANCE STREET ELLETTSVILLE, IN 47429	CABLE TELEVISIONUNDCOMCASTINDIAI2450 SOUTH HENDERSON STREETPLAN	SCHOOLCRAFT (795)342-3344 ERGROUND UTILITY LOCATION NA UNDERGROUND T PROTECTION D0)382-5544	PER INDIANA ST IT IS AGAINST THE LAW TO EXC	FORE YOU DIG ATE LAW IC8-1-26. AVATE WITHOUT NOTIFYING THE				
(812)876-2211	SCOTT TEMPLETON (812)355-7822			ERVICE TWO (2) WORKING DAYS				
								architecture
							civ	vil engineering
BY	XNUM F	ANYO 8	& ASSOCI	ATES,	INC.			planning
52	28 north			mingtor	n, indiana	47404		2 - 8030
CHI 369	<u>VNER/DEVELOPER</u> RIS SMITH 5 S. SARE ROAD DOMINGTON, IN 47401	TRANSPORTAT BLOSSOM PATE	EDITION OF THE INDIANA DEPA ION, TOWN OF SPENCER SEWE RICKSBURG WATER CORP. STA IS IS TO BE USED WITH THESE	R & BEAN NDARD		CONSTRUCTION CONSTRUCTION	certified by: JEFFREY S. FANYO, P.E. IND. REG. NO. 60018283	

HARMON FARM PH.1 PRELIMINARY PLAT BFA No. 402329							
HARMON FARM PHASE 1 PRELIMINARY PLAT BFA No. 402329							
BFA NO. 402329							

### **EROSION CONTROL LEGEND**

EXISTING CONTOUR	XXX
TEMPORARY SILTATION FENCE, REFER TO DETAIL	XXX] SF
CONSRUCTION LIMITS: DELINEATED BY PROPERTY LINE UNLESS OTHERWISE SPECIFIED	CL
TEMPORARY MULCH SEEDING - REFER TO DETAILS	MS
24' X 100' STONE PAD, 6" DEEP TO KEEP FROM TRACKING MUD OFF SITE - REFER TO DETAIL (TEMPORARY DURING CONSTRUCTION)	(SP)
TEMPORARY CONCRETE WASHOUT AREA - REFER TO DETAIL	CW
PERMANENT EROSION CONTROL MATTING – ROLLMAX BIONET S75BN EROSION CONTROL BLANKET OR APPROVED EQUAL – REFER TO DETAIL	EC
D-50 RIP-RAP STORM OUTLET PROTECTION - REFER TO DETAIL AND PLAN FOR MIN. QUANTITY (PERMANENT)	RR
TR 'ROLLMAX VMAX SC250' TURF REINFORCEMENT MA PERMANENT – APPLY TO PROPOSED POND EMERGINDICATED – REFER TO DETAIL	
TEMPORARY ROCK CHECK DAM - REFER TO DETAILS	CD
GRAVEL DROP INLET PROTECTION (TEMPORARY) (TO BE USED ON ALL YARD INLETS)	DI
GRAVEL DONUT DROP INLET PROTECTION (TEMPORARY) - REFER TO DETAILS	DD
GRAVEL CURB INLET PROTECTION (TEMPORARY) (TO BE USED ON ALL CURB INLETS)	GP

#### EXISTING LEGEND

EXISTING FENCE	<u> </u>
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	——— F0 ———
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	==0==
EXISTING STORM SEWER AND INLET	

#### GENERAL LEGEND

\_\_\_\_\_

PROPERTY LINE

	PROPERTY LINE
	PROPERTY LINE
xxx/xxx	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X'SBL	SETBACK LINE
Ŀ	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGE	ND
PROPOSED <u>PUBLIC</u> WATER LINE MAIN: AWWA C900 PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADV EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE U COVER MIN. PROPOSED <u>PRIVATE</u> DOMESTIC SERVICE LINE: FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO TH TYPE 'K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). A SINGLE FROM THE 'WSL' TO THE METER OR DOUBLE METER. USE SE DOMESTIC WATER SERVICE LINES FROM THE METER TO THE B REFER TO THE 'P' SERIES DRAWINGS FOR MORE INFORMATION DETERMENTION	S SHOWN. TOWN OF VANCE PRIOR TO TAPPING PRESSURE TESTING. UTILITIES DEPRATMENT. 48" DSL
DETERMINATION. PROPOSED WATER VALVE – COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.	M
PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C60	DI 🗶
PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURI – REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHA BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.	
SINGLE METER PIT WITH SERVICE LINE. COORDINATE SIZE, TY LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMEN	PE, AND T.
DOUBLE METER PIT SERVICE LINE. COORDINATE SIZE, TYPE, A LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMEN	AND T.
PROPOSED ASTM D3034 SDR 35 PVC 6"MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-O 24"COVER MIN., REFER TO PLUMBING PLAN FOR PROPOSED LEAVING PROPOSED BUILDING, SLOPE AT 1.04% MIN. TO CON SANITARY MAIN AS SEEN ON THE PLAN - REFER TO CONN DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTH DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HA	INVERT ELEVATIONS NECTION TO EXISTING IECTION DETAIL, BACKFILL FY ENGINEER OF ANY
PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AN <u>NOTE:</u> PROPOSED SANITARY MAIN SHOWN AS A PART OF T TO BE <u>PUBLIC</u> AND MAINTAINED BY TOWN OF ELLETTSVILLE CONSTRUCTION IS COMPLETE	HIS PROJECT IS
<u>NOTE:</u> ALL WATER, STORM, AND SANITARY SEWER CO ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPEC	
NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPAR CONSTRUCTION. CONTACT: (812)327–8030	
GRADING/DRAINAGE	LEGEND
EXISTING CONTOUR	XXX
PROPOSED CONTOUR	XXX
PROPOSED INTENDED FLOWLINE DIRECTION	FL>
PROPOSED SPOT GRADE ELEVATION	XXX.XX
TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	TC=XXX.XX EP-XXX.XX
MINIMUM FINISH FLOOR ELEVATION	FF=XXX.XX
MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE	EP=XXX.XX
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=XXX.XX
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	X" UD C.O.
PROPOSED DUAL WALL TYPE 'S' HDPE PERFORATED STORM PIPE UNDERDRAIN WITH SOCK SLOPED AT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS. REFER TO PON DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL. STORNWATER OLIVITY DOND SOIL MIXTURE LIMITS. THE IS FOR	ND
STORMWATER QUALITY POND SOIL MIXTURE LIMITS; THIS IS FOF FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FOF DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCL UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602 SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	R

#### SITE IMPROVEMENT LEGEND

A	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A1)	PROPOSED 'HEAVY DUTE' ROAD BITUMINOUS PAVING
C	PROPOSED REINFORCED CONCRETE PAVING
F	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
PP	PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
(13)	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
(21)	PROPOSED PARKING MARKING; PAINTED, SOLID, WHITE, 4" WIDE
(21A)	PROPOSED ADA PARKING MARKING; PAINTED, SOLID, BLUE – REFER TO DETAIL
R	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDOT STANDARD DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
R	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDOT STANDARD DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
38	PROPOSED STOP BAR PAVEMENT MARKING; THERMOPLASTIC, SOLID, WHITE, 24" WIDE, 10' LONG FROM CENTER LINE OF ROAD AS INDICATED. 4' SEPARATION FROM CROSSWALK MARKINGS
39	PROPOSED CROSSWALK PAVEMENT MARKING; THERMOPLASTIC, SOLID, 6" WIDE, WHITE, WIDTH TO MATCH SIDEWALK, SEE PLAN (CROSSWALK PER INDOT STANDARD 808.07)
(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

# STATEMENT OF PERFORMANCE STANDARDS

ON BEHALF OF THE OWNER, MOEHM INVESTMENTS, LLC., BYNUM FANYO & ASSOCIATES, INC. INTENDS TO COMPLY WITH ALL STANDARDS SET FORTH IN THE TOWN OF ELLETTSVILLE ZONING ORDINANCE. WE PLAN ON WORKING CLOSELY WITH STAFF, PLAN COMMISSION MEMBERS, AND THE OWNER TO CREATE A QUALITY SITE PLAN AND SUCCESSFUL PROJECT THAT WILL EXEMPLIFY THE TOWN OF ELLETTSVILLE INTERESTS, ORDINANCE AND MIXED USE FOR THIS SITE. THESE STANDARDS ARE AS FOLLOWS:

ALL PERMITTED USES ESTABLISHED OR PLACED INTO OPERATION AFTER THE EFFECTIVE DATE OF THE TOWN OF ELLETTSVILLE ORDINANCE SHALL COMPLY WITH THE FOLLOWING PERFORMANCE STANDARDS IN THE INTEREST OF PROTECTING PUBLIC HEALTH, SAFETY AND WELFARE, AND LESSENING INJURY TO PROPERTY. NO USE IN EXISTENCE ON THE EFFECTIVE DATE OF THIS ORDINANCE SHALL BE SO ALTERED AS TO CONFLICT (OR INCREASE AND EXISTING CONFLICT) WITH THESE STANDARDS.

(A) FIRE PROTECTION. FIRE FIGHTING EQUIPMENT AND PREVENTION MEASURES ACCEPTABLE TO THE LOCAL FIRE DEPARTMENT SHALL BE READILY AVAILABLE AND APPARENT WHEN ANY ACTIVITY INVOLVING THE HANDLING OR STORAGE OF FLAMMABLE OR EXPLOSIVE MATERIALS IS CONDUCTED.

(B) ELECTRICAL DISTURBANCE NO USE SHALL CAUSE ELECTRICAL DISTURBANCE ADVERSELY AFFECTING RADIO, TELEVISION OR OTHER EQUIPMENT IN THE VICINITY OF THE USE.

(C) NOISE. NO USE SHALL PRODUCE NOISE IN SUCH A MANNER AS TO BE OBJECTIONABLE BECAUSE OF VOLUME. FREQUENCY, INTERMITTENCE, HEAT, SHRILLNESS, OR VIBRATION. SUCH NOISE SHALL BE MUFFLED OR OTHERWISE CONTROLLED SO AS NOT TO BECOME DETRIMENTAL, PROVIDED HOWEVER, THAT PUBLIC SAFETY SIRENS AND RELATED APPARATUS USED SOLELY FOR PUBLIC PURPOSES SHALL BE EXEMPT FROM THIS STANDARD.

(D) VIBRATION NO USE SHALL CAUSE VIBRATIONS OR CONCUSSIONS DETECTABLE BEYOND LOT LINES WITHOUT THE AID OF INSTRUMENTS.

(E) AIR POLLUTION. NO USE SHALL DISCHARGE ACROSS LOT LINES FLY ASH, DUST, SMOKE, VAPORS, NOXIOUS, TOXIC OR CORROSIVE MATTER, OR OTHER AIR POLLUTANTS IN SUCH CONCENTRATION AS TO BE DETRIMENTAL TO HEALTH, ANIMALS, VEGETATION OR PROPERTY AND/OR IN CONFLICT WITH RELEVANT AIR QUALITY STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(F) HEAT AND GLARE. NO USE SHALL PRODUCE HEAT OR GLARE IN SUCH MANNER AS TO CREATE A NUISANCE PERCEPTIBLE FROM ANY POINT BEYOND THE LOT LINES OF THE PROPERTY ON WHICH THE USE IS CONDUCTED. IN NONRESIDENTIAL AREAS, ANY LIGHTING USED TO ILLUMINATE AN OFF-STREET PARKING AREA, LOADING AREA, DRIVEWAY, OR SERVICE DRIVE SHALL BE SHIELDED WITH APPROPRIATE LIGHT FIXTURES DIRECTING THE LIGHT DOWN AND AWAY FROM ADJACENT PROPERTIES IN ORDER THAT THE ILLUMINATION AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE. ALL EXTERIOR LIGHTING SHALL BE HOODED AND SHIELDED SO THAT THE LIGHT SOURCE (I.E. BULB, FILAMENT, ETC.) IS NOT DIRECTLY VISIBLE FROM THE RESIDENTIAL PROPERTY LINES.

IN RESIDENTIAL AREAS, EXTERIOR LIGHTING AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE. (G) WATER POLLUTION

NO USE SHALL PRODUCE EROSION OR OTHER POLLUTANTS IN SUCH QUANTITY AS TO BE DETRIMENTAL TO ADJACENT PROPERTIES AND CONFLICT WITH RELEVANT WATER POLLUTION STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(H) WASTE MATTER. NO USE SHALL ACCUMULATE WITHIN THE LOT, OR DISCHARGE BEYOND THE BOUNDARY LINES OF THE LOT ON WHICH THE USE IS LOCATED, ANY WASTE MATTER, WHETHER LIQUID OR SOLID, IN VIOLATION OF APPLICABLE PUBLIC HEALTH, SAFETY AND WELFARE STANDARDS AND REGULATIONS.

#### PARKING AND PAVEMENT NOTES

- ☐ 1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC DEVICES, 1988 EDITION AS AMENDED.
- $\boxtimes$  2. ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE ON ASPHALT PAVEMENT , YELLOW ON CONCRETE PAVEMENT AND SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE.
- 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE. ALL CURB RADIUS ARE TO BE 5' UNLESS INDICATED OTHERWISE.
- $\boxtimes$  4. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- 5. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
- 6. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOLS. 7. CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO
- INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL AT ALL INTERSECTIONS).
- 8. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY A.G.C. OF AMERICA. INC. AND THE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

#### **GRADING NOTES**

- 1. NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED OR PLANTED.
- 2. AREAS OUTSIDE OF THE PARKING LOT PERIMETERS SHOWN TO BE SEEDED OR PLANTED SHALL RECEIVE 6" OF TOPSOIL. THIS TOPSOIL IS TO BE PLACED AND LEVELED BY THE CONTRACTOR.
- 3. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELOCATION OF THE FACILITY.
- 4. ALL AREAS NOT COVERED BY BUILDING OR PAVING ARE TO BE VEGETATED (SEEDED OR PER LANDSCAPE PLAN).
- $\boxtimes$  5. UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
- 6. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. 7. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
- 8. CONTRACTOR SHALL COMPACT AND MAINTAIN A 30,000 SQ. FT. STONEBASE CONSTRUCTION LAYDOWN AREA W/ STONE ACCESS FROM THE CONSTRUCTION ENTRANCE AND STONE ACCESS TO THE BUILDING PAD.
- 9. THESE DOCUMENTS ARE SCHEMATIC IN NATURE AND CANNOT SHOW EVERY ITEM NEEDED FOR A COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATING STORM SYSTEM.
- 10. ALL FILL SHALL BE FREE OF VEGETABLE MATTER, RUBBISH, LARGE ROCK, AND OTHER DELETERIOUS MATERIAL. THE FILL MATERIAL SHOULD BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AS REQUIRED TO SECURE SPECIFIED COMPACTION. EACH LAYER SHOULD BE UNIFORMLY COMPACTED BY MEANS OF SUITABLE EQUIPMENT AS DICTATED BY THE TYPE OF FILL MATERIAL. UNDER NO CIRCUMSTANCES SHOULD A BULLDOZER OR SIMILARLY TRACKED VEHICLE BE USED AS COMPACTING EQUIPMENT. MATERIAL CONTAINING AN EXCESS OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF THE MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM DENSITY TEST D-698 (98 PERCENT OF MAXIMUM DRY DENSITY). IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET, SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE REACHED.

24. CONTRACTOR SHALL NOTIFY THE TOWN OF ELETTSVILLE UTILITIES DEPARTMENT

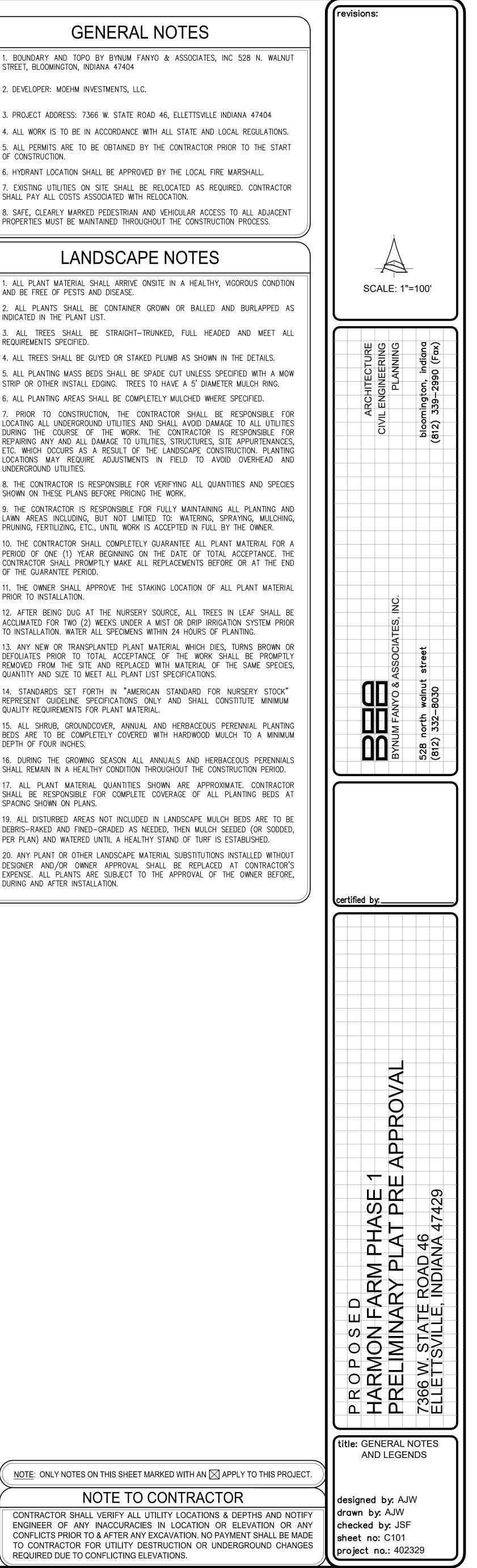
ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A TOWN INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS WEEKENDS, A TOWN DESIGNATED HOLIDAY, OR BEYOND NORMAL TOWN WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME.

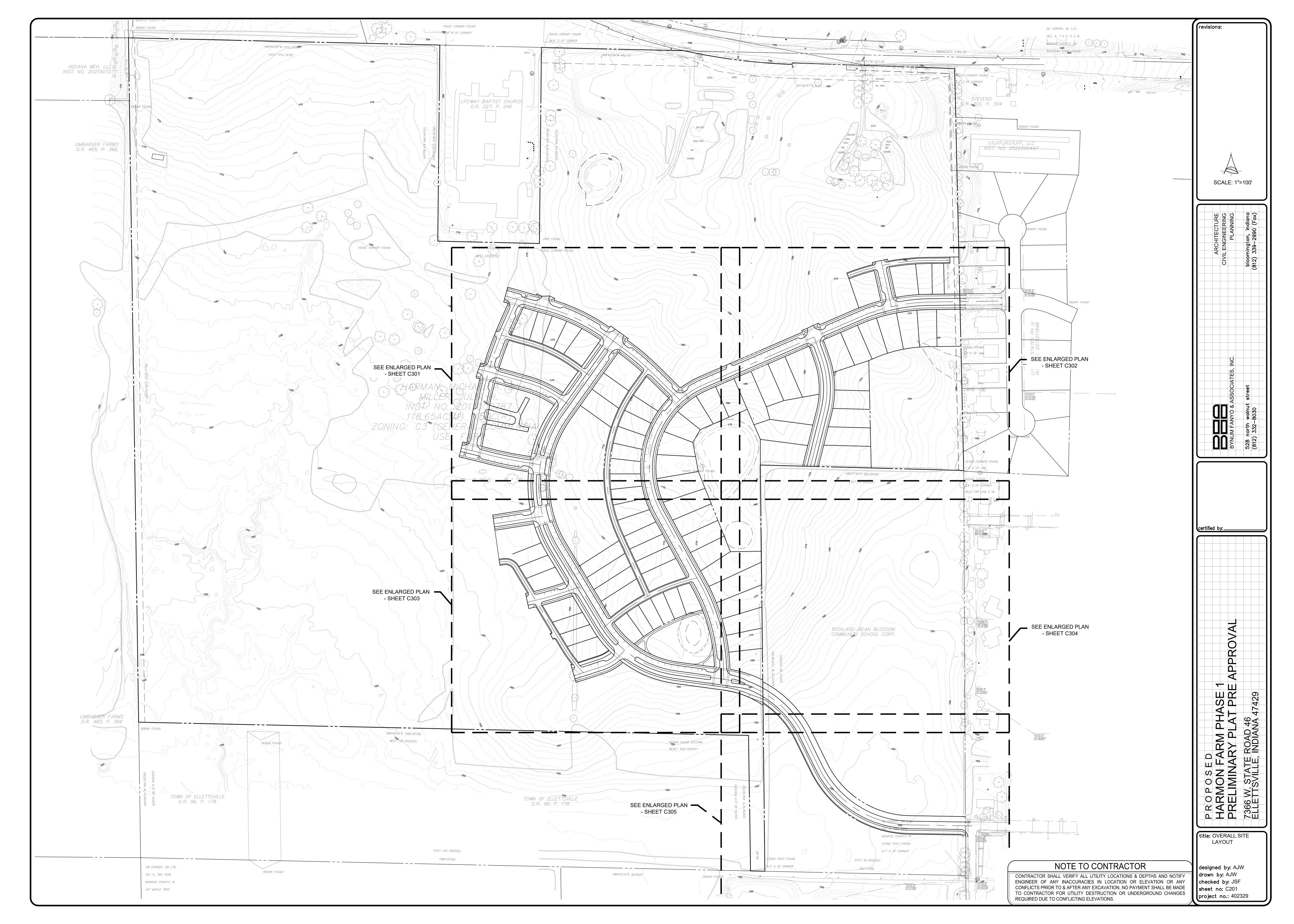
ON-SITE UTILITY NOTES	GENERAL NOTES
1. ALL WATER PIPE 6" AND SMALLER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING TO ALL STATE AND LOCAL STANDARDS. IT SHALL BE DUCTILE IRON CONFORMING TO AWWA/ANSI STANDARD SPECIFICATIONS C153/A21.53, LATEST	1. BOUNDARY AND TOPO BY BYNUM FANYO & ASSOCIATES, INC 528 N. WALNUT STREET, BLOOMINGTON, INDIANA 47404
ISION. WATER PIPE AND LARGER AND FITTINGS SHALL BE AWWA C900 PIPE WITH	2. DEVELOPER: MOEHM INVESTMENTS, LLC.
WIRE. <u>LL</u> DUCTILE IRON PIPE (DIP) USED IN THIS PROJECT WILL REQUIRE HYLENE ENCASEMENT SLEEVES AND SHALL BE 8-MIL LINEAR LOW-DENSITY POLYETHYLENE ENCASEMENT OR 4-MIL HIGH-DENSITY CROSS-LAMINATED , POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. IATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WWA C-105/A21.5, USING PLASTIC TIE STRAPS OR CIRCUMFERENTIAL WRAPS	<ol> <li>3. PROJECT ADDRESS: 7366 W. STATE ROAD 46, ELLETTSVILLE INDIANA 47404</li> <li>4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.</li> <li>5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.</li> <li>6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.</li> </ol>
HESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.         WATER MAINS SHALL BE SDR-21 (PR200) AND 4" PIPE MAY BE EITHER	7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
(PR200) OR C900 (DR-14). WATER SERVICE LINES CONNECTING TO 2" PVC MAINS SHALL BE 1" TYPE "K" . ALL SERVICE LINES FROM MAIN TO METER SHALL BE TYPE "K" COPPER ARED ENDS.	8. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL WATER LINE BENDS, FFSETS, TEES, PLUGS, ETC	LANDSCAPE NOTES
ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES AND TAPPING LVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED, WITH RESILIENT SEAT D NON-RISING STEM AND SHALL BE MANUFACTURED BY M & H VALVE COMPANY, RLING VALVE AND MANUFACTURING COMPANY, KENNEDY VALVE COMPANY, OR	<ul> <li>ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, VIGOROUS CONDITION AND BE FREE OF PESTS AND DISEASE.</li> <li>2. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS</li> </ul>
UELLER COMPANY. . FLUSH HYDRANTS SHALL BE PLACED AT THE ENDS OF ALL WATER MAINS AND AT	INDICATED IN THE PLANT LIST.
Y HIGH POINTS IN THE LINE. AIR RELEASE VALVES SHALL BE PROVIDED AT ALL HIGH POINTS OF WATER MAINS	REQUIREMENTS SPECIFIED.
SHALL BE VAL-MATIC BRAND AND SHALL INCORPORATE THE OPTIONAL JUM-CHECK FEATURE. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN OR	5. ALL PLANTING MASS BEDS SHALL BE SPADE CUT UNLESS SPECIFIED WITH A MOW STRIP OR OTHER INSTALL EDGING. TREES TO HAVE A 5' DIAMETER MULCH RING.
IELLER CENTURION. . ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED	6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED. 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
E ACCEPTANCE. SEE SITE WORK SPECIFICATIONS. TER AND SANITARY SEWER MAINS SHALL HAVE A MINIMUM COVER OF 4'-0" TOP OF PIPE.	LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND
ALL SPRINKLER, DOMESTIC, AND SANITARY LEADS TO THE BUILDING SHALL END SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).	UNDERGROUND UTILITIES.
HE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL RATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EEN INCHES (18").	SHOWN ON THESE PLANS BEFORE PRICING THE WORK. 9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, PRUNING, FERTILIZING, ETC., UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
A. GRAVITY SANITARY SEWER PIPE 6" TO 15" SHALL BE CONSTRUCTED OF SDR-35 VC UNLESS NOTED OTHERWISE ON THE PLANS.	10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END
ARKED WITH A 4x4 TREATED POST EXTENDING 3' BELOW GRADE AND 1' ABOVE RADE.	OF THE GUARANTEE PERIOD.           Image: Market All Approve the staking location of all plant material           Image: Market All Approve the staking location of all plant material
ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH ERAL OSHA REGULATIONS.	PRIOR TO INSTALLATION. 12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR
. SEE SITE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS. . SITE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING	TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
JRISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION. 9. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE	DEFOLIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
RK SPECIFICATIONS. . ALL CATCH BASIN GRATE AND FRAMES ARE TO BE BY EAST JORDAN IRON RKS.	With the size to meet all plant list specifications.         Image: Mathematical Structure         Image: M
. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE ASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED PROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY IE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR	DEPTH OF FOUR INCHES.
RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE NSTRUCTION PERIOD.	16. DURING THE GROWING SEASON ALL ANNUALS AND HERBACEOUS PERENNIALS     SHALL REMAIN IN A HEALTHY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
22. BUILDING CONTRACTOR SHALL PROVIDE & INSTALL A PERMANENT INDICATING /ALVE 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATION POINT. THIS /ALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST & WILL REMAIN AS PART OF THE SYSTEM ONCE ALL TESTING IS COMPLETED. THE FIRE LINE MAIN WILL	17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN ON PLANS.
BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. SITE TRACTOR SHALL COORDINATE THE INSTALLATION OF THE FIRE MAIN WITH THE DING CONTRACTOR.	19. ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DEBRIS-RAKED AND FINED-GRADED AS NEEDED, THEN MULCH SEEDED (OR SODDED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF IS ESTABLISHED.
23. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF CLLETTSVILLE UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT MICHAEL FARMER AT (812)327-8030 TO SCHEDULE THE MEETING.	20. ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE,

NOTE: ONLY NOTES ON THIS SHEET MARKED WITH AN 🔀 APPLY TO THIS PROJECT

DURING AND AFTER INSTALLATION.

NOTE TO CONTRACTOR









EXISTING FENCE	<del>~ X X</del>
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	——— ОНИ
EXISTING UNDERGROUND ELECTRIC LINES	UGE
Existing Underground Telephone Lines	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO -
EXISTING GAS LINE	———— GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX-
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	$==\bigcirc$
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

#### GENERAL LEGEND - PROPERTY LINE PROPERTY LINE DEED BOOK AND PAGE XXX/XXX TO BE REMOVED T.B.R. T.R.U. TO REMAIN UNDISTURBED \_\_\_\_\_X' SBL\_\_\_ \_\_\_\_\_ SETBACK LINE PROPOSED ACCESSIBLE PARKING SPACE G SANITARY SEWER EASEMENT S.S.E. GAS EASEMENT G.E. WATER LINE EASEMENT W.L.E. E.E. ELECTRIC EASEMENT D.E. DRAINAGE EASEMENT UTILITY EASEMENT U.E.

#### SITE IMPROVEMENT LEGEND

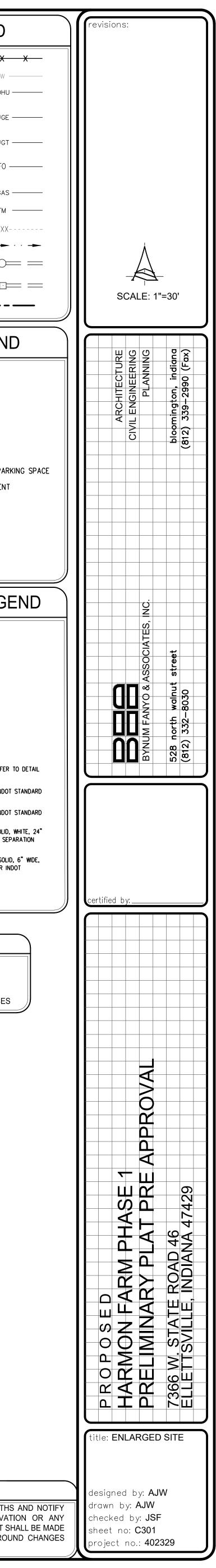
A	PROPOSED ROAD BITUMINOUS PAVING
A1	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
A1	PROPOSED 'HEAVY DUTE' ROAD BITUMINOUS PAVING
С	PROPOSED REINFORCED CONCRETE PAVING
F	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
PP	PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
13	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
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(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

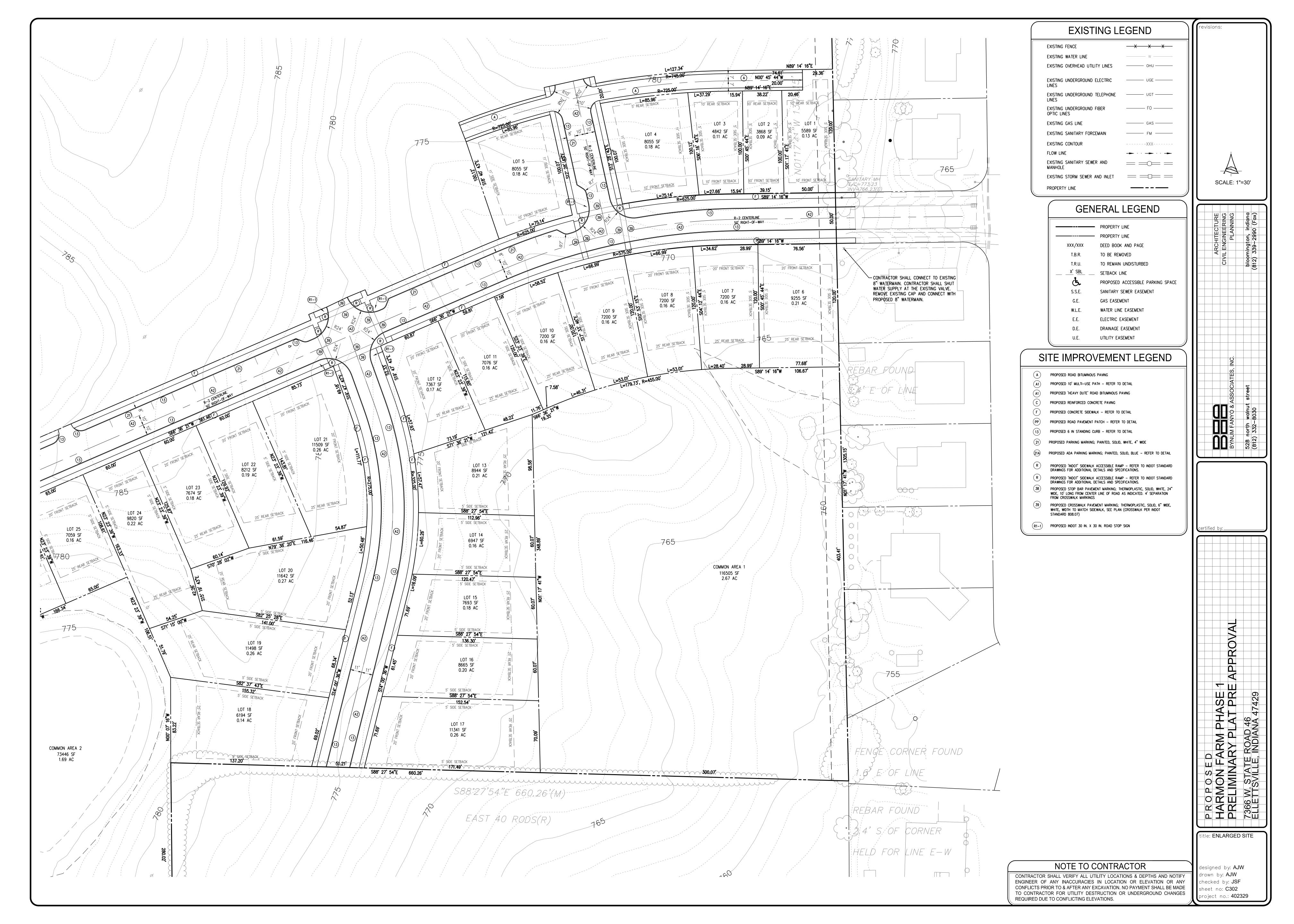
#### PARKING SPACE TABLE

ON-STREET PARKING SPACES - 150 SPACES ON-STREET ADA PARKING SPACES - 11 SPACES

TOTAL ON-STREET PARKING SPACES - 161 SPACES

#### NOTE TO CONTRACTOR







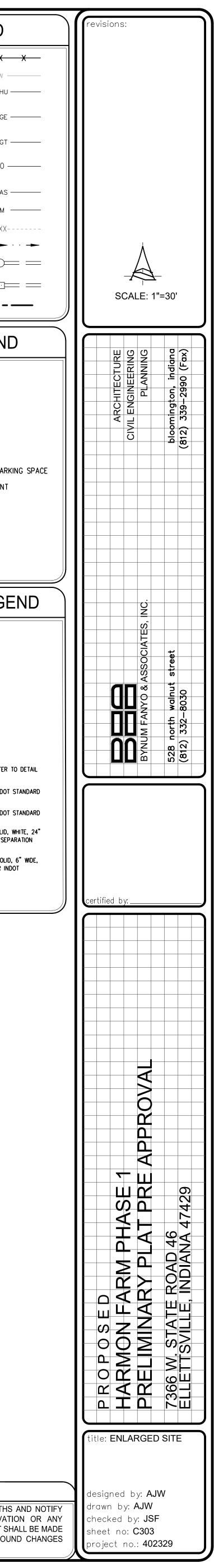
EXISTING	FENCE		— X—	-X
EXISTING	WATER LINE			- w -
EXISTING	OVERHEAD UT	LITY LINES		OHU -
EXISTING LINES	UNDERGROUND	ELECTRIC		UGE -
EXISTING LINES	UNDERGROUND	TELEPHONE		UGT -
EXISTING OPTIC LIN	UNDERGROUND IES	FIBER		F0 —
EXISTING	GAS LINE			GAS -
EXISTING	SANITARY FOR	CEMAIN		FM -
EXISTING	CONTOUR			-XXX-
FLOW LIN	E		<b></b> · ·	-
EXISTING MANHOLE	SANITARY SEV	ER AND		=0=
EXISTING	STORM SEWER	AND INLET		=:
PROPERT	Y LINE			

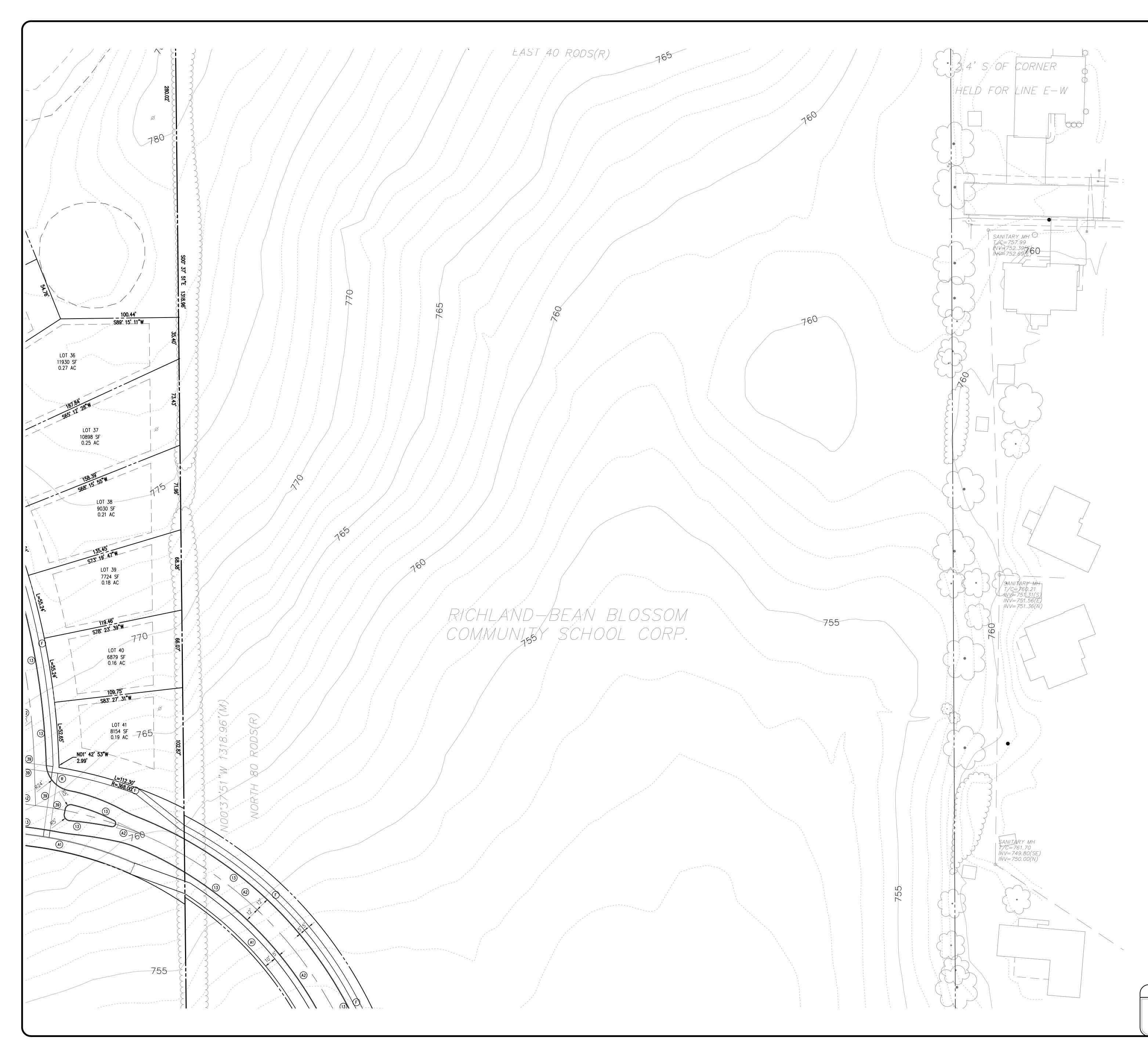
#### GENERAL LEGEND - PROPERTY LINE PROPERTY LINE DEED BOOK AND PAGE XXX/XXX TO BE REMOVED T.B.R. TO REMAIN UNDISTURBED T.R.U. \_\_\_\_\_X' SBL\_\_\_\_\_\_ SETBACK LINE PROPOSED ACCESSIBLE PARKING SPACE G SANITARY SEWER EASEMENT S.S.E. GAS EASEMENT G.E. WATER LINE EASEMENT W.L.E. ELECTRIC EASEMENT E.E. DRAINAGE EASEMENT D.E. UTILITY EASEMENT U.E.

#### SITE IMPROVEMENT LEGEND

PROPOSED ROAD BITUMINOUS PAVING
PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
PROPOSED 'HEAVY DUTE' ROAD BITUMINOUS PAVING
PROPOSED REINFORCED CONCRETE PAVING
PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
PROPOSED PARKING MARKING; PAINTED, SOLID, WHITE, 4" WIDE
PROPOSED ADA PARKING MARKING; PAINTED, SOLID, BLUE - REFER
PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDOT DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDOT DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
PROPOSED STOP BAR PAVEMENT MARKING; THERMOPLASTIC, SOLID, WIDE, 10' LONG FROM CENTER LINE OF ROAD AS INDICATED. 4' SEP FROM CROSSWALK MARKINGS
PROPOSED CROSSWALK PAVEMENT MARKING; THERMOPLASTIC, SOLID WHITE, WIDTH TO MATCH SIDEWALK, SEE PLAN (CROSSWALK PER IN STANDARD 808.07)
PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

#### NOTE TO CONTRACTOR





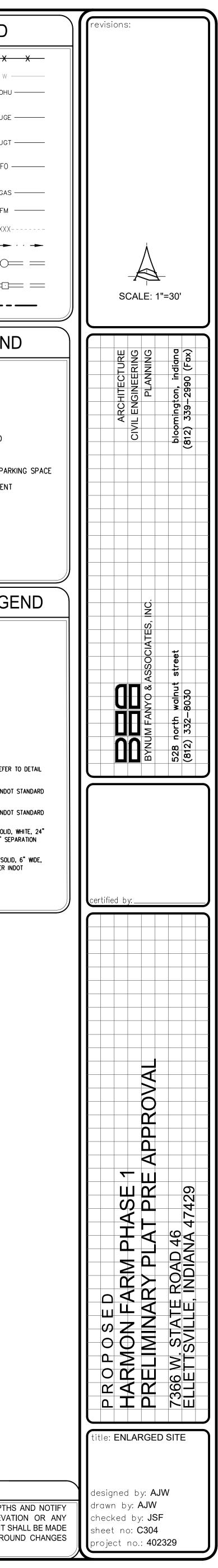
EXISTING FENCE	— <del>X X</del>
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
Existing Underground Telephone Lines	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	——— FO -
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX-
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	$== \bigcirc$
EXISTING STORM SEWER AND INLET	C=
PROPERTY LINE	

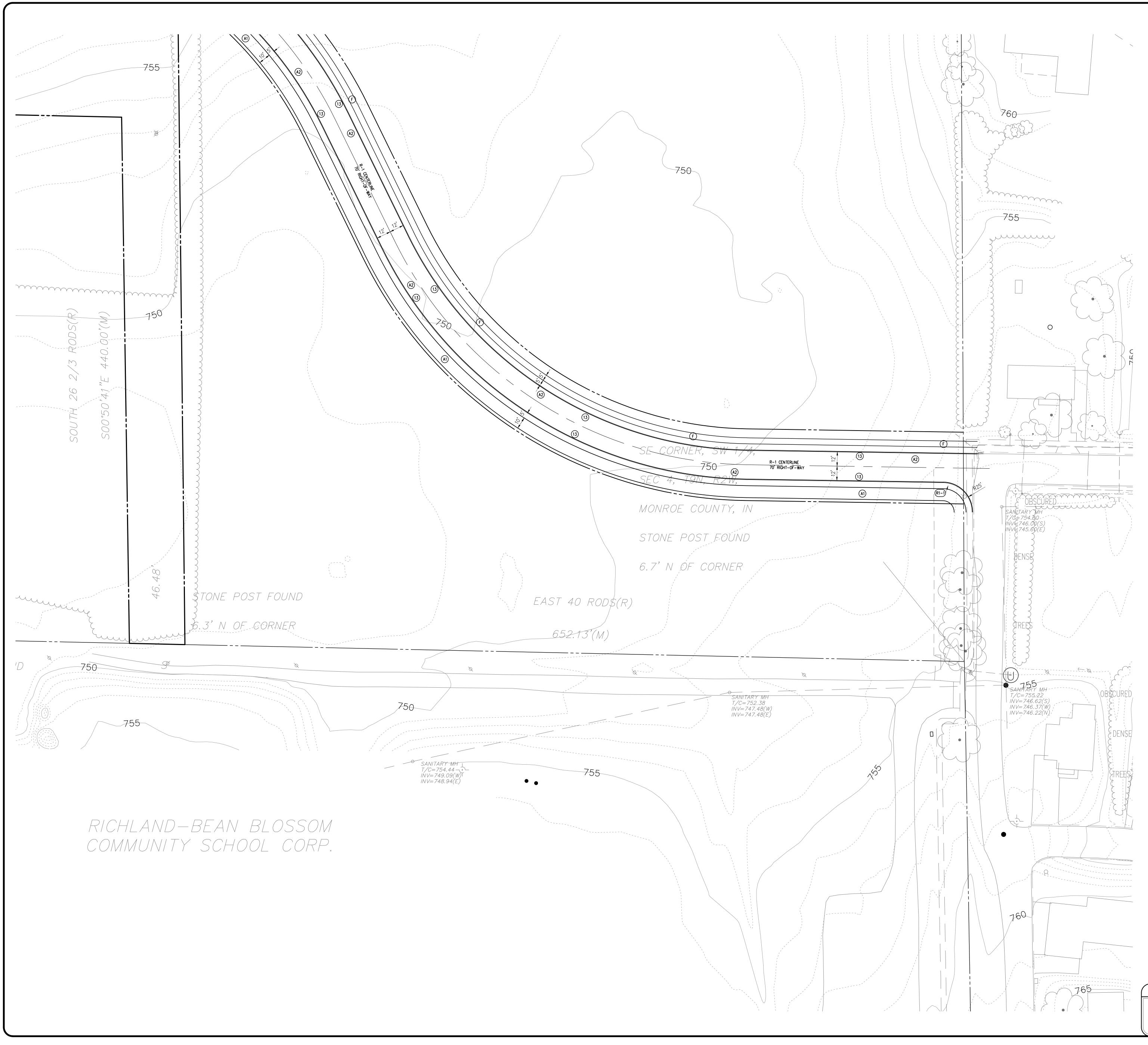
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#### SITE IMPROVEMENT LEGEND

A	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
A1	PROPOSED 'HEAVY DUTE' ROAD BITUMINOUS PAVING
С	PROPOSED REINFORCED CONCRETE PAVING
F	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
PP	PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
13	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
(21)	PROPOSED PARKING MARKING; PAINTED, SOLID, WHITE, 4" WIDE
(21A)	PROPOSED ADA PARKING MARKING; PAINTED, SOLID, BLUE - REFER
R	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDO DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
R	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP – REFER TO INDOT DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
38	PROPOSED STOP BAR PAVEMENT MARKING; THERMOPLASTIC, SOLID, WIDE, 10' LONG FROM CENTER LINE OF ROAD AS INDICATED. 4' SEF FROM CROSSWALK MARKINGS
39	PROPOSED CROSSWALK PAVEMENT MARKING; THERMOPLASTIC, SOLI WHITE, WIDTH TO MATCH SIDEWALK, SEE PLAN (CROSSWALK PER IN STANDARD 808.07)
(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN
	<ul> <li>Al</li> <li>Al</li> <li>C</li> <li>F</li> <li>PP</li> <li>13</li> <li>(2)</li> <li>(3)</li> <li>(3)</li> <li>(3)</li> <li>(4)</li> <li>(4)&lt;</li></ul>

#### NOTE TO CONTRACTOR





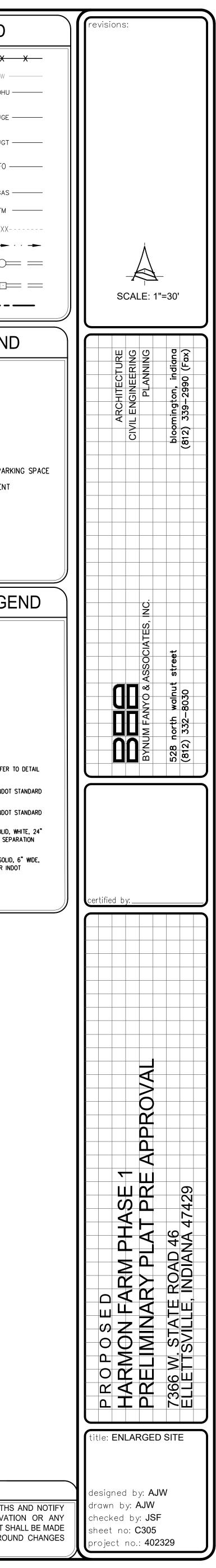
EXIST	ING FENCE	<u> </u>
EXIST	ING WATER LINE	W
EXIST	ING OVERHEAD UTILITY LINES	OHU -
EXIST LINES	ING UNDERGROUND ELECTRIC	UGE
EXIST LINES	ING UNDERGROUND TELEPHONE	UGT
	ing underground fiber : Lines	——— FO –
EXIST	ING GAS LINE	GAS -
EXIST	ING SANITARY FORCEMAIN	FM
EXIST	ING CONTOUR	XXX-
FLOW	LINE	
EXIST MANH	ING SANITARY SEWER AND IOLE	==0
EXIST	ING STORM SEWER AND INLET	
PROP	ERTY LINE	

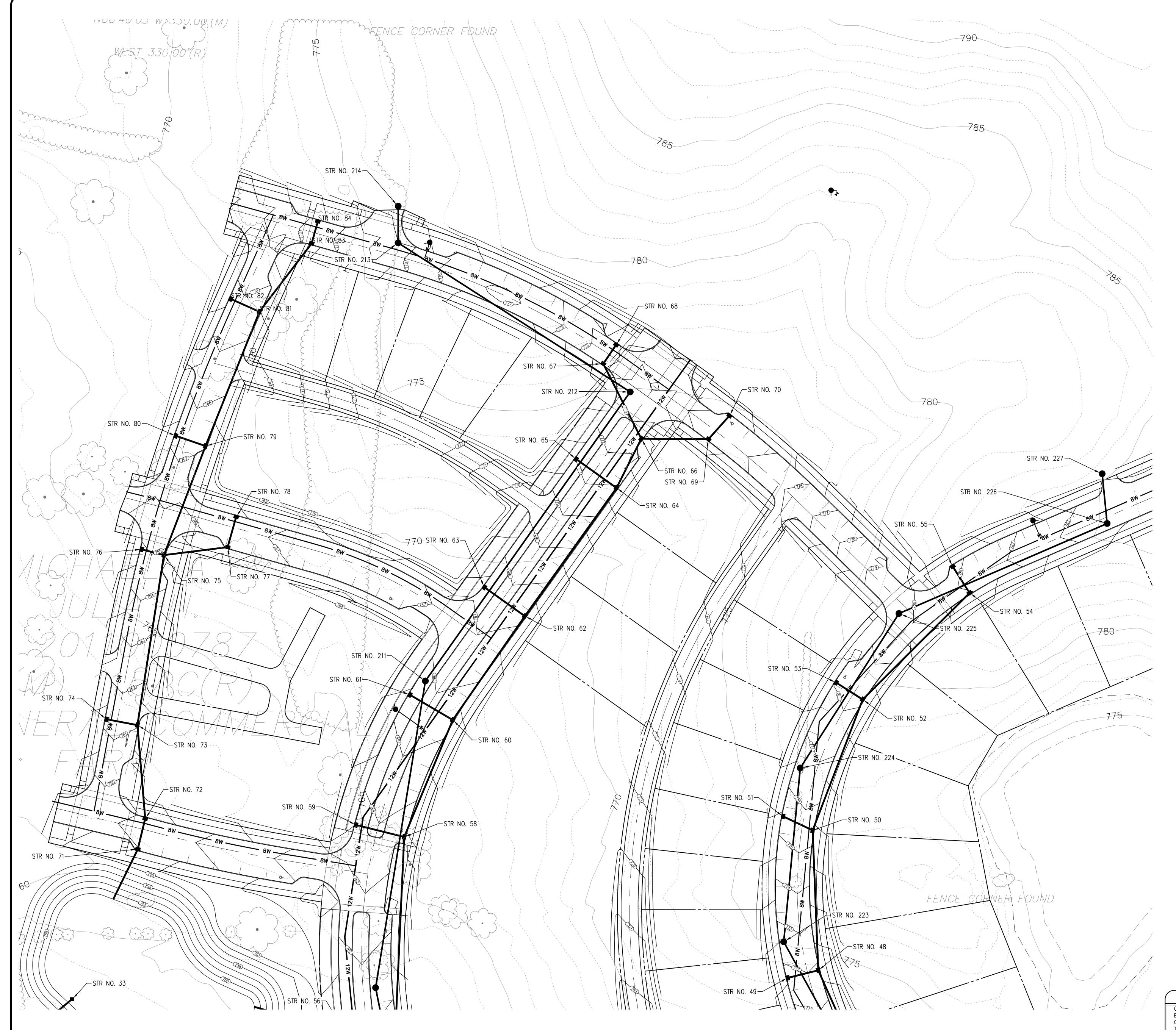
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#### SITE IMPROVEMENT LEGEND

A	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A1)	PROPOSED 'HEAVY DUTE' ROAD BITUMINOUS PAVING
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#### NOTE TO CONTRACTOR





EXISTING FENCE	<del>~ × ×</del>
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO -
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	———— FM
EXISTING CONTOUR	XXX-
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	==0
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

#### GENERAL LEGEND PROPERTY LINE ---- PROPERTY LINE DEED BOOK AND PAGE XXX/XXX TO BE REMOVED T.B.R. T.R.U. TO REMAIN UNDISTURBED \_\_\_\_\_X'SBL\_\_\_\_\_SETBACK\_LINE PROPOSED ACCESSIBLE PARKING SPACE G SANITARY SEWER EASEMENT S.S.E. GAS EASEMENT G.E. W.L.E. WATER LINE EASEMENT E.E. ELECTRIC EASEMENT D.E. DRAINAGE EASEMENT

### UTILITY LEGEND

U.E.

UTILITY EASEMENT

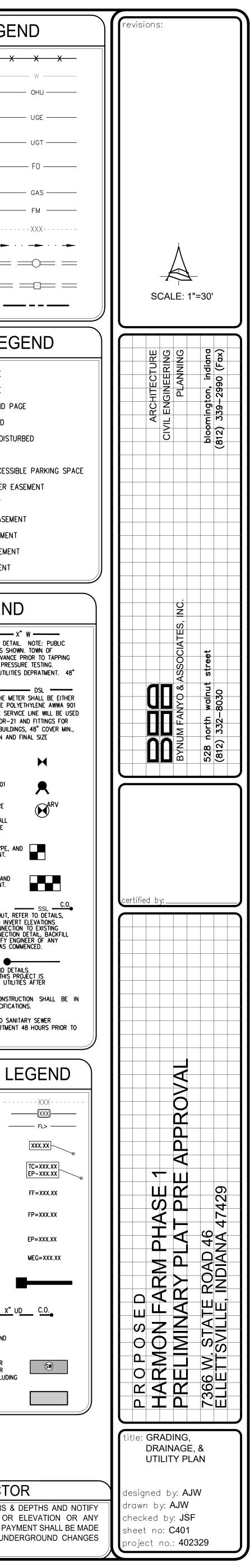
UTILITY LEGEND
PROPOSED <u>PUBLIC</u> WATER LINE MAIN: AWWA C900 X" W PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: I WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN C ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTIN CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPRATM COVER MIN.
PROPOSED <u>PRIVATE</u> DOMESTIC SERVICE LINE: DSL FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO THE METER SHALL I TYPE 'K' COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). A SINGLE SERVICE LINE WI FROM THE 'WSL' TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTIN DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" CC REFER TO THE 'P' SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.
PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.
PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601
PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE – REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.
SINGLE METER PIT WITH SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.
DOUBLE METER PIT SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.
PROPOSED ASTM D3034 SDR 35 PVC SSL 6" MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DE 24" COVER MIN., REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIO LEAVING PROPOSED BUILDING, SLOPE AT 1.04% MIN. TO CONNECTION TO EXIS SANITARY MAIN AS SEEN ON THE PLAN – REFER TO CONNECTION DETAIL, B DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.
PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. <u>NOTE:</u> PROPOSED SANITARY MAIN SHOWN AS A PART OF THIS PROJECT IS TO BE <u>PUBLIC</u> AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE

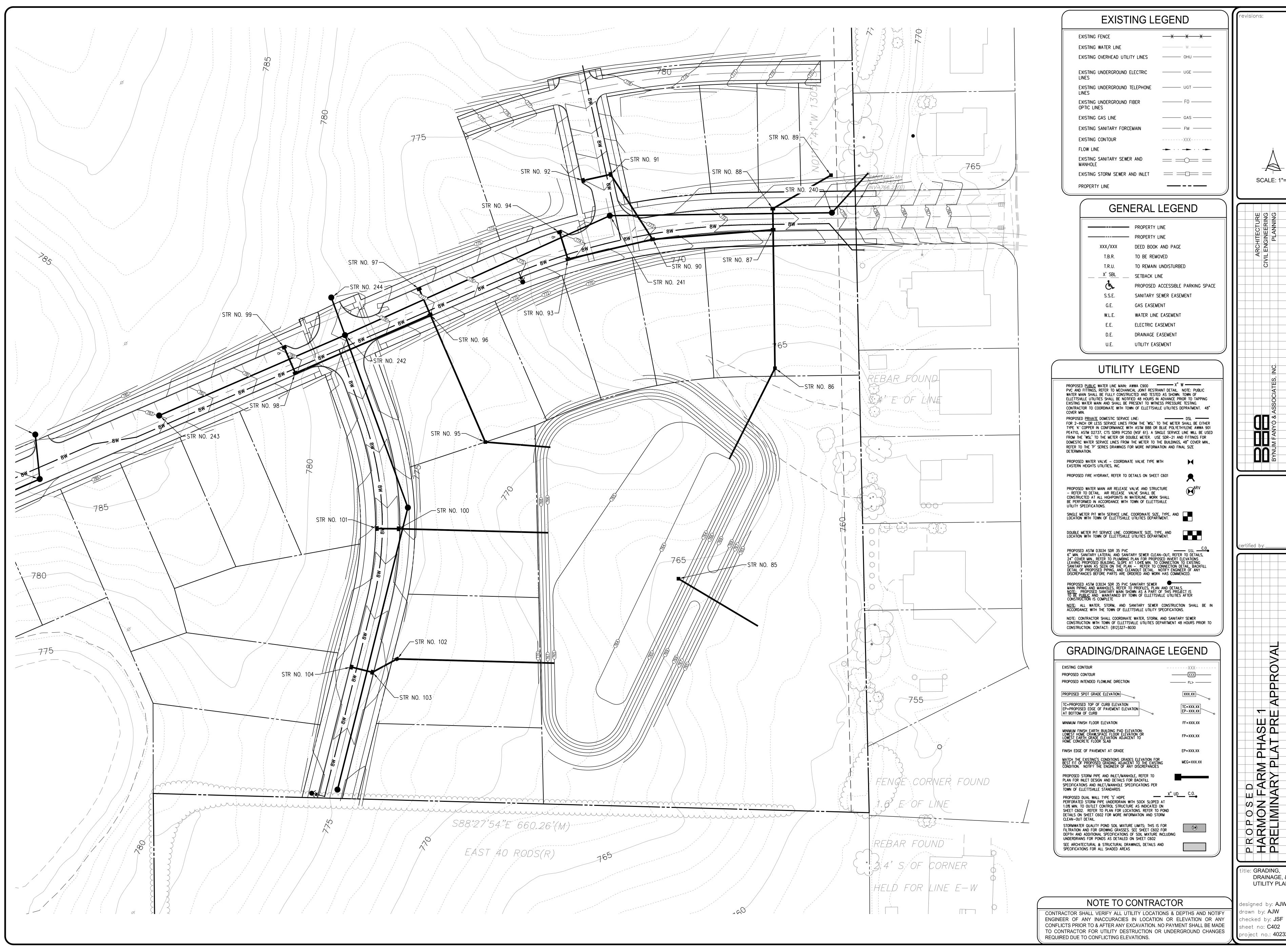
<u>NOTE</u>: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS. NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

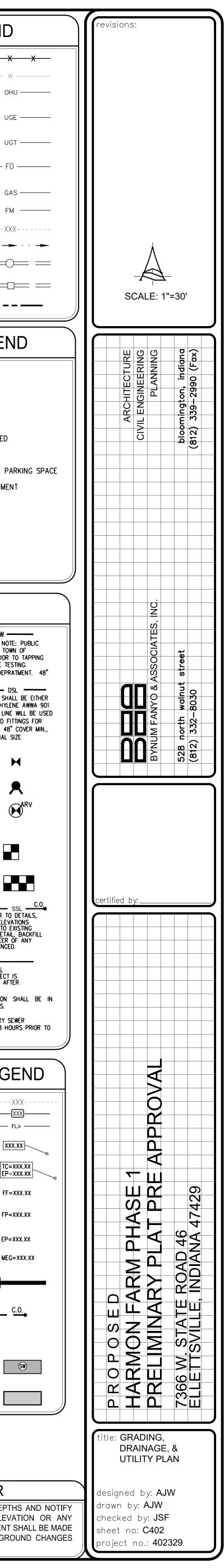
1		
$\left( \right)$	GRADING/DRAINAGE I	EGE
ſ	EXISTING CONTOUR -	XXX
	PROPOSED CONTOUR	(XX)
	PROPOSED INTENDED FLOWLINE DIRECTION	FL>
	PROPOSED SPOT GRADE ELEVATION	XXX.X
	TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	TC=XXX EP-XXX
	MINIMUM FINISH FLOOR ELEVATION	FF=XX
	MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XX)
	FINISH EDGE OF PAVEMENT AT GRADE	EP=XXX
	MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=X
	PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	<b>.</b>
	PROPOSED DUAL WALL TYPE 'S' HDPEX PERFORATED STORM PIPE UNDERDRAIN WITH SOCK SLOPED AT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS. REFER TO POND DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.	<u>." UD C.C</u>
	STORMWATER QUALITY POND SOIL MIXTURE LIMITS; THIS IS FOR	

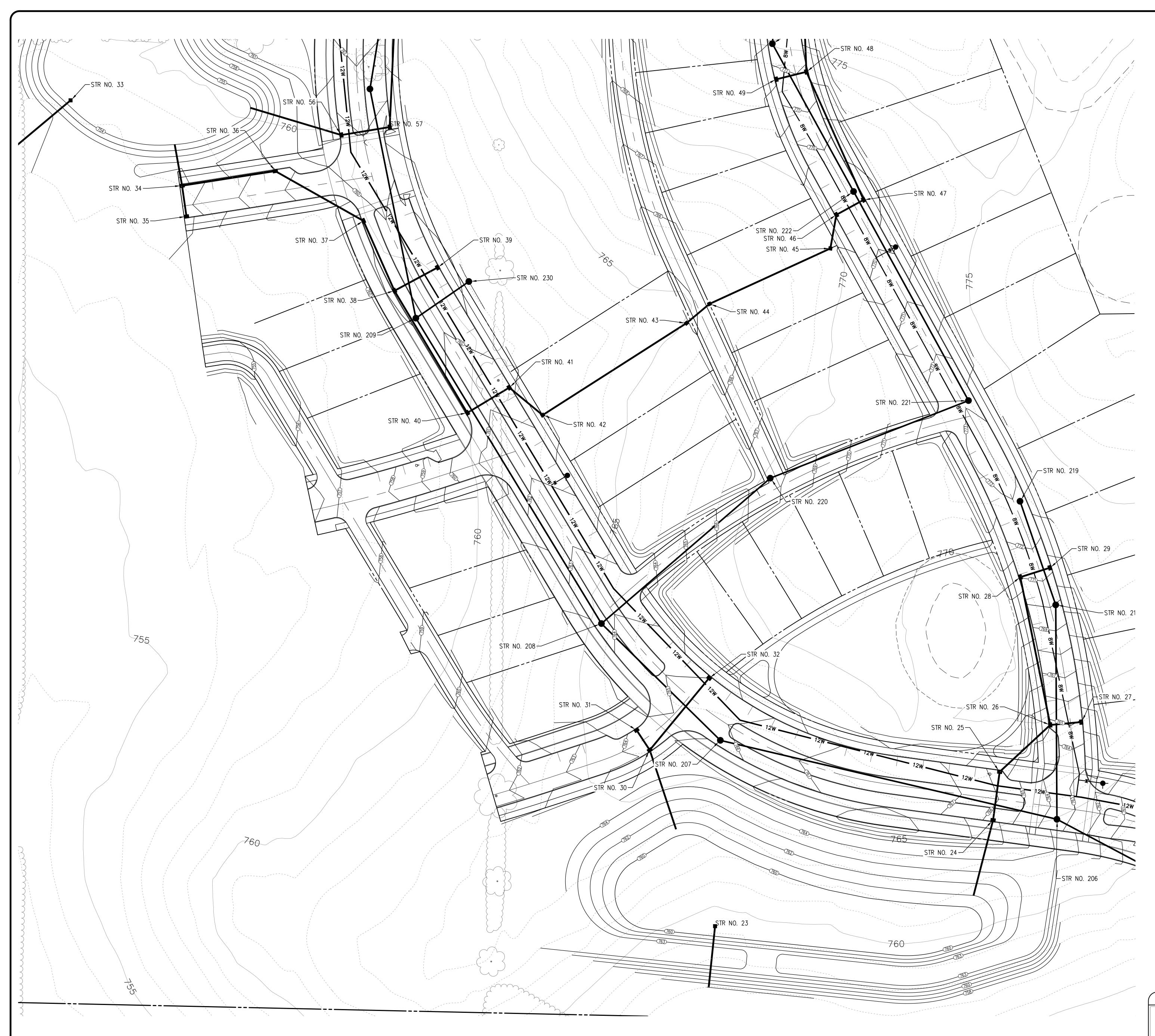
STORMWATER QUALITY POND SOL MIXTURE LIMITS; THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOLL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602 SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS

#### NOTE TO CONTRACTOR









EXISTING	WATER LINE			- W -
EXISTING	OVERHEAD UT	ILITY LINES		OHU
EXISTING LINES	UNDERGROUN	) ELECTRIC		UGE
EXISTING LINES	UNDERGROUN	) TELEPHONE		UGT
Existing Optic Lin	UNDERGROUNI IES	) FIBER		F0 -
EXISTING	GAS LINE			GAS
EXISTING	SANITARY FOR	RCEMAIN		FM
EXISTING	CONTOUR			-XXX-
FLOW LIN	E		<b></b>	
EXISTING MANHOLE	SANITARY SEV	VER AND		=0=
EXISTING	STORM SEWER	AND INLET		<u>=[·]</u> =
PROPERT	y line			

#### GENERAL LEGEND PROPERTY LINE ------ PROPERTY LINE DEED BOOK AND PAGE XXX/XXX TO BE REMOVED T.B.R. T.R.U. TO REMAIN UNDISTURBED \_\_\_\_\_X'SBL\_\_\_\_\_SETBACK\_LINE PROPOSED ACCESSIBLE PARKING SPACE G. SANITARY SEWER EASEMENT S.S.E. G.E. GAS EASEMENT W.L.E. WATER LINE EASEMENT ELECTRIC EASEMENT E.E. D.E. DRAINAGE EASEMENT U.E. UTILITY EASEMENT

# UTILITY LEGEND

PROPOSED <u>PUBLIC</u> WATER LINE MAIN: AWWA C900 X<sup>\*</sup> W PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTING. CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPRATMENT. 48" COVER MIN. PROPOSED <u>PRIVATE</u> DOMESTIC SERVICE LINE: FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO THE METER SHALL BE EITHER TYPE 'K' COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE 'WSL' TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MIN., REFER TO THE 'P' SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION. PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH

PROPOSED WATER VALVE – COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC. PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE – REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

PROPOSED ASTM D3034 SDR 35 PVC 6" MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS, 24" COVER MIN., REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS LEAVING PROPOSED BUILDING, SLOPE AT 1.04% MIN. TO CONNECTION TO EXISTING SANITARY MAIN AS SEEN ON THE PLAN - REFER TO CONNECTION DETAIL, BACKFILL DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

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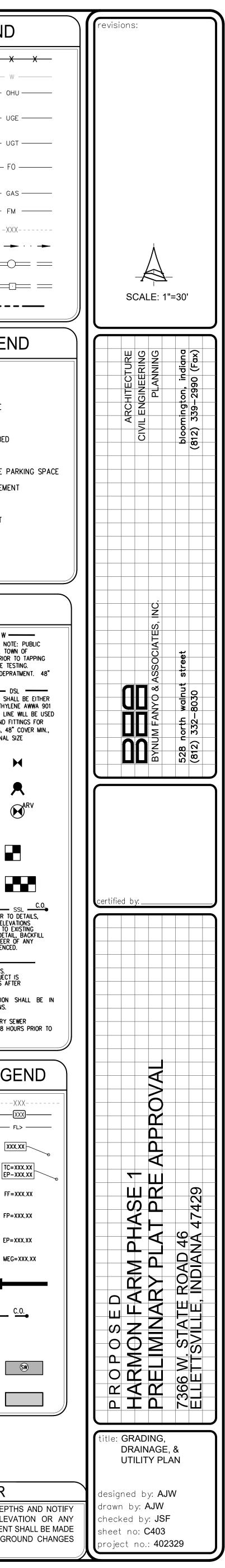
# GRADING/DRAINAGE LEGEND

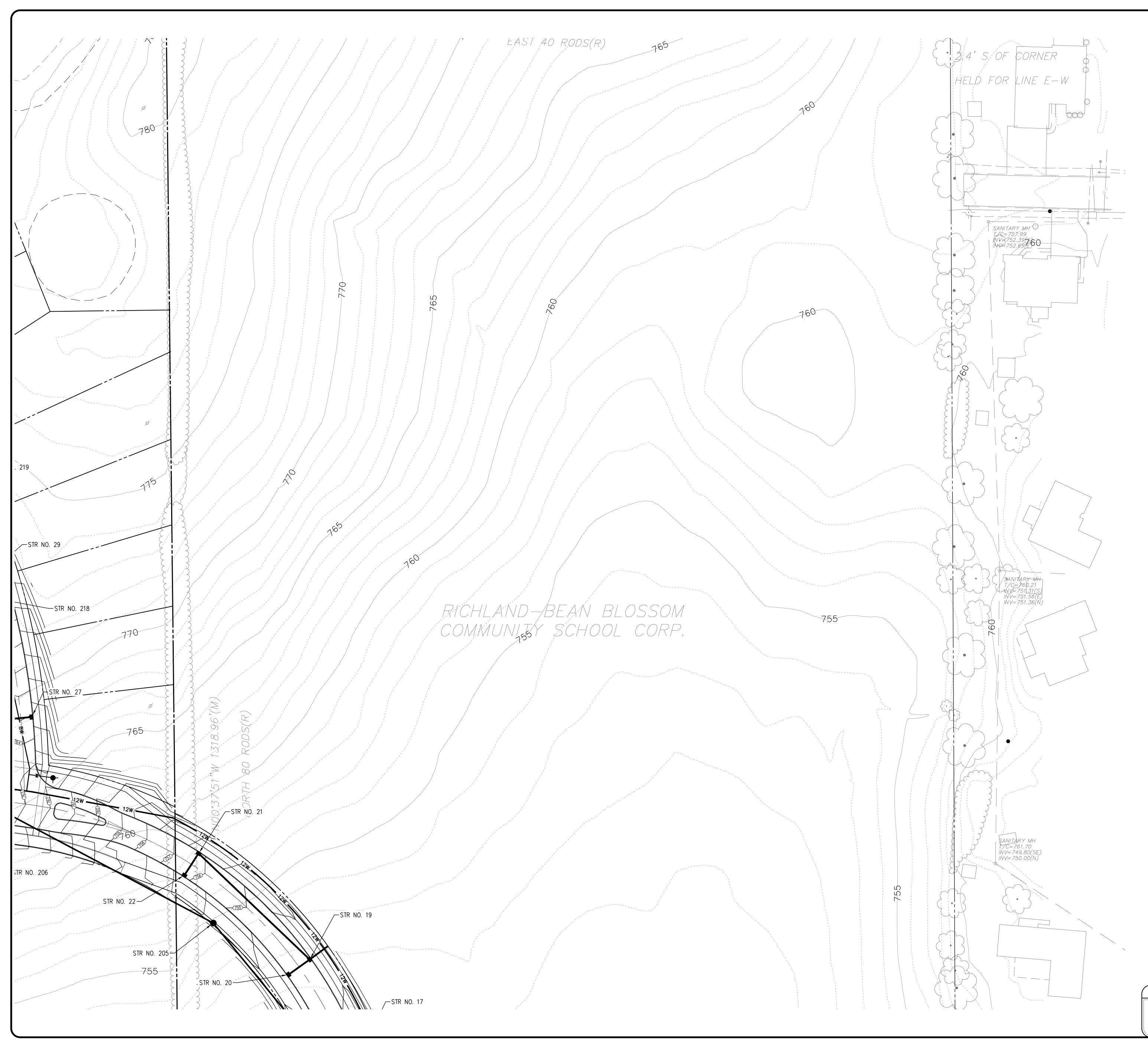
CONSTRUCTION. CONTACT: (812)327-8030

EXISTING CONTOUR	XX
PROPOSED CONTOUR	(XX
PROPOSED INTENDED FLOWLINE DIRECTION	FL>
PROPOSED SPOT GRADE ELEVATION	XXX.X
TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	TC=XX EP-XX
MINIMUM FINISH FLOOR ELEVATION	FF=XX
MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XX
FINISH EDGE OF PAVEMENT AT GRADE	EP=XX
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=X
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	
PROPOSED DUAL WALL TYPE 'S' HDPE PERFORATED STORM PIPE UNDERDRAIN WITH SOCK SLOPED AT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS. REFER TO PO DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.	ND
STORMWATER QUALITY POND SOIL MIXTURE LIMITS; THIS IS FO FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FO DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INC UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602	R C
SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	

NOTE TO CONTRACTOR CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OF ELEVATION OF ANY

ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.





EXISTING FENCE	<del>~ x x</del>
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO -
EXISTING GAS LINE	———— GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX-
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	$==\bigcirc$
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

#### GENERAL LEGEND PROPERTY LINE ------- PROPERTY LINE DEED BOOK AND PAGE XXX/XXX TO BE REMOVED T.B.R. T.R.U. TO REMAIN UNDISTURBED \_\_\_\_\_X'SBL\_\_\_\_\_SETBACK LINE PROPOSED ACCESSIBLE PARKING SPACE G SANITARY SEWER EASEMENT S.S.E. GAS EASEMENT G.E. W.L.E. WATER LINE EASEMENT ELECTRIC EASEMENT E.E. D.E. DRAINAGE EASEMENT UTILITY EASEMENT U.E.

### UTILITY LEGEND

 PROPOSED PUBLIC WATER LINE MAIN: AWWA C900
 X" W

 PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC

 WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF

 ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING

 EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTING.

 CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPRATMENT. 48"

 COVER MIN.

 PROPOSED PRIVATE DOMESTIC SERVICE LINE:

 FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO THE METER SHALL BE EITHER

 YEATIO, ASTM D2737, CTS SDR9 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED

 FROM THE 'WSL' TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR

 DMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MIN.,

 REFER TO THE 'P' SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE

 DOMESTIC WATER VALVE - COORDINATE VALVE TYPE WITH

 ASTERN HEIGHTS UTILITIES, INC.

 PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE – REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

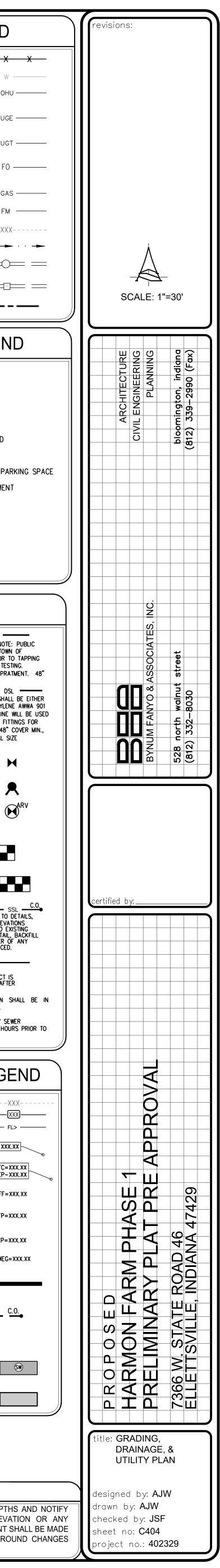
PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. <u>NOTE:</u> PROPOSED SANITARY MAIN SHOWN AS A PART OF THIS PROJECT IS TO <u>BE PUBLIC</u> AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE <u>NOTE</u>: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS. NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO

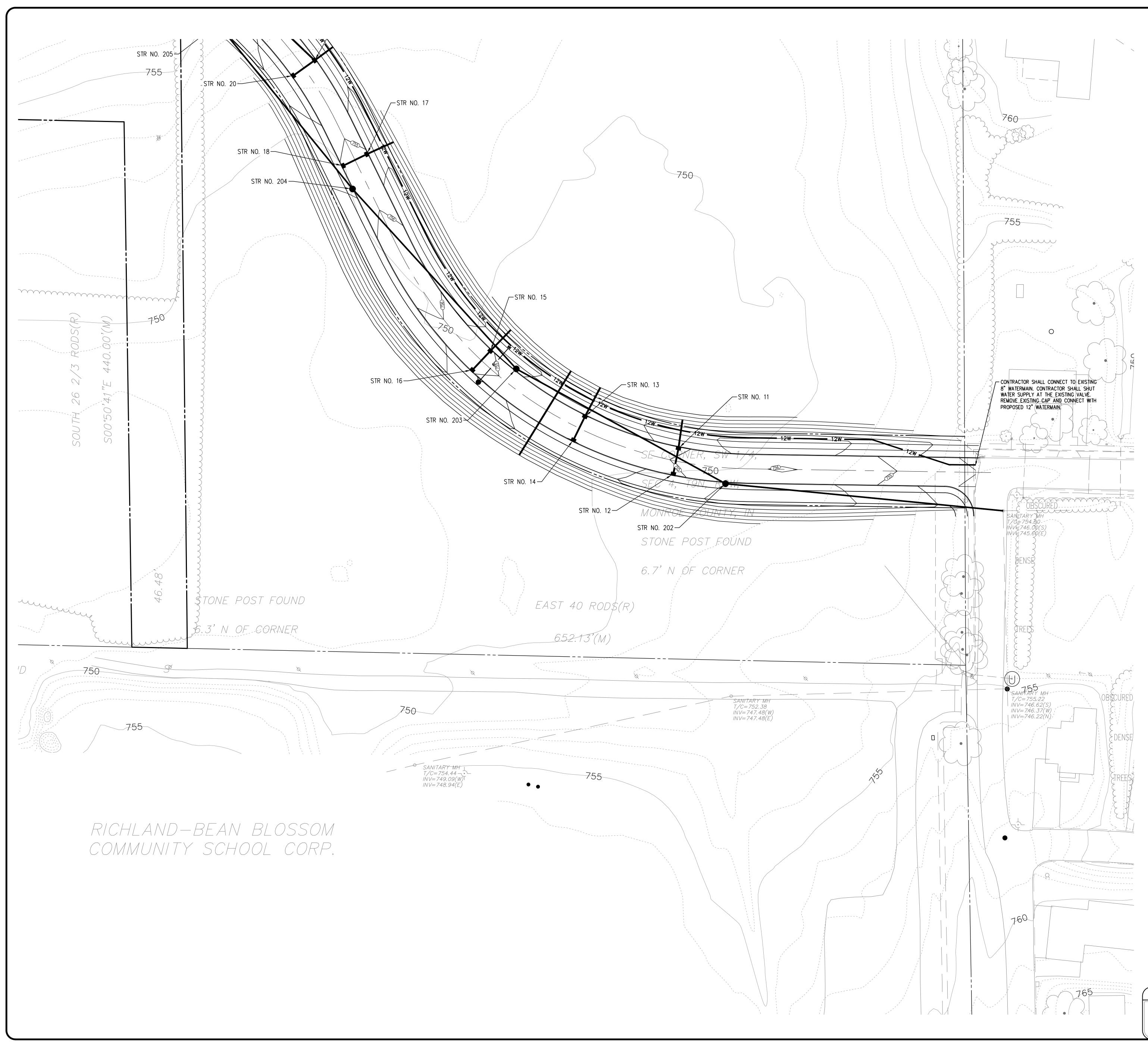
### GRADING/DRAINAGE LEGEND

CONSTRUCTION. CONTACT: (812)327-8030

	EXISTING CONTOUR	XX
	PROPOSED CONTOUR	——(XX)
	PROPOSED INTENDED FLOWLINE DIRECTION	
	PROPOSED SPOT GRADE ELEVATION	XXX.X
	TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	TC=XXX EP-XXX
	MINIMUM FINISH FLOOR ELEVATION	FF=XX
	MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XX)
	FINISH EDGE OF PAVEMENT AT GRADE	EP=XXX
	MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=X
	PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	
	PROPOSED DUAL WALL TYPE 'S' HDPE <u>X" UD</u> PERFORATED STORM PIPE UNDERDRAIN WITH SOCK SLOPED AT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS. REFER TO POND DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.	c.c
	STORMWATER QUALITY POND SOIL MIXTURE LIMITS; THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602	(
	SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	
$\sim$		

#### NOTE TO CONTRACTOR





EXISTING FENCE	<u> </u>
EXISTING WATER LINE	W -
EXISTING OVERHEAD UTILITY LINES	ОНИ
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO -
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX-
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	==0
EXISTING STORM SEWER AND INLET	C=
PROPERTY LINE	

#### GENERAL LEGEND ----- PROPERTY LINE - PROPERTY LINE DEED BOOK AND PAGE XXX/XXX T.B.R. TO BE REMOVED TO REMAIN UNDISTURBED T.R.U. \_\_\_\_\_X' SBL\_\_\_ SETBACK LINE PROPOSED ACCESSIBLE PARKING SPACE 6 S.S.E. SANITARY SEWER EASEMENT G.E. GAS EASEMENT W.L.E. WATER LINE EASEMENT E.E. ELECTRIC EASEMENT D.E. DRAINAGE EASEMENT U.E. UTILITY EASEMENT

### UTILITY LEGEND

 PROPOSED PUBLIC WATER LINE MAIN: AWWA C900
 X" W

 PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTING. CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPRATMENT. 48"

 COVER MIN.
 PROPOSED PRIVATE DOMESTIC SERVICE LINE:
 DSL
 DSL

 FOR 2-INCH OR LESS SERVICE LINES FROM THE 'WSL' TO THE METER SHALL BE EITHER TYPE K' COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE WSL' TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MIN., REFER TO THE 'S'SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SJZE DETERMINATION.

 PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.
 M

 PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601
 M

 PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601
 M

 PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE - REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE
 M

 SINGLE METER PIT WITH SERVICE LINE. COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.
 M

 DUBUBLE METER PIT SERVICE LINE. COORDINATE SIZE,

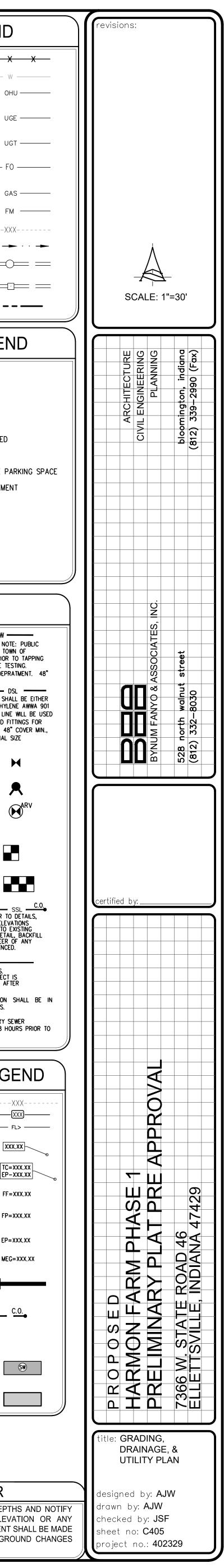
PROPOSED ASTM D3034 SDR 35 PVC \_\_\_\_\_\_\_\_\_\_SSL \_\_\_\_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_\_\_\_SSL \_\_\_\_\_SSL \_

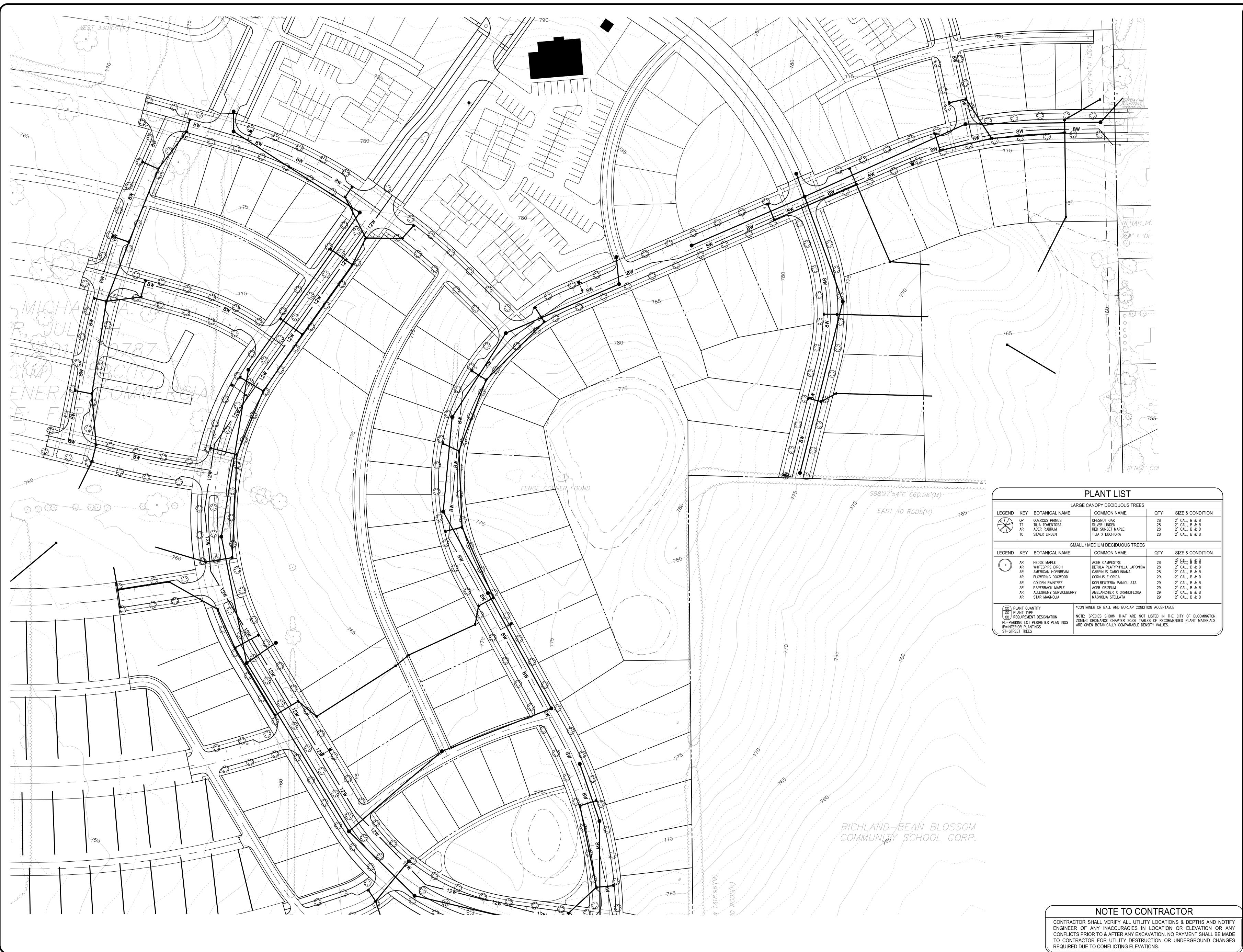
PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. <u>NOTE:</u> PROPOSED SANITARY MAIN SHOWN AS A PART OF THIS PROJECT IS TO BE <u>PUBLIC</u> AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE <u>NOTE:</u> ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS. NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

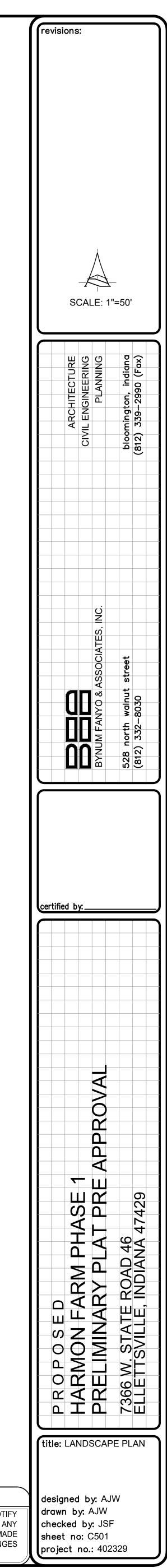
# GRADING/DRAINAGE LEGEND

EXISTING CONTOUR	XX
PROPOSED CONTOUR	(XX
PROPOSED INTENDED FLOWLINE DIRECTION	FL>
PROPOSED SPOT GRADE ELEVATION	XXX.X
TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	TC=XX EP-XX
MINIMUM FINISH FLOOR ELEVATION	FF=XX
MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XX
FINISH EDGE OF PAVEMENT AT GRADE	EP=XX
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=X
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	
PROPOSED DUAL WALL TYPE 'S' HDPE	<u>D</u> <u>C.C</u>
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SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	
	PROPOSED CONTOUR PROPOSED INTENDED FLOWLINE DIRECTION PROPOSED SPOT GRADE ELEVATION PROPOSED SPOT GRADE ELEVATION ITC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB MINIMUM FINISH FLOOR ELEVATION MINIMUM FINISH FLOOR ELEVATION MINIMUM FINISH FLOOR ELEVATION MINIMUM FINISH EARTH BUILDING PAD ELEVATION: LOWEST HOME CRAWLSPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB FINISH EDGE OF PAVEMENT AT GRADE MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS PROPOSED DUAL WALL TYPE 'S' HDPE PERFORATED STORM PIPE UNDERDRAIN WITH SOCK SLOPED AT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS. REFER TO POND DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL. STORMWATER QUALITY POND SOIL MIXTURE LIMITS; THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FOR DETTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602 SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND

#### NOTE TO CONTRACTOR





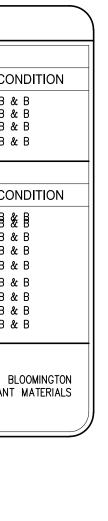


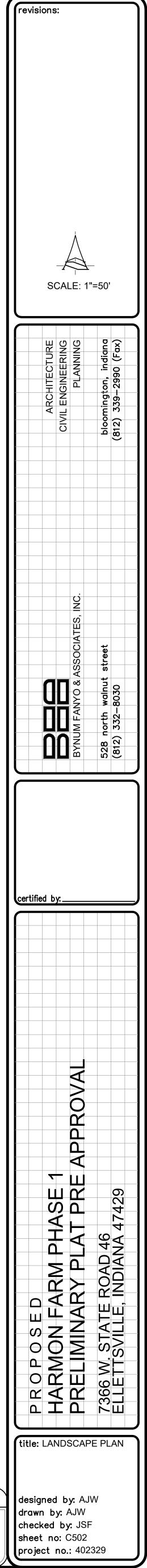


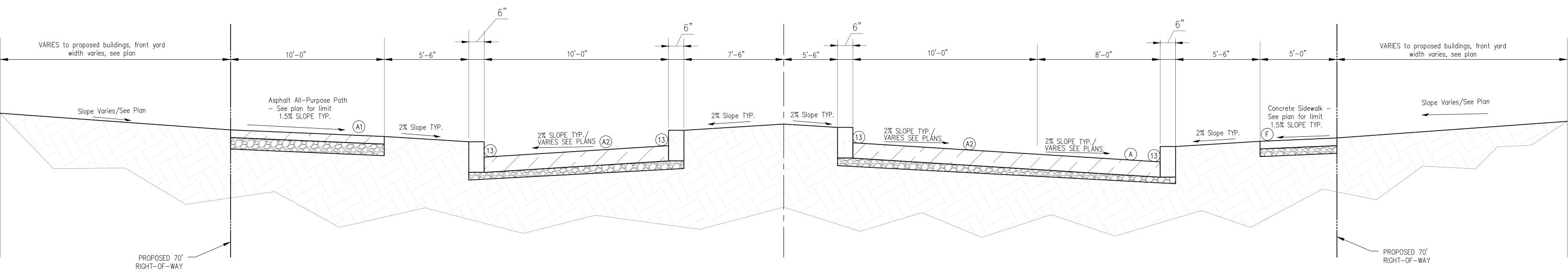


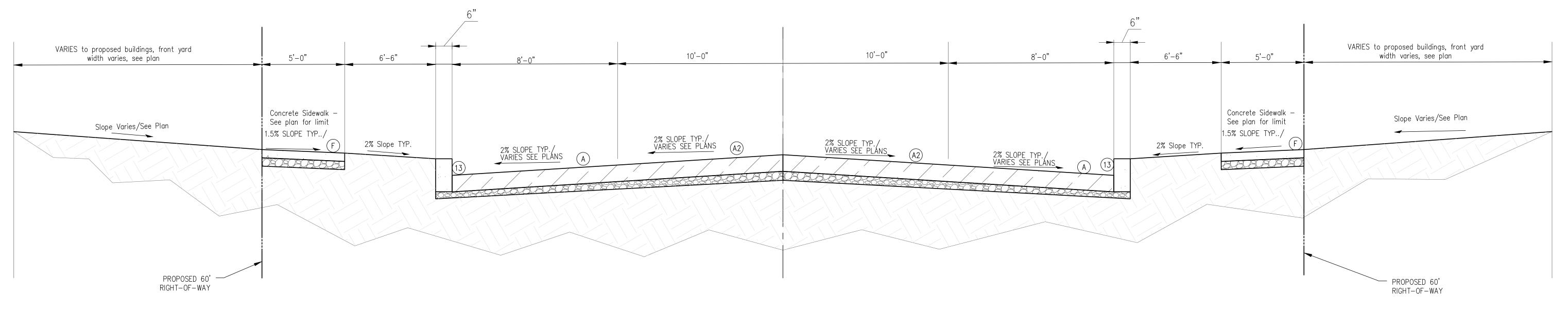
			Ρ	LANT LIST		
		L	ARGE CA	ANOPY DECIDUOUS TREES		
LEGEND	KEY	BOTANICAL NAME		COMMON NAME	QTY	SIZE & COI
	QP TT AR TC	QUERCUS PRINUS TILIA TOMENTOSA ACER RUBRUM SILVER LINDEN		CHESNUT OAK SILVER LINDEN RED SUNSET MAPLE TILIA X EUCHIORA	28 28 28 28	2" CAL., B & 2" CAL., B & 2" CAL., B & 2" CAL., B & 2" CAL., B &
SMALL / MEDIUM DECIDUOUS TREES						1
LEGEND	KEY	BOTANICAL NAME		COMMON NAME	QTY	SIZE & COI
•	AR AR AR AR AR AR AR AR	HEDGE MAPLE WHITESPIRE BIRCH AMERICAN HORNBEAM FLOWERING DOGWOOD GOLDEN RAINTREE PAPERBACK MAPLE ALLEGHENY SERVICEBERF STAR MAGNOLIA	RY	ACER CAMPESTRE BETULA PLATYPHYLLA JAPONICA CARPINUS CAROLINIANA CORNUS FLORIDA KOELREUTERIA PANICULATA ACER GRISEUM AMELANCHIER X GRANDIFLORA MAGNOLIA STELLATA	28 28 29 29 29 29 29 29 29	2" CAL., B & 2" CAL., B &
XX PLANT QUANTITY XX PLANT TYPE XX REQUIREMENT DESIGNATION PL=PARKING LOT PERIMETER PLANTINGS IP=INTERIOR PLANTINGS ST=STREET TREES			NOTE: S ZONING	NER OR BALL AND BURLAP CONDIT SPECIES SHOWN THAT ARE NOT ORDINANCE CHAPTER 20.06 TABL EN BOTANICALLY COMPARABLE DEN	LISTED IN TH ES OF RECOM	HE CITY OF BL

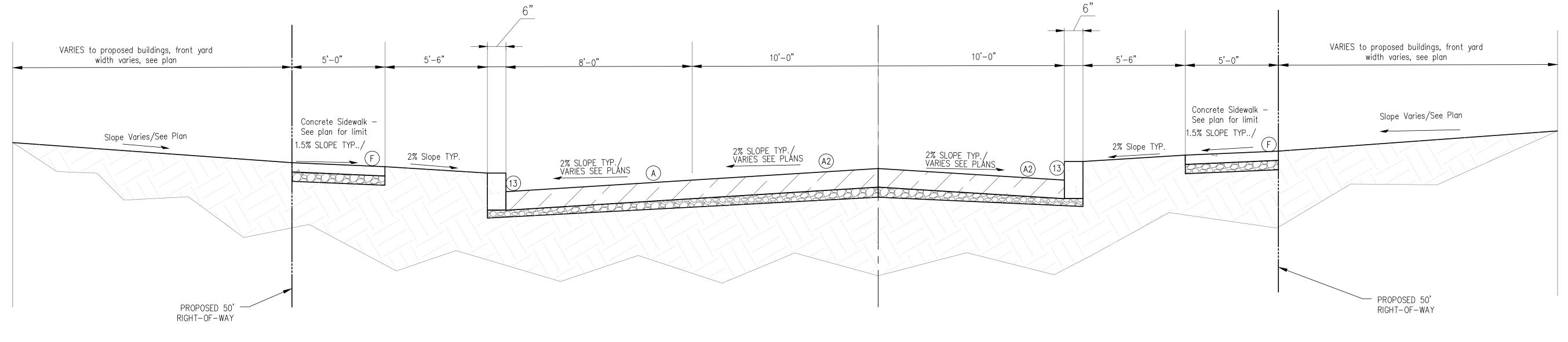
#### NOTE TO CONTRACTOR

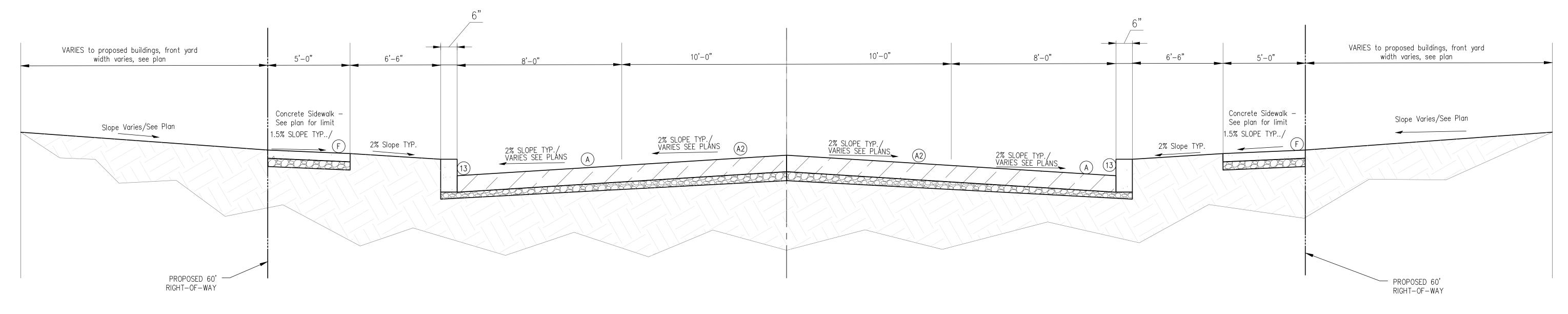












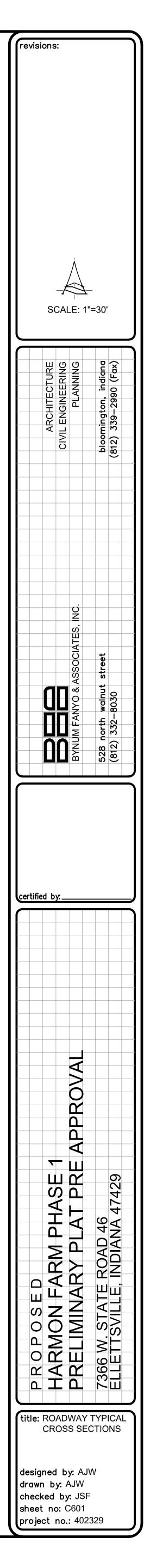
#### COLLECTOR WITH MEDIAN TYPICAL CROSS SECTION

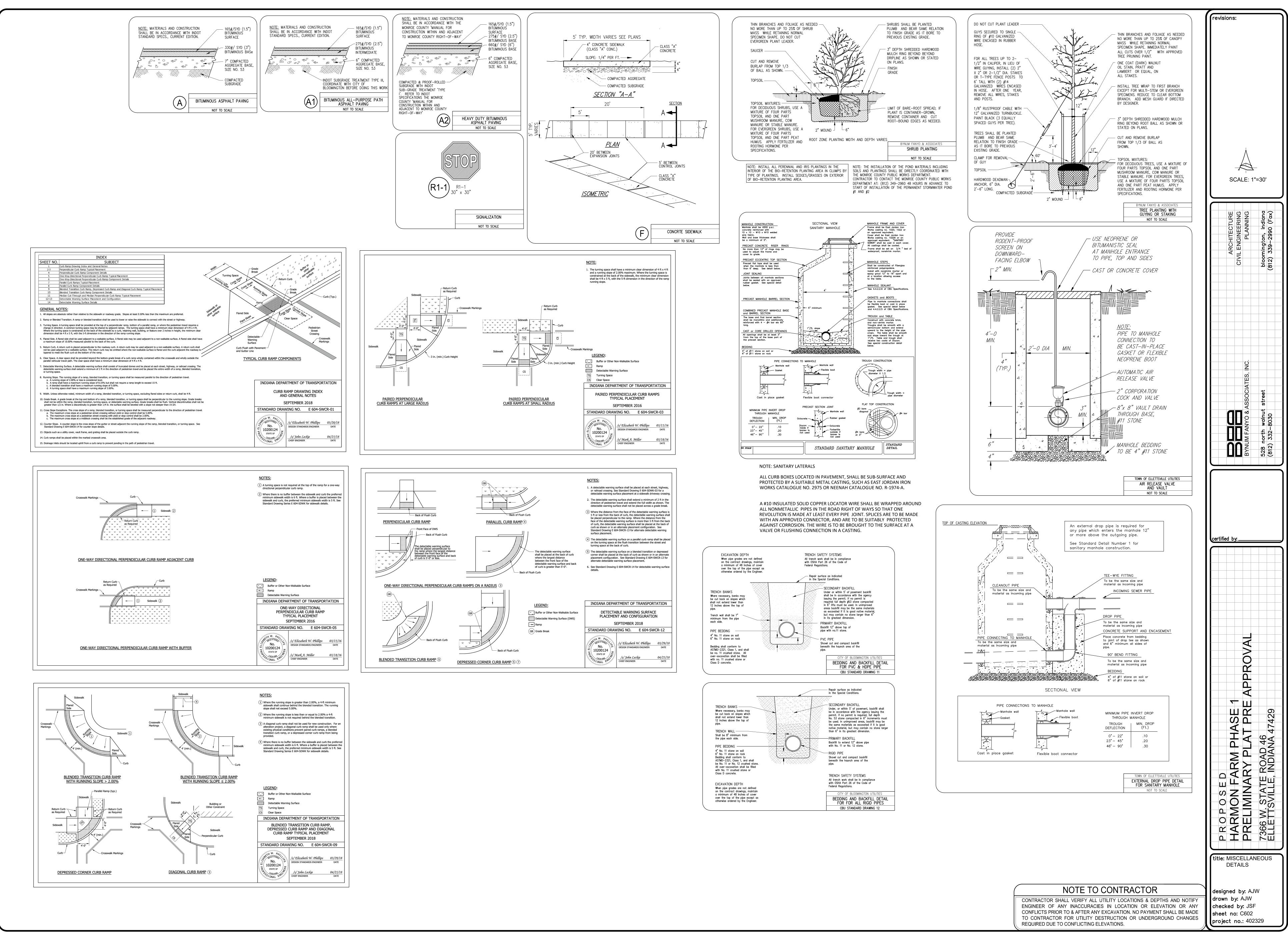
#### LOCAL ROAD WITH PARALLEL PARKING BOTH SIDES TYPICAL CROSS SECTION

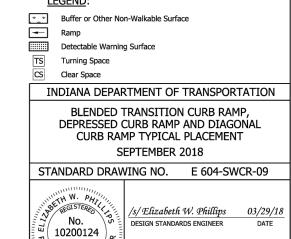
#### LOCAL ROAD WITH PARALLEL PARKING ON ONE SIDE TYPICAL CROSS SECTION

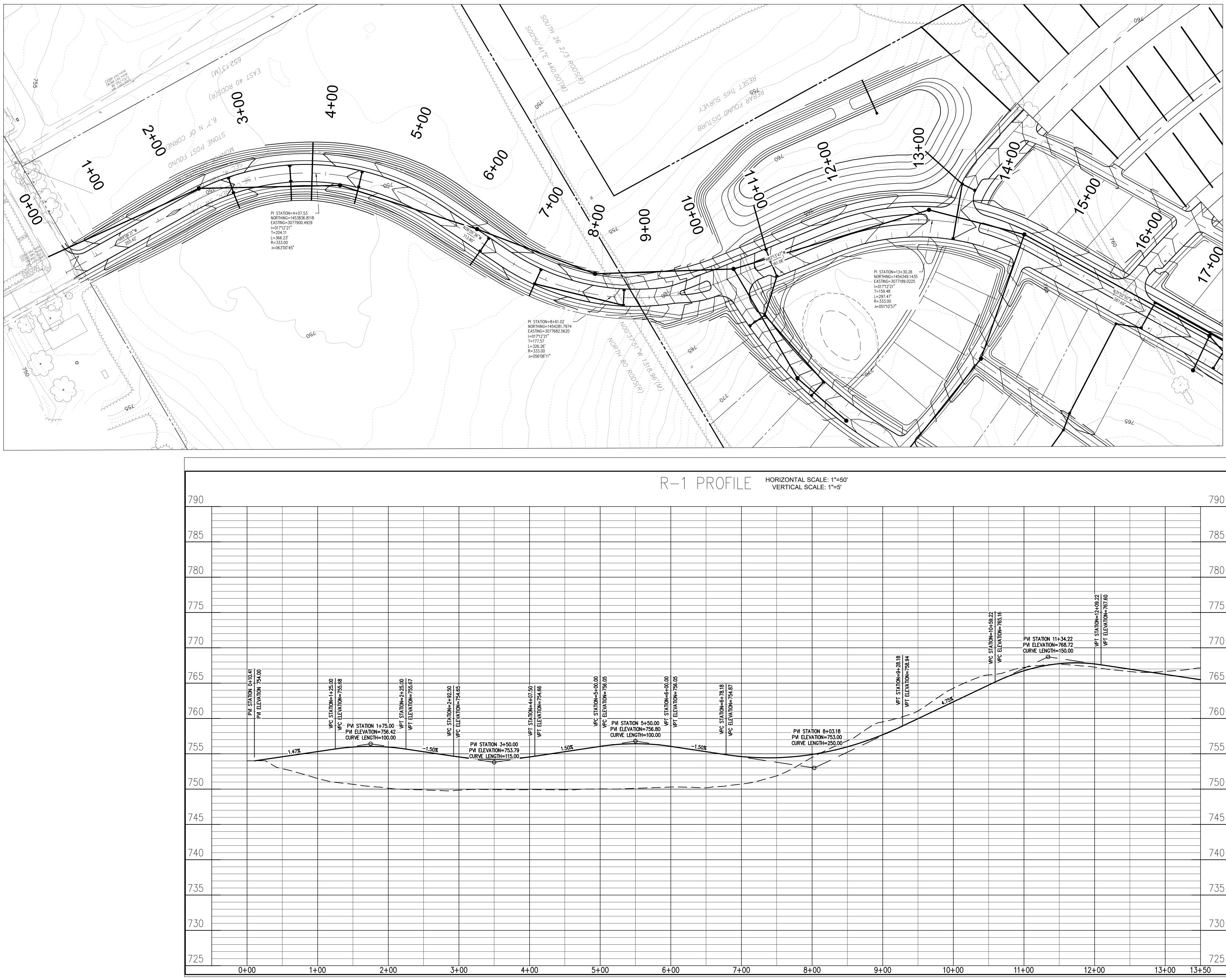
LOCAL ROAD WITH PARALLEL PARKING BOTH SIDES TYPICAL CROSS SECTION





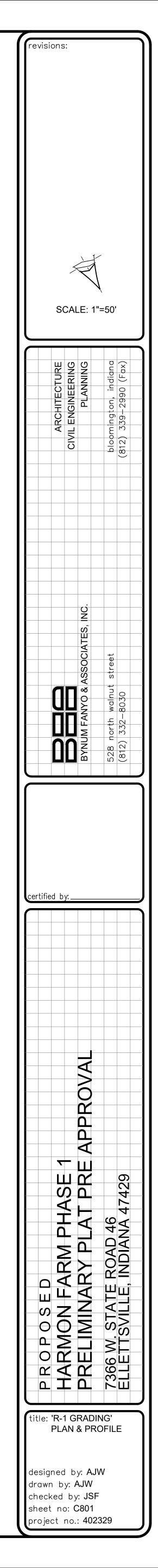


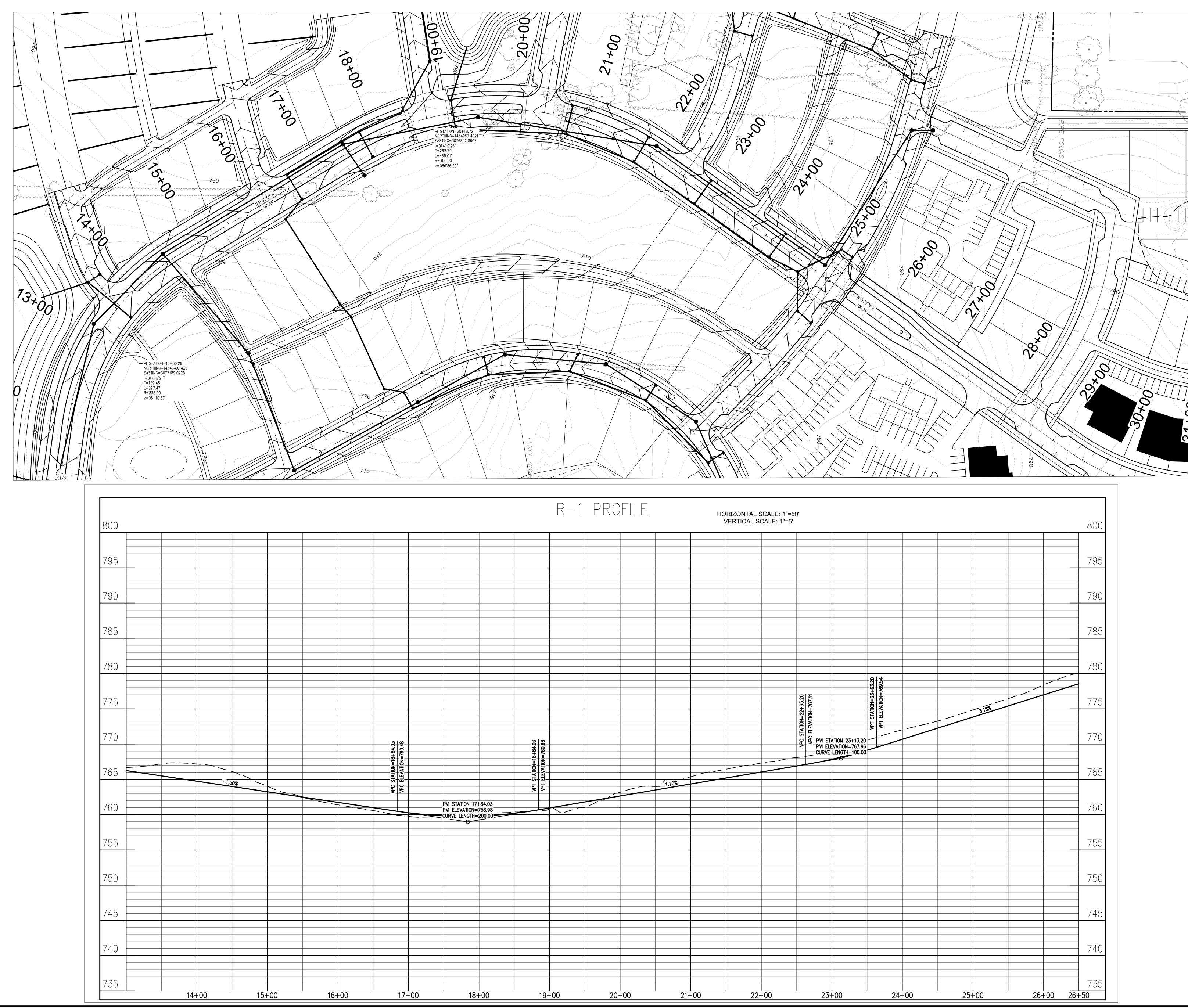




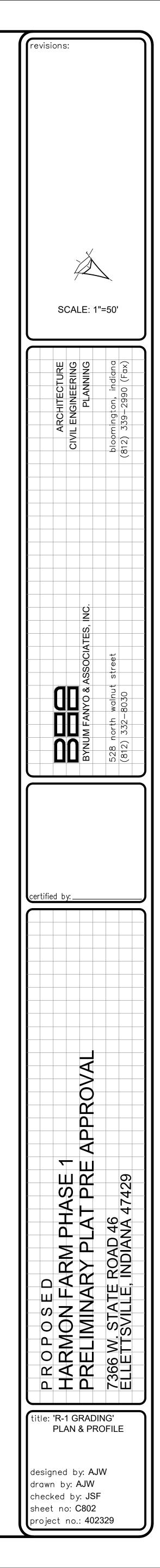
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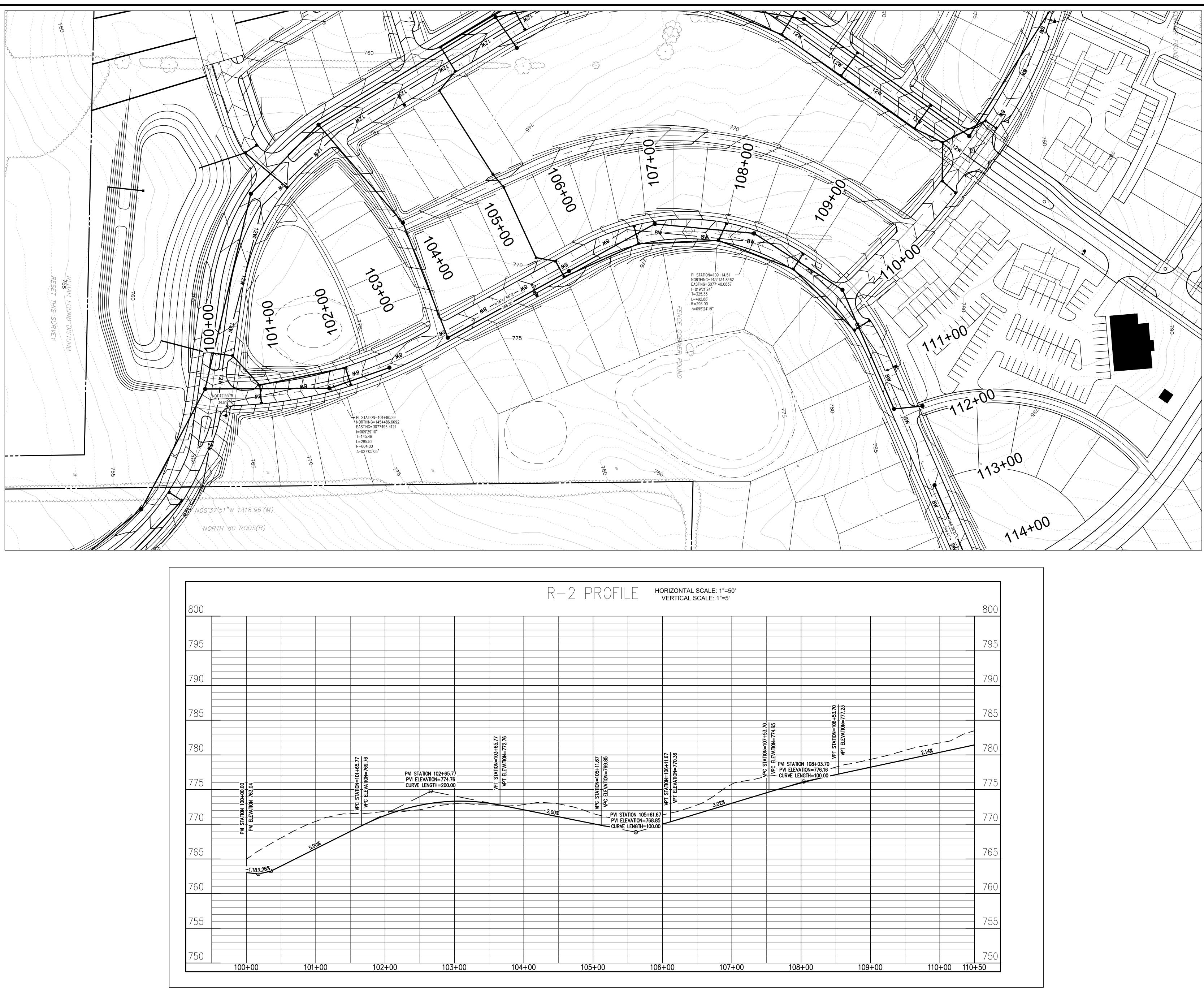
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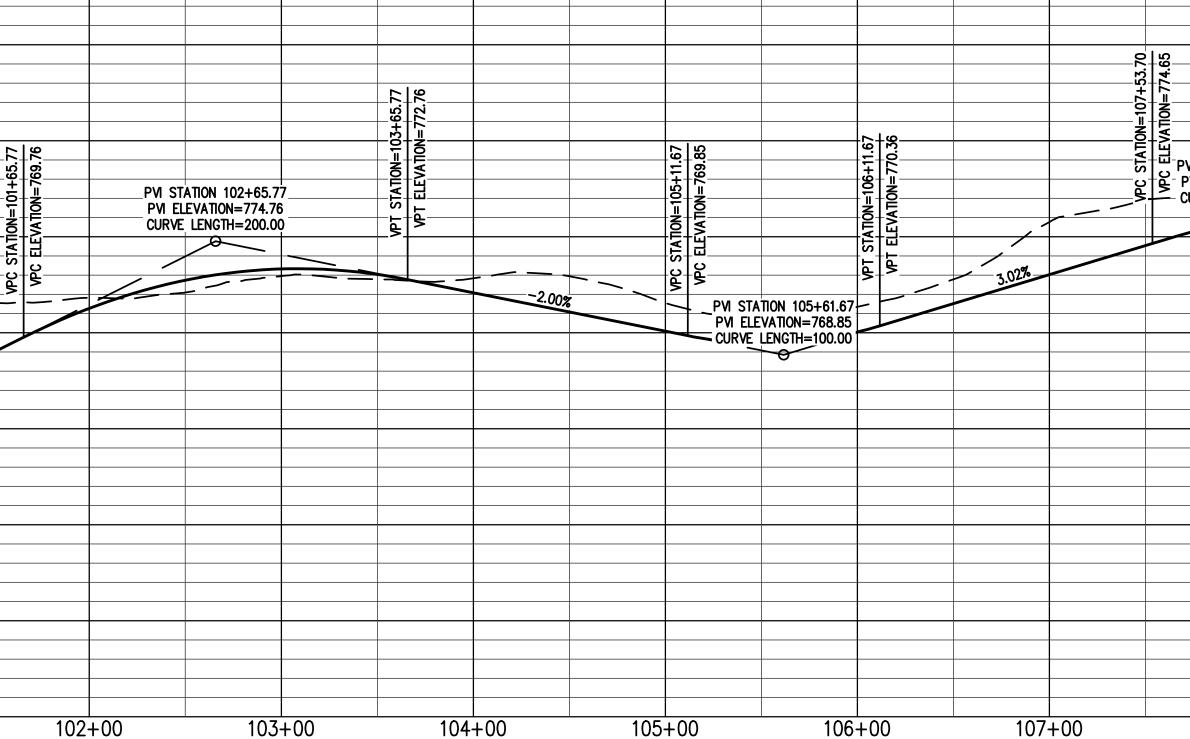


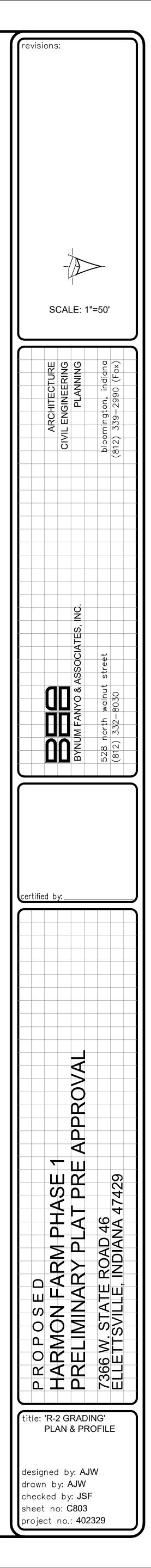
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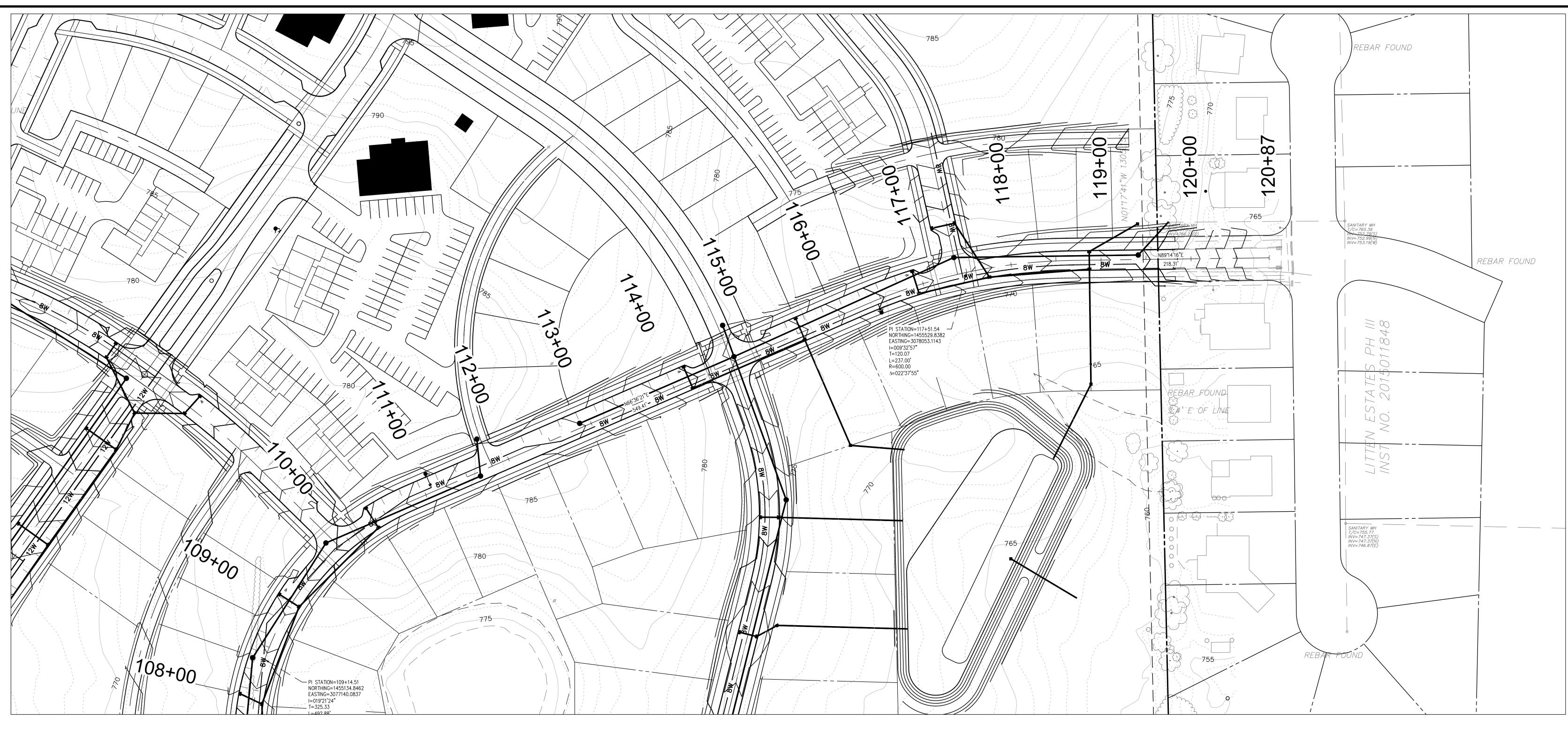




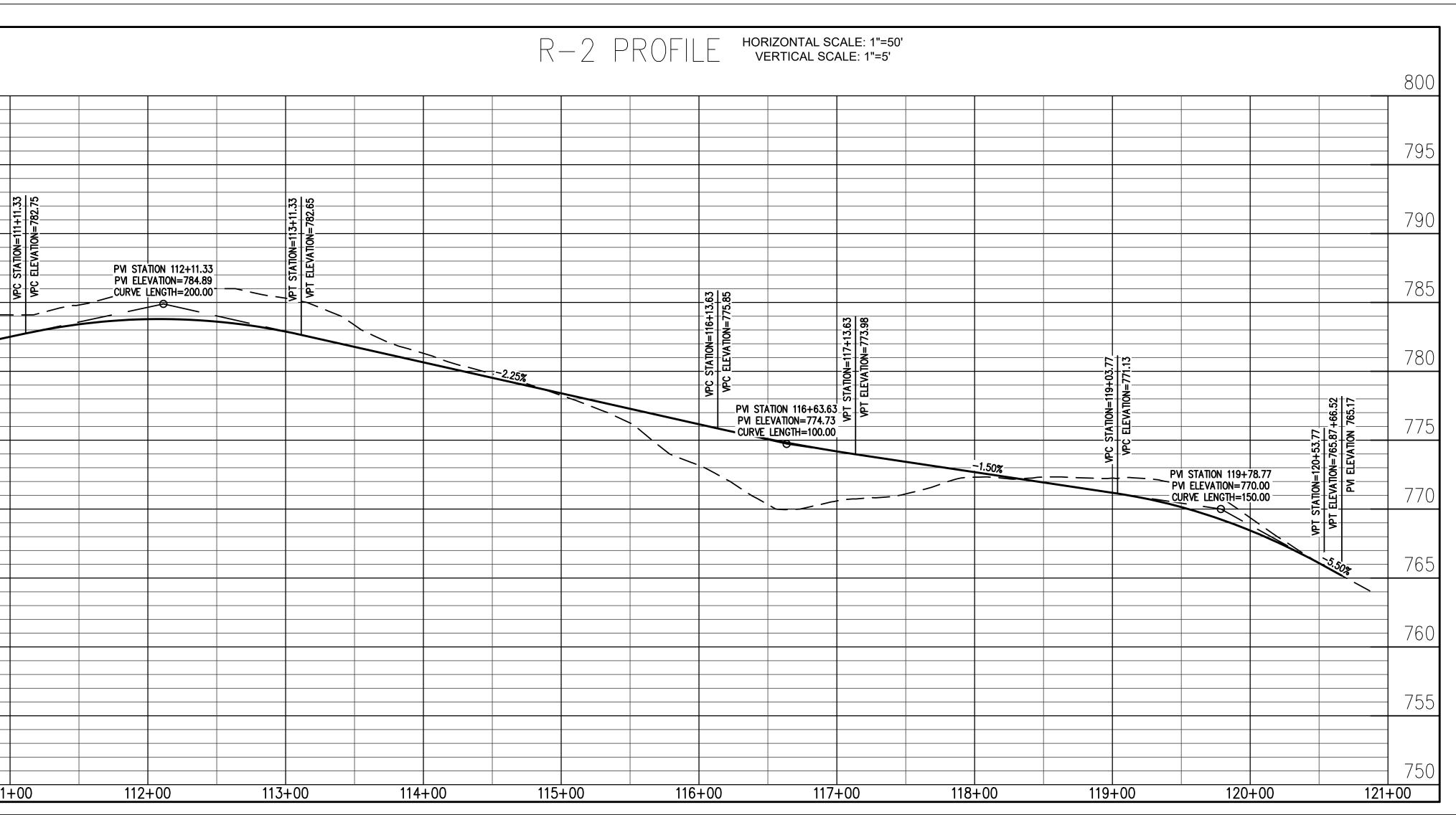
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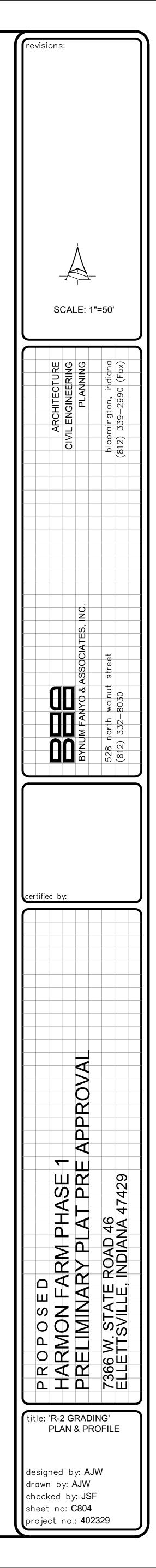


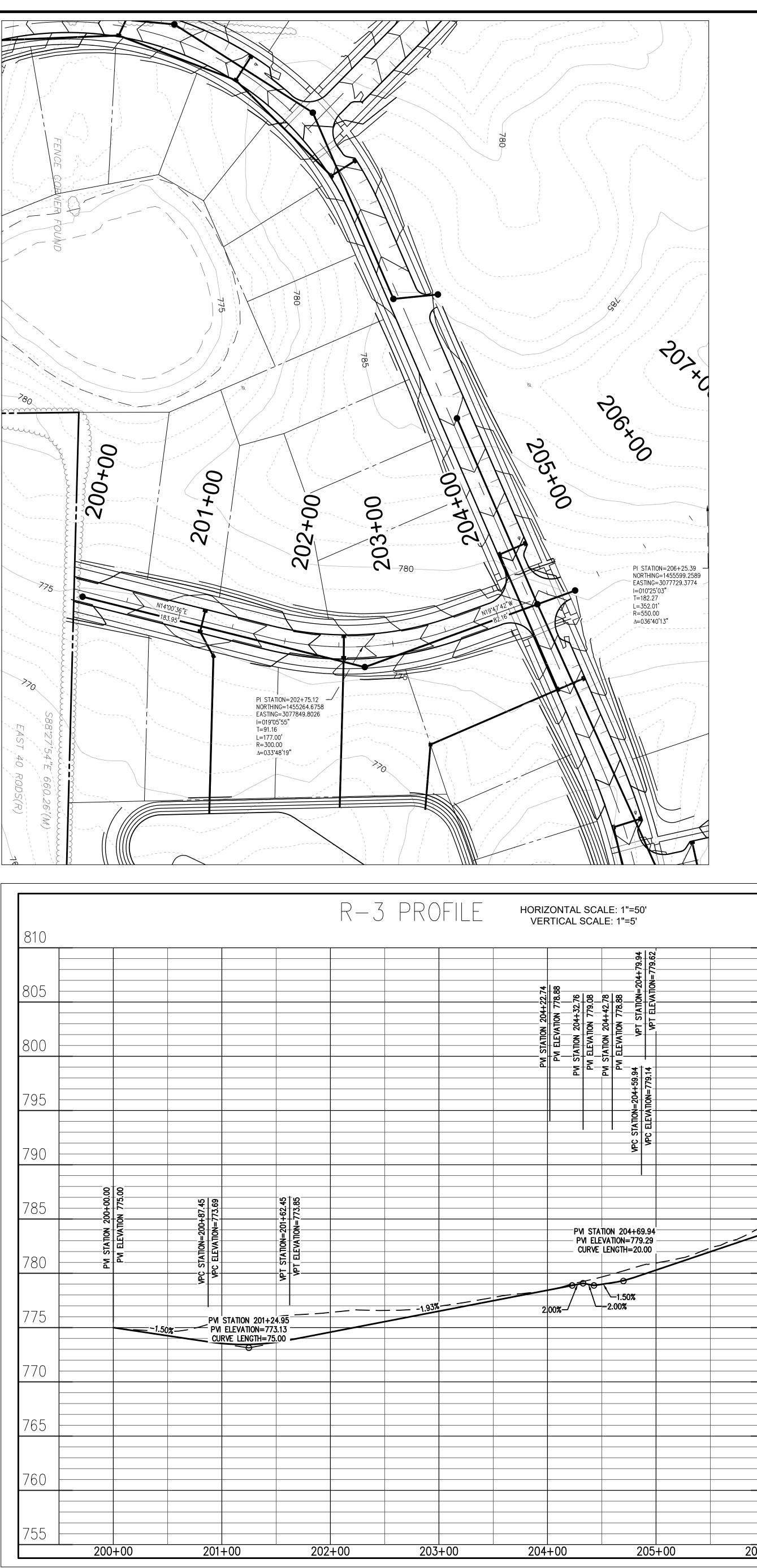




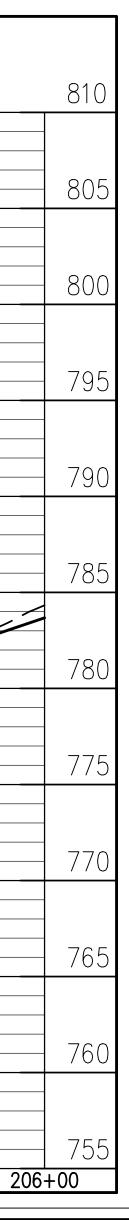
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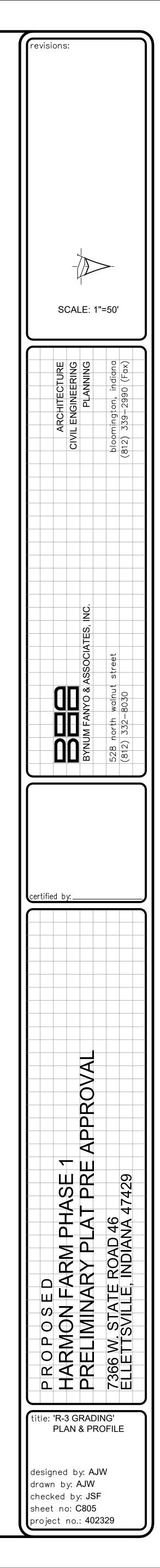


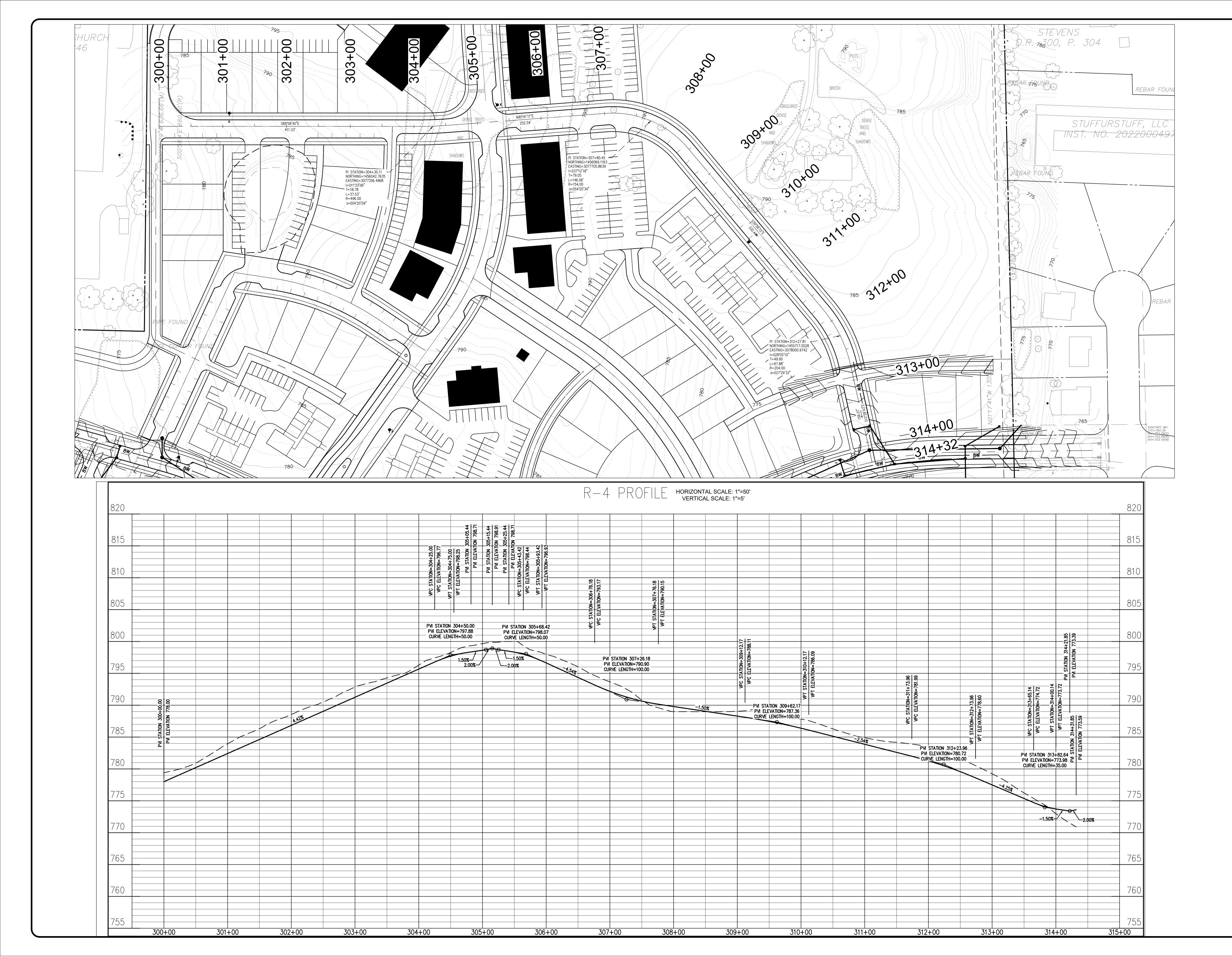


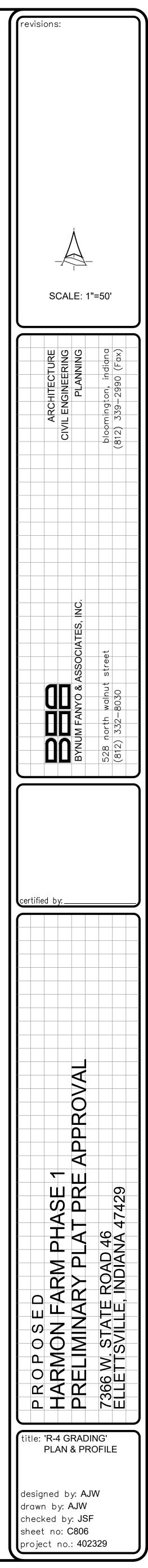


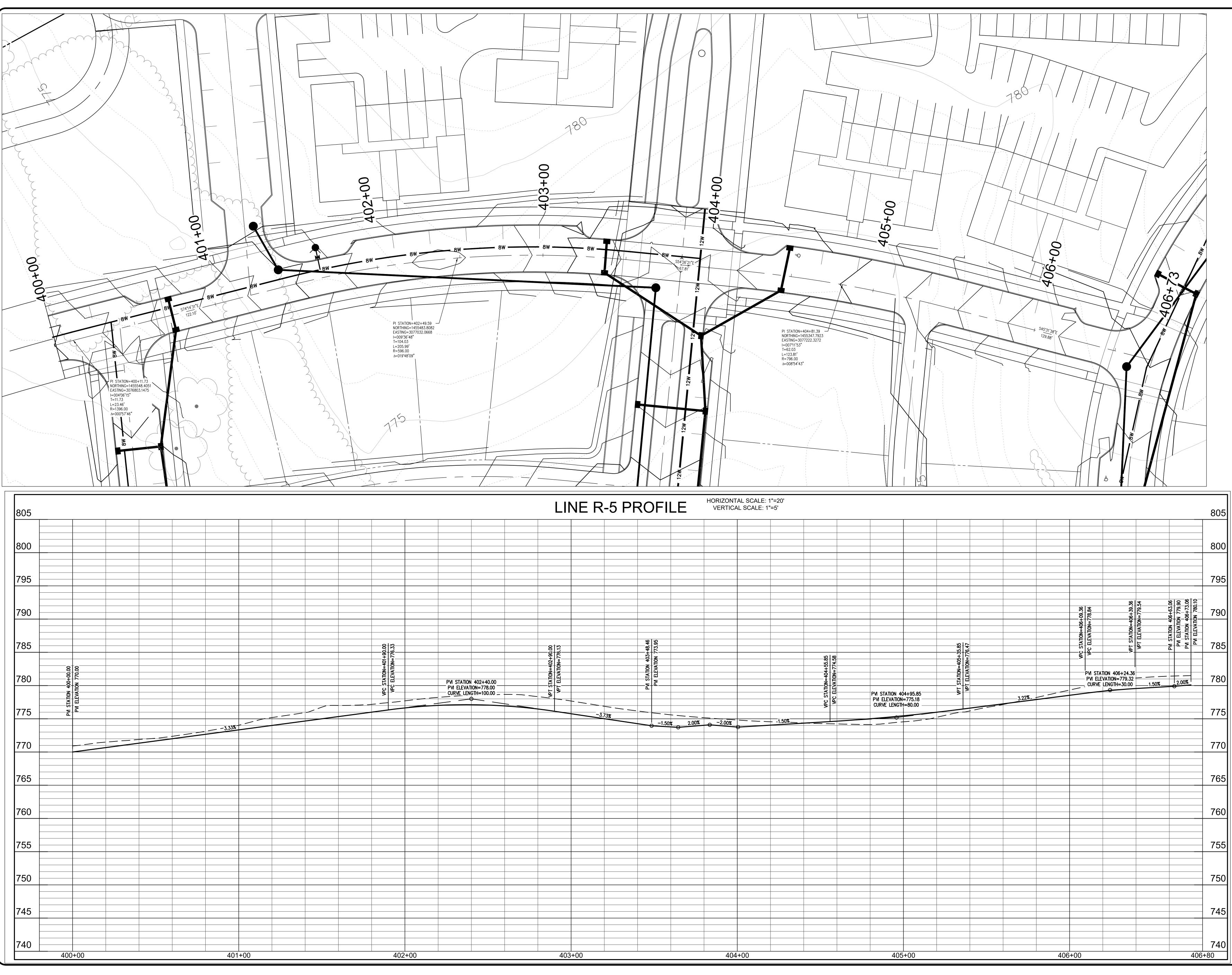
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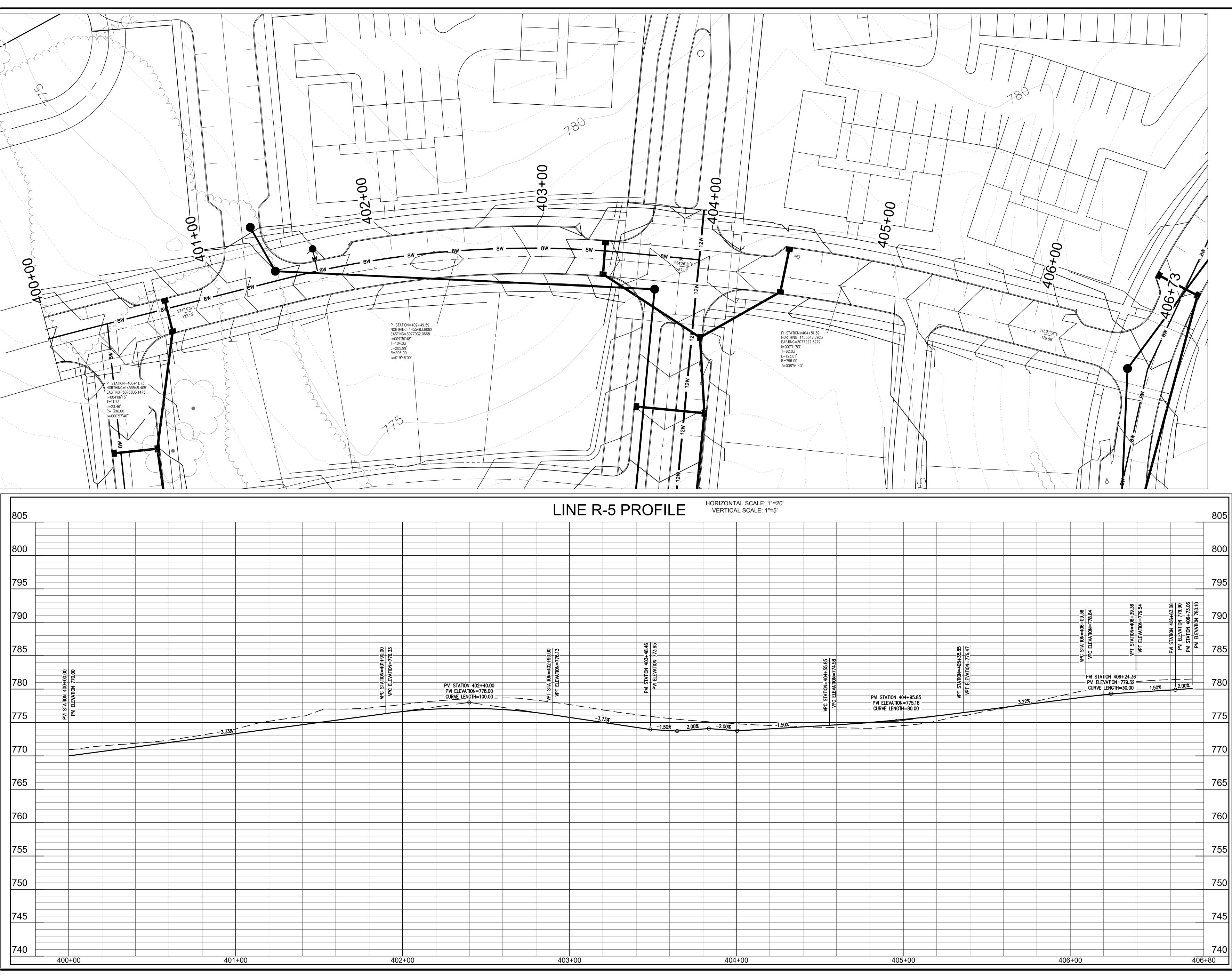




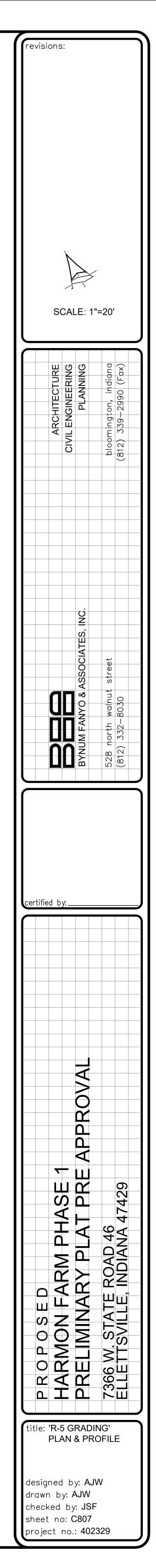


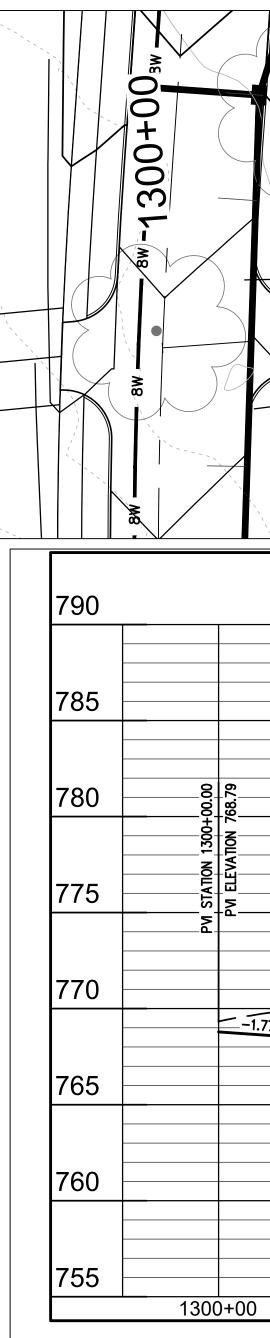


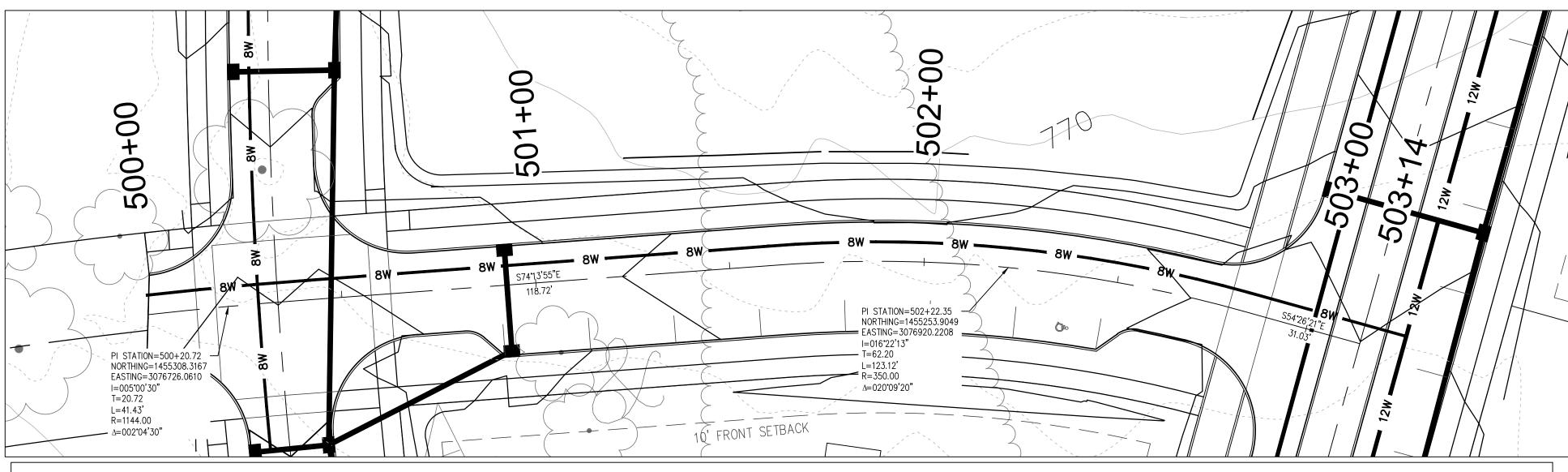


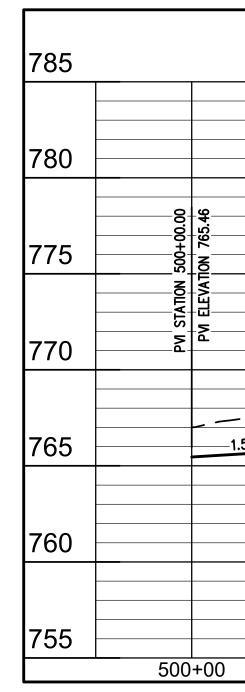


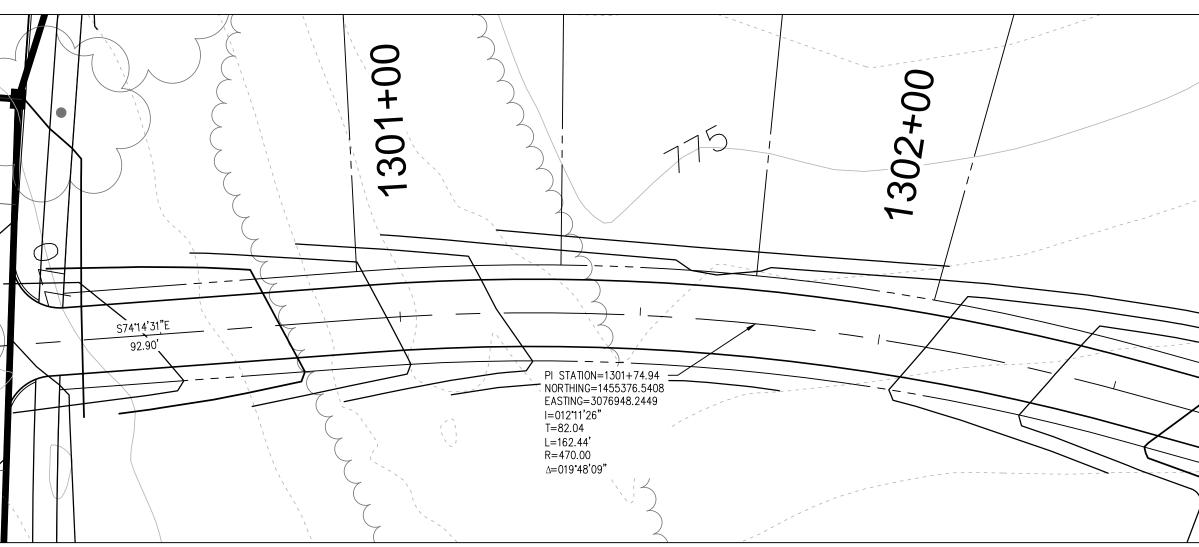
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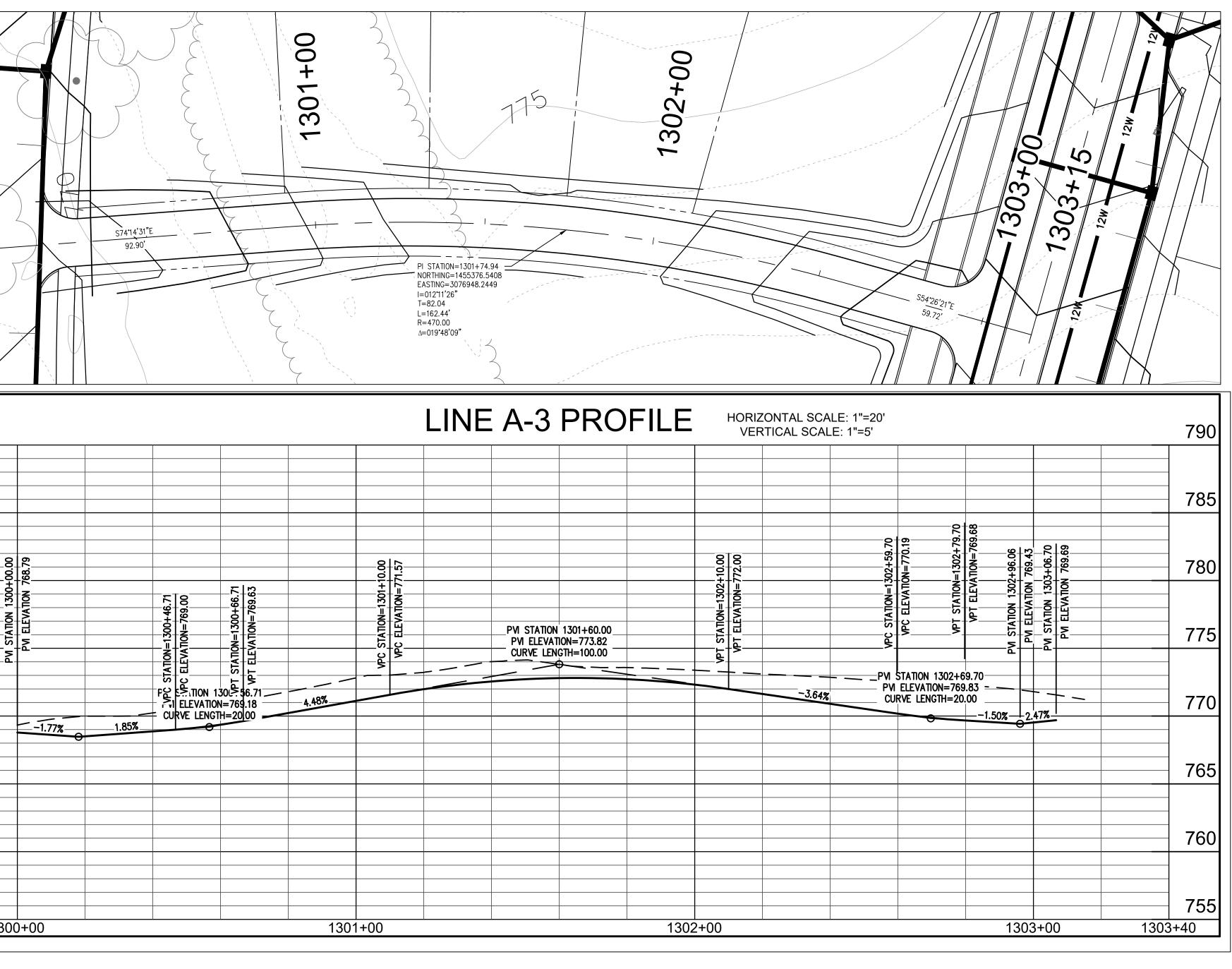






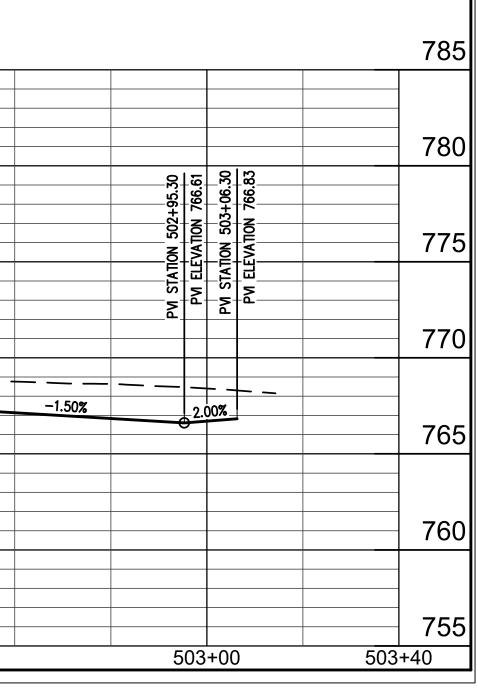




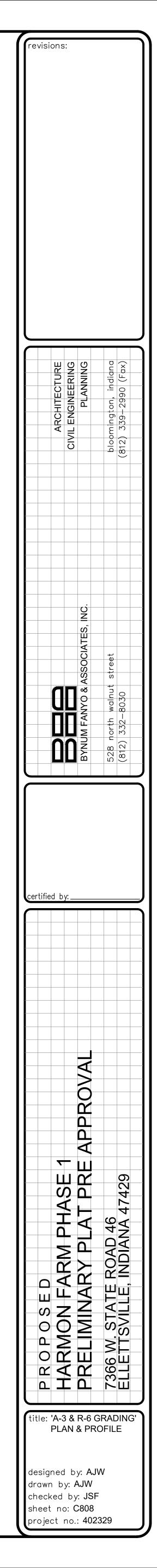


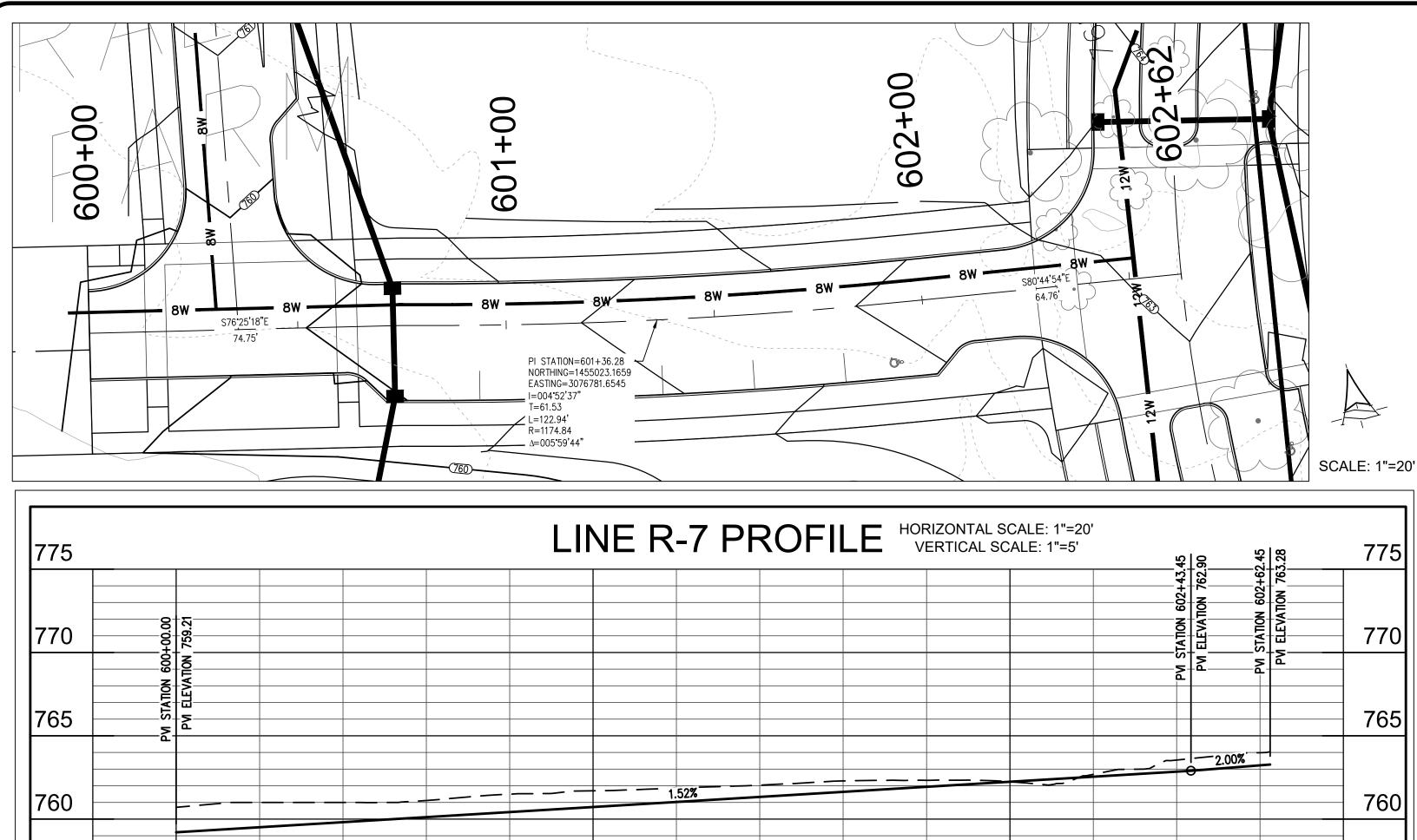
	LINE R-6 PR	OFILE HORIZ	CONTAL SCALE: 1"=20' RTICAL SCALE: 1"=5'
1.50%     2004-23.52       1.50%     2004-23.52       1.50%     2004-23.52       1.50%     2004-33.52       1.50%     2004-33.52       1.50%     2004-62.52		PVI STATION 501+95.82 PVI STATION 501+95.82 PVI ELEVATION=768.10 CURVE LENGTH=100.00	VPT STATION=502+45.82 VPT STATION=767.35
Image: Second	Image: sector	502+00	

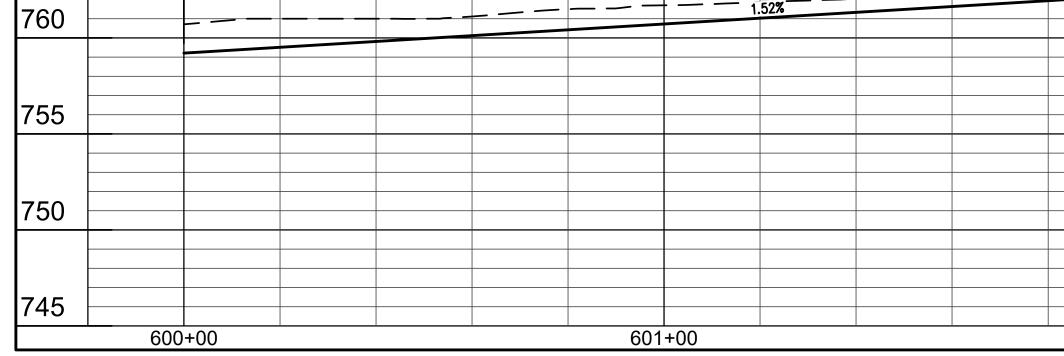
SCALE: 1"=20'

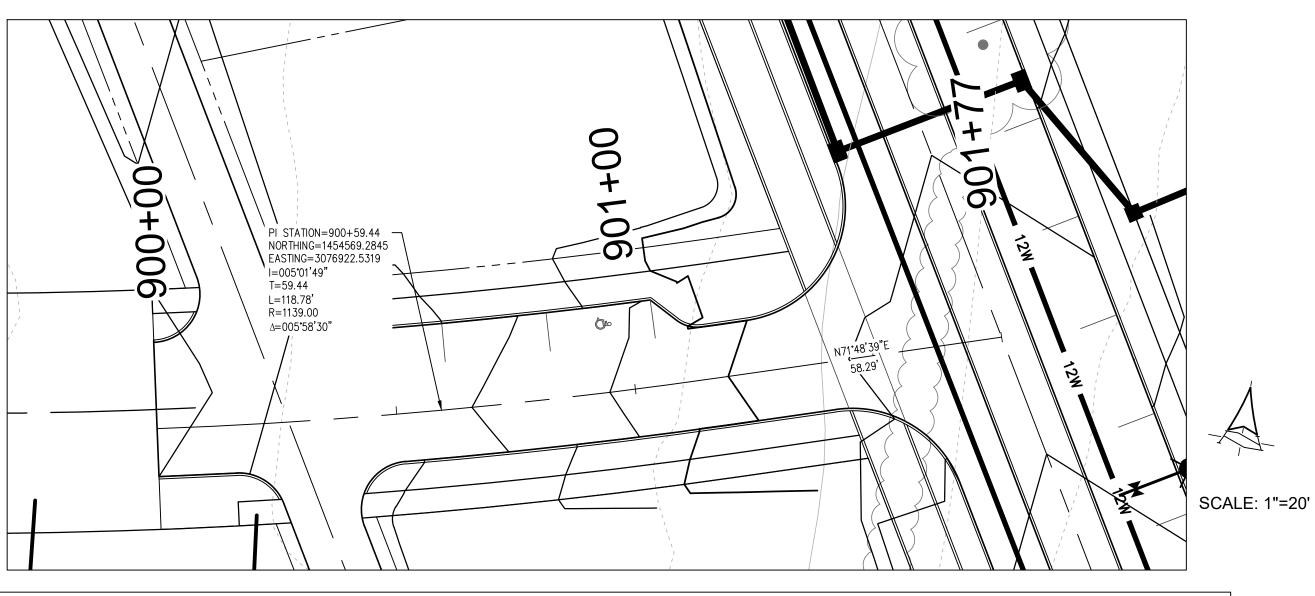


SCALE: 1"=20'



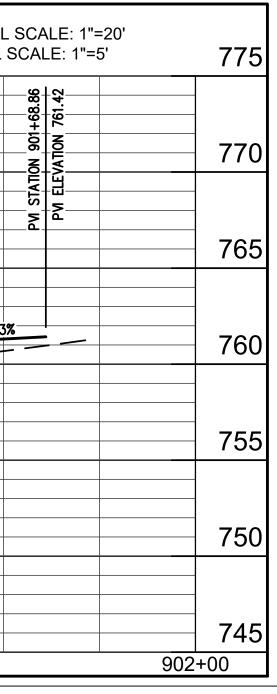


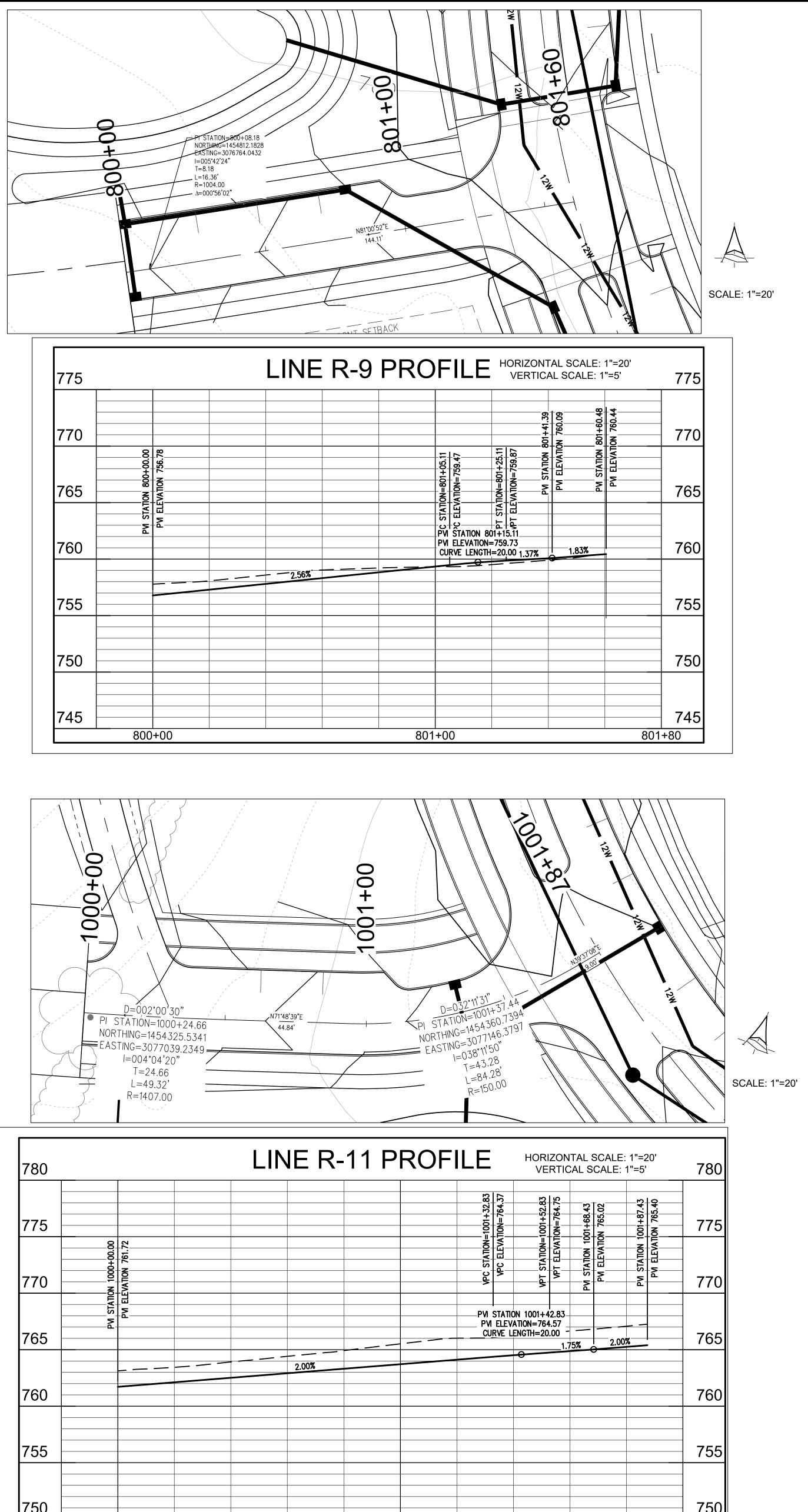


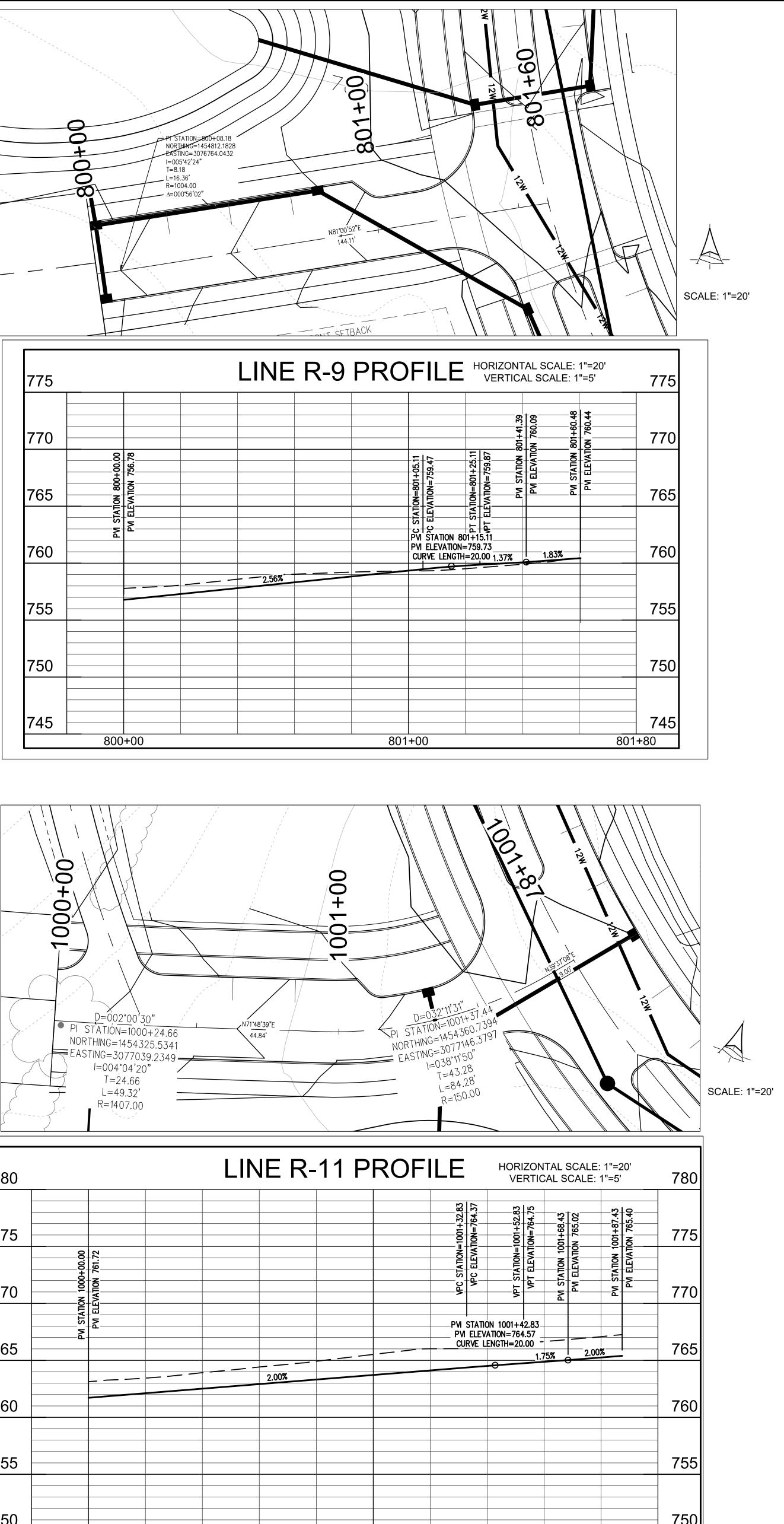


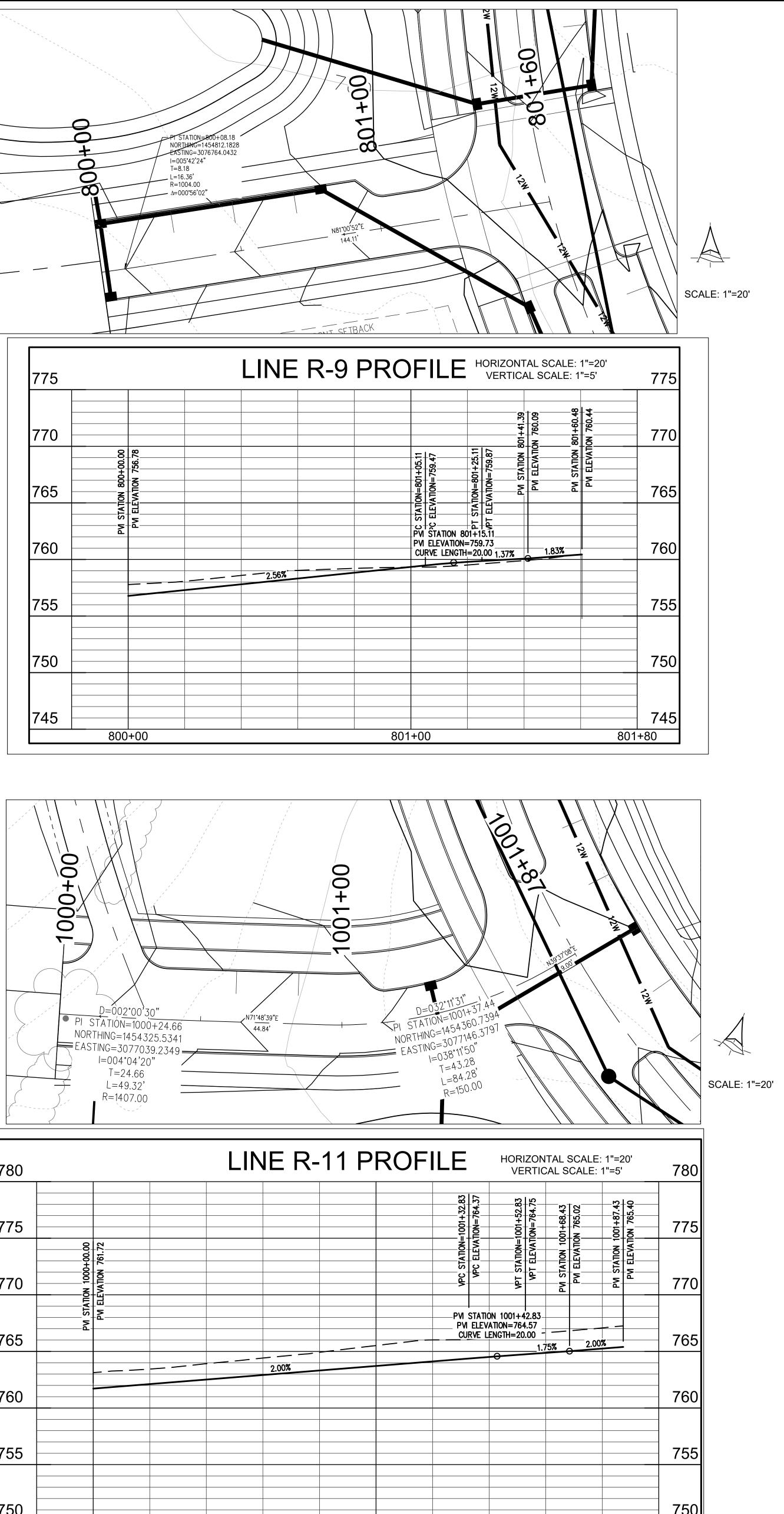
775				LIN	IE R-	10 P	ROF	ILE	HORIZOI VERTI	
770							STATION=901+20.22	ELEVATION=761.08	VPT ELEVATION=761.37 PM STATION 901+49.37 PVI ELEVATION 761.16	
765	00.00+000	ELEVATION 756.57	+		V=900+80.75	ELEVATION=759.00		VPC ELEV	PN STATIO	
760	PM STATION	ΔA ETE	VPC STATION=900+30.75 VPC ELEVATION=757.18	PVI STATION 9	00+55.75	<b>F</b>		STATION 901+3 ELEVATION=76 RVE LENGTH=2		<u>    1.33%  </u>
755		2.00%		PVI ELEVATION CURVE LENGT	H=50.00					
750										
745										
	900	+00		·		901	+00	·		

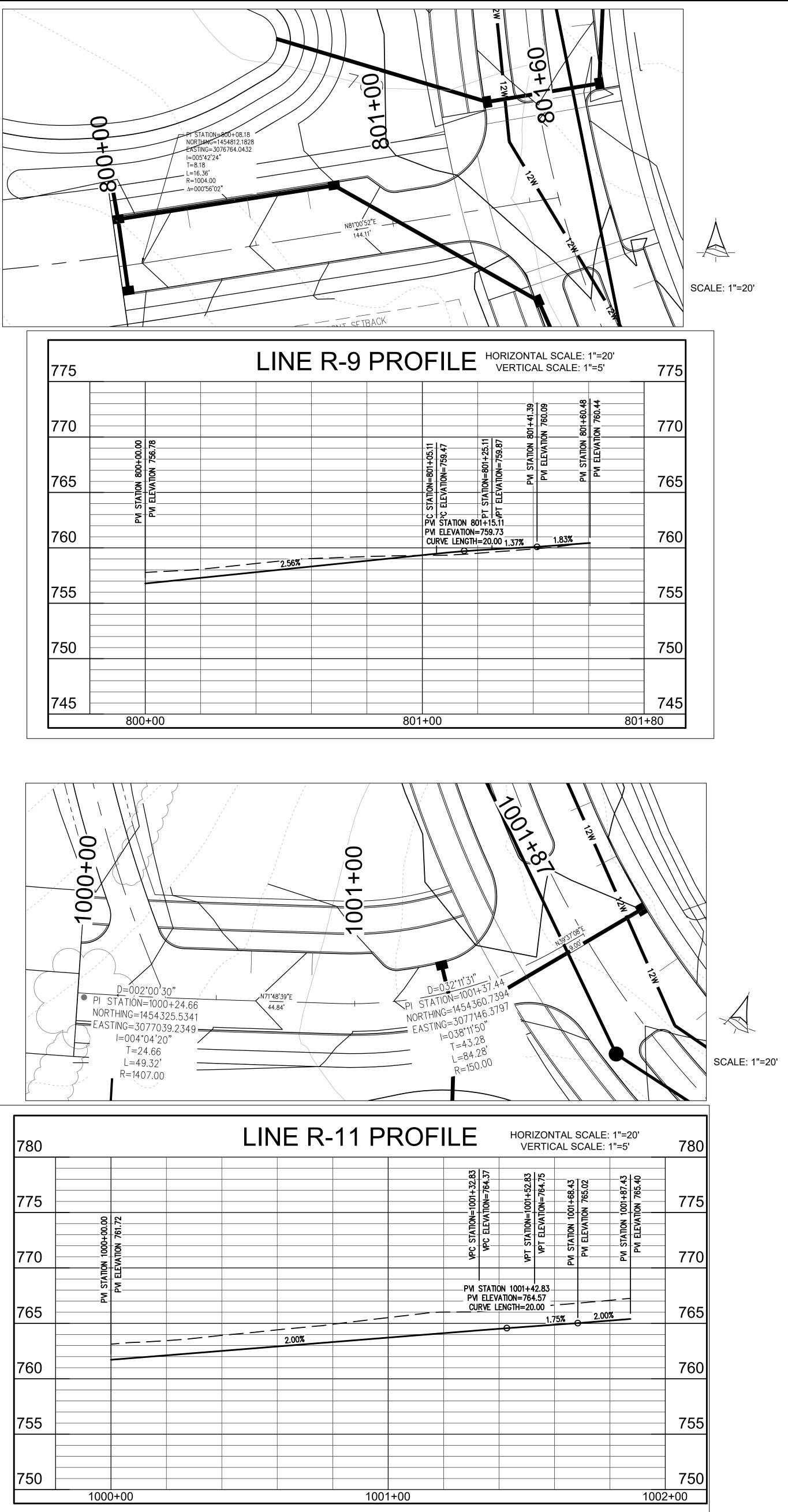
ONTAL SCALE: 1": ΓICAL SCALE: 1"=	5'	775
	РИ STATION 602+43.45 РИ STATION 602+43.45 РИ БLEVATION 762.90 РИ STATION 602+62.45 РИ БLEVATION 763.28	770
		765
		760
		755
		750
		745
602+00		602+80

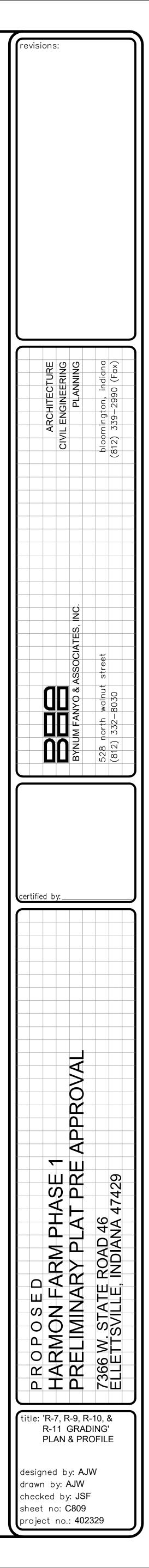


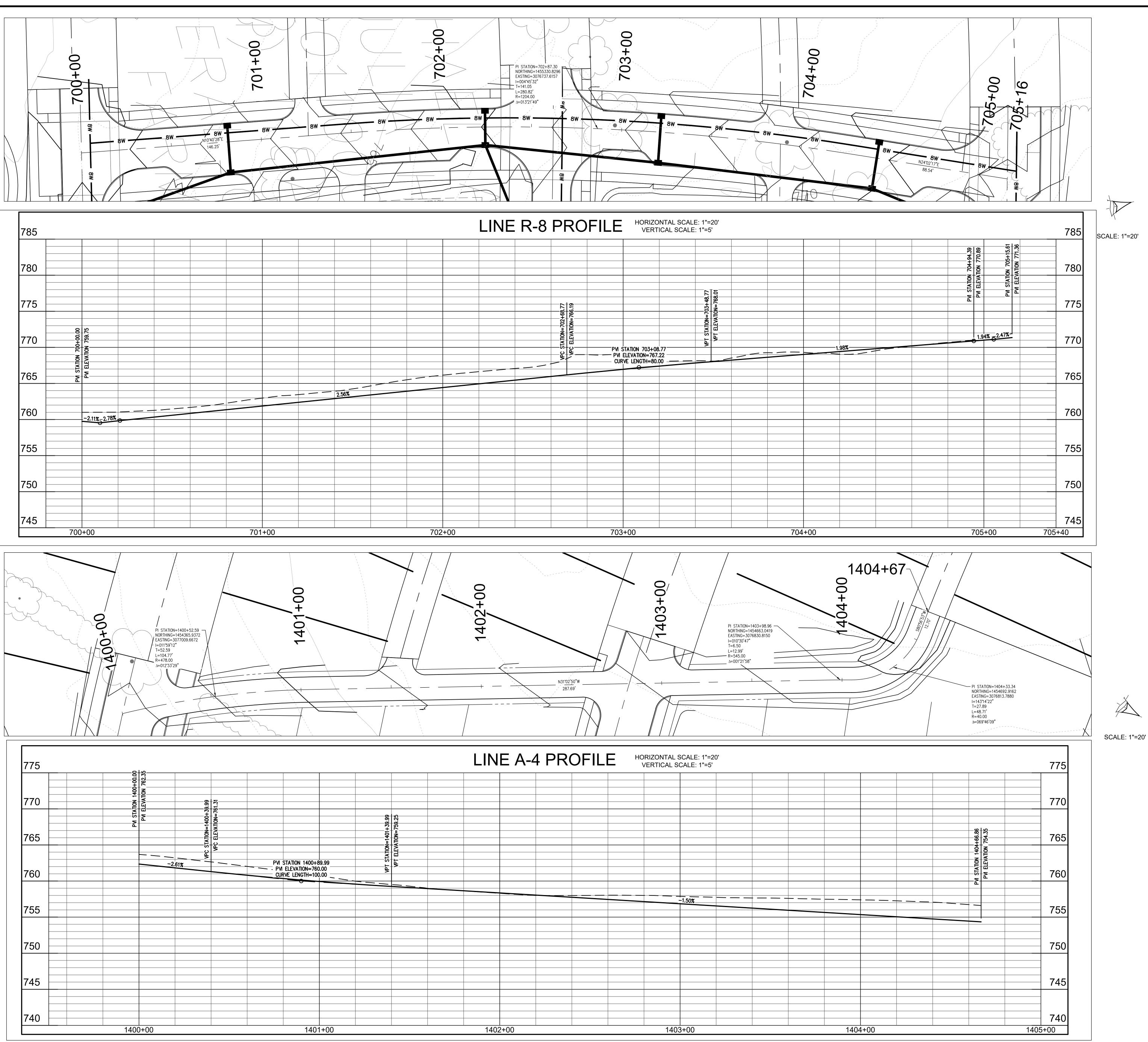


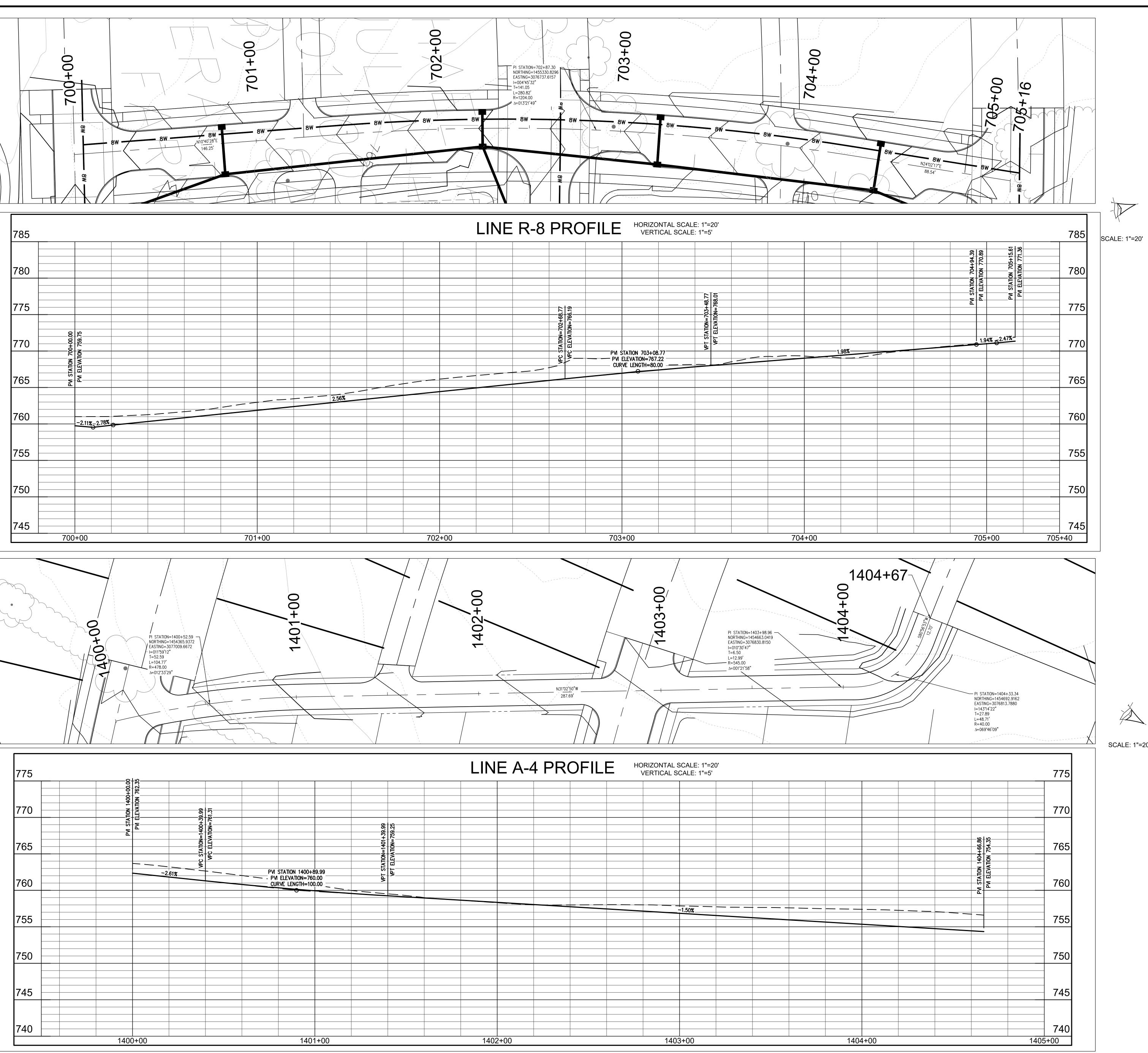


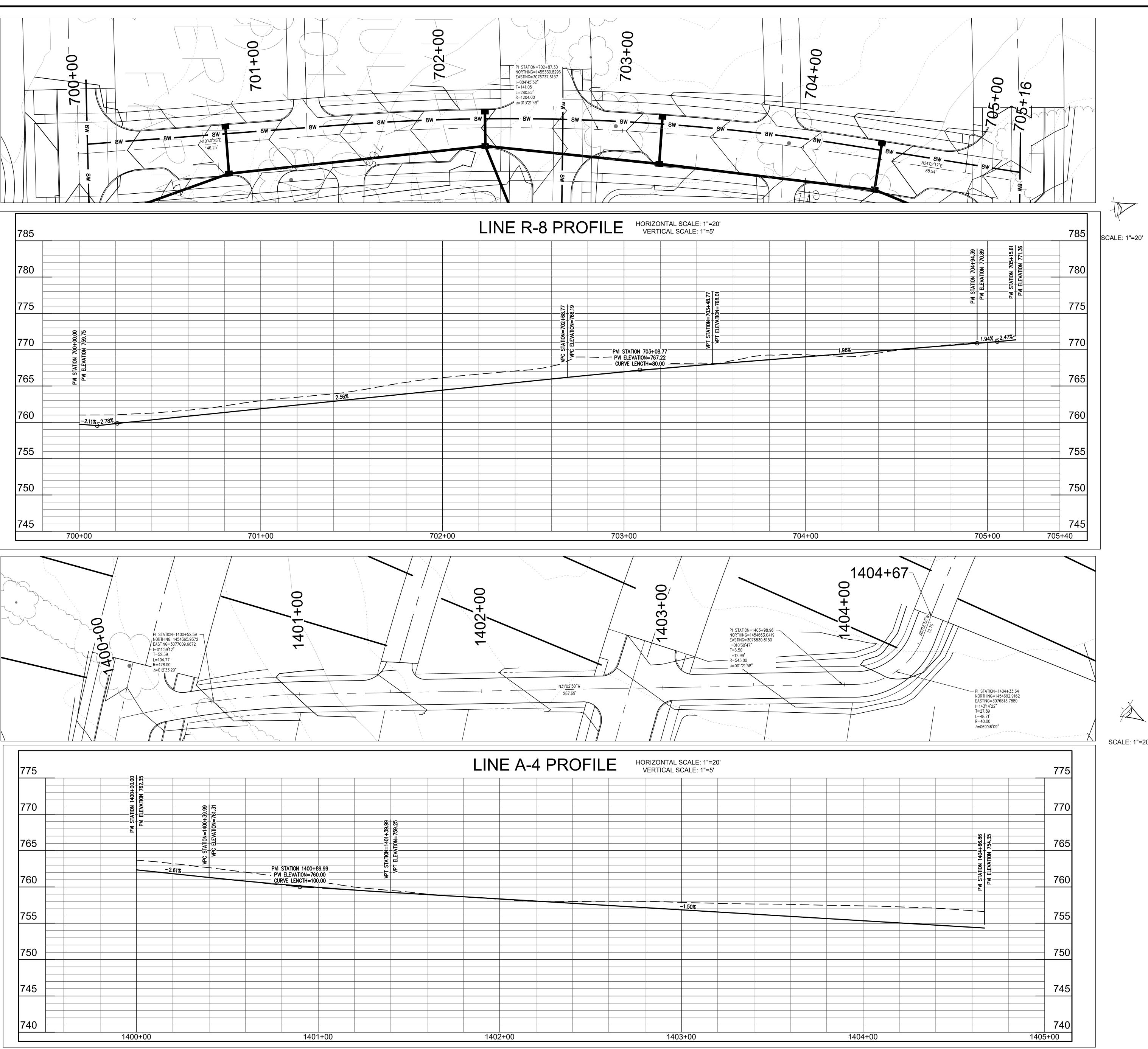




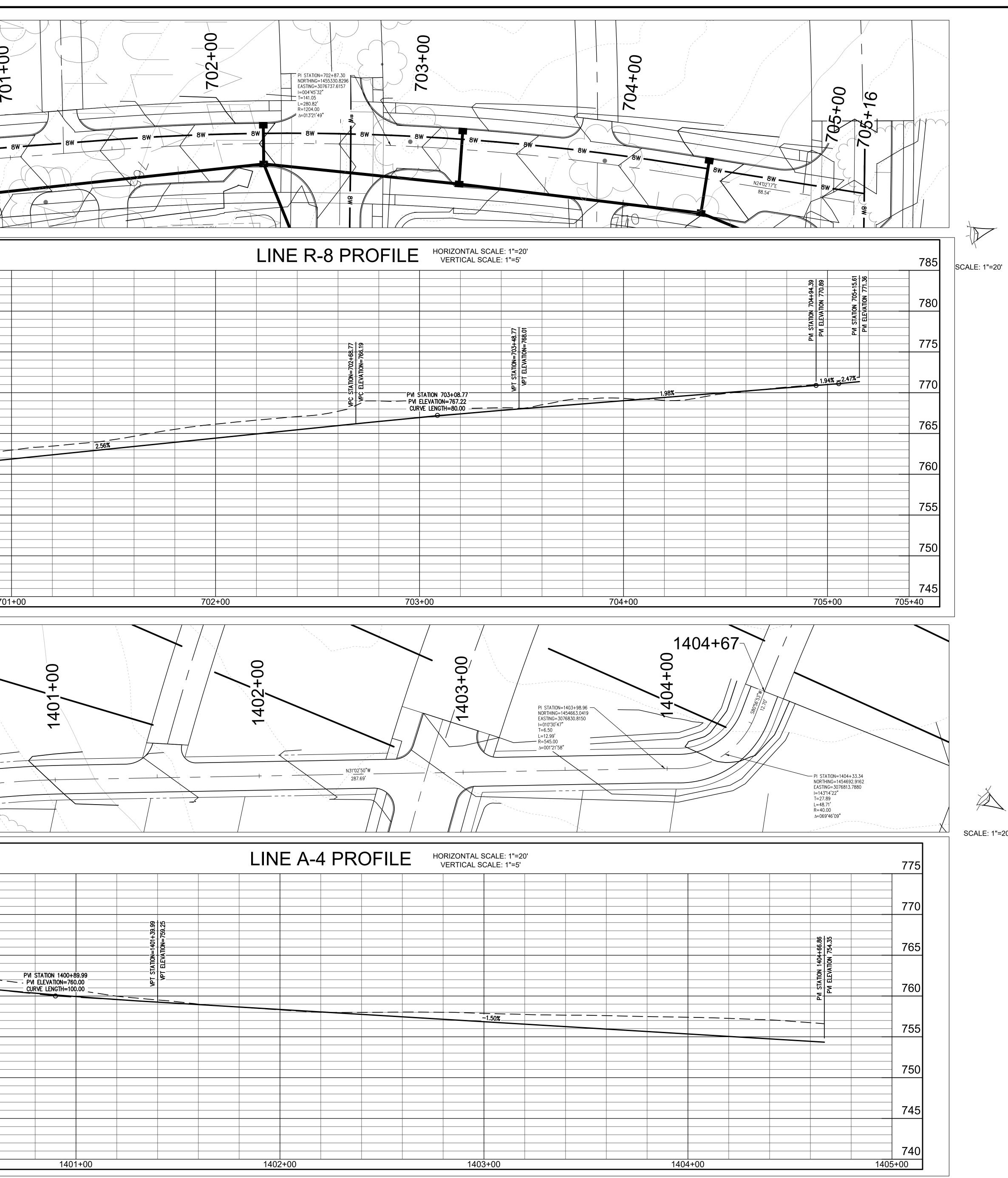


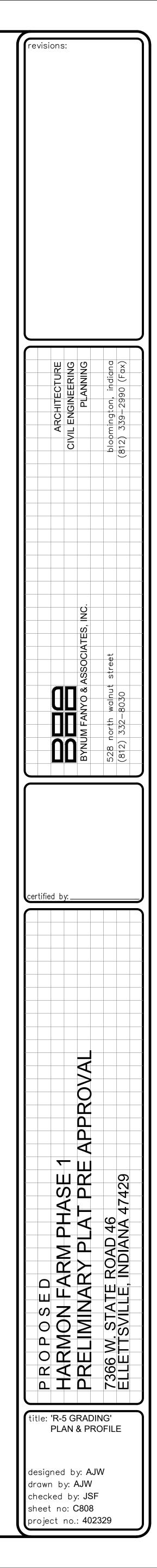


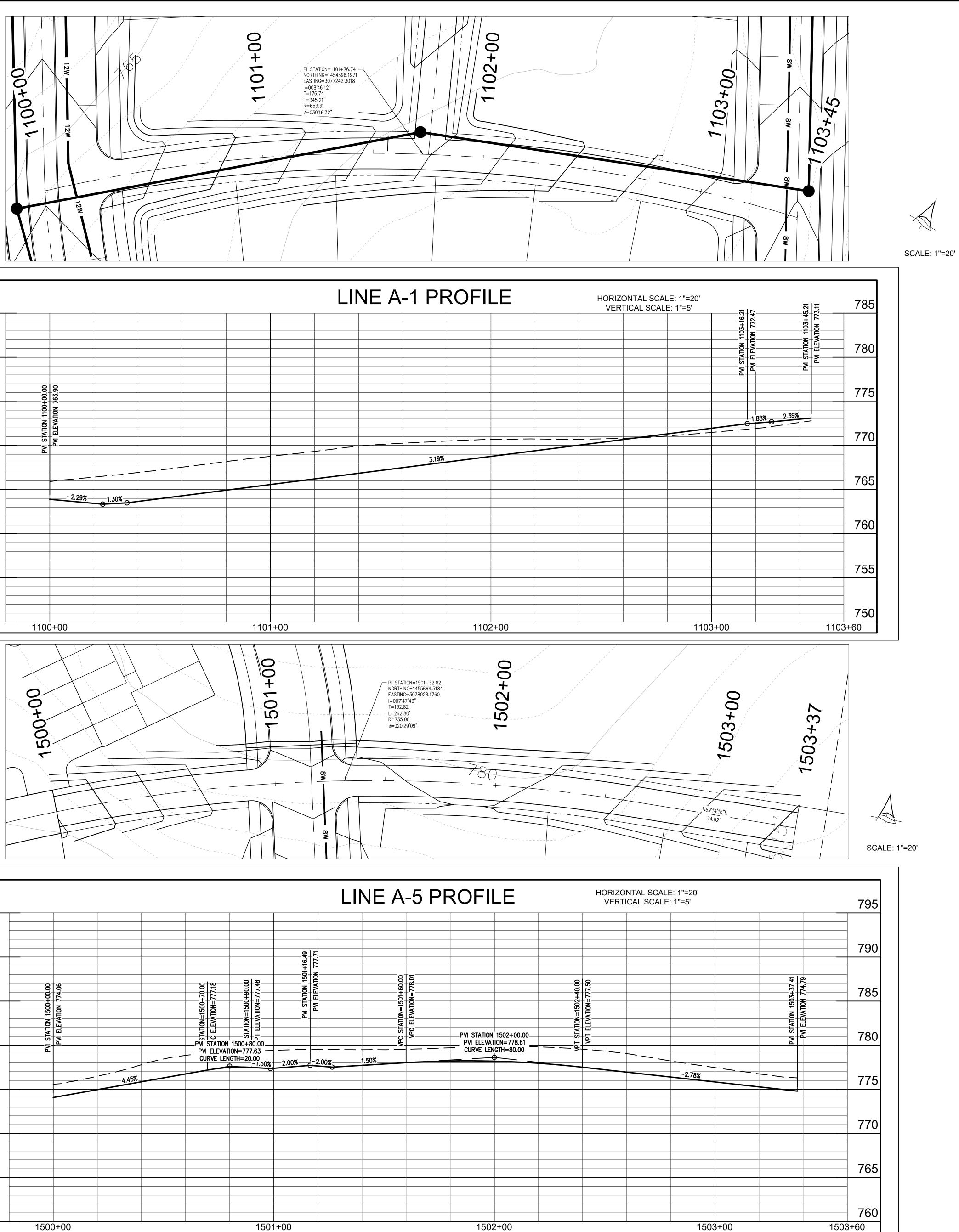


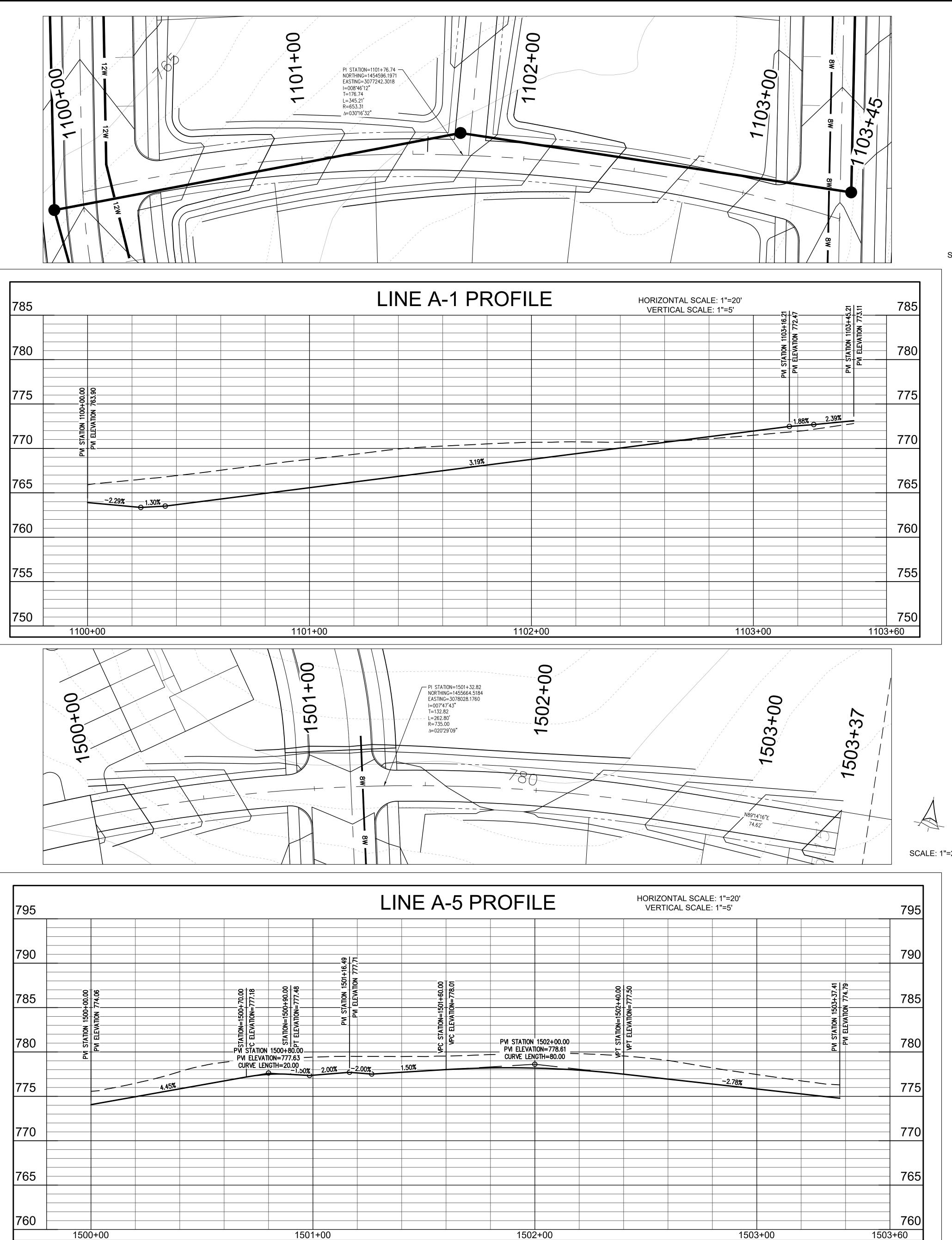


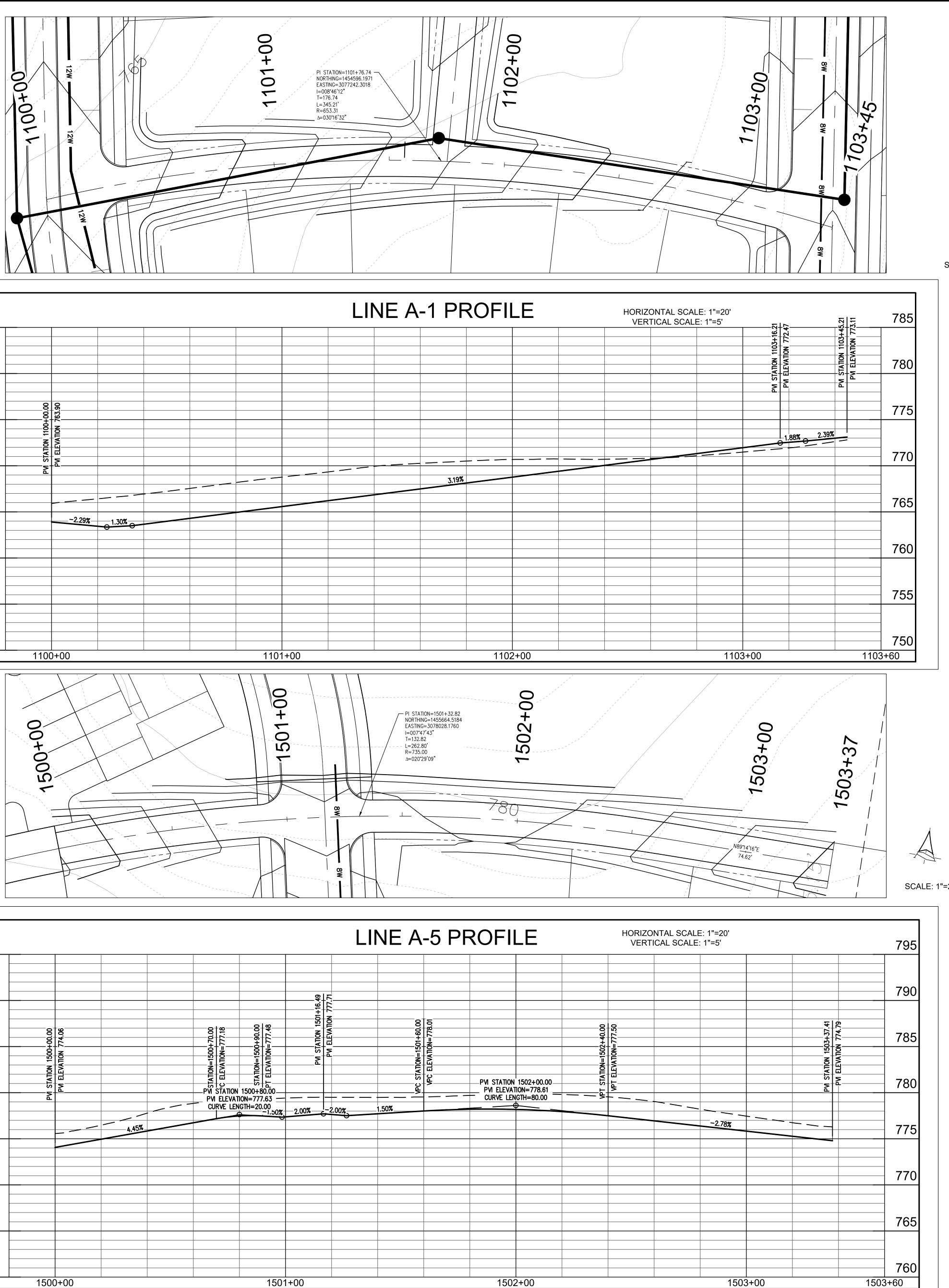
775	~			
	PM STATION 1400+00.00	PVI ELEVATION 762.35		
		76		
		NO CONTRACTOR NO CONTRA TEL RECONTRACTOR NO CONTRACTOR NO CONTRACTOR NO CONTRACTOR NO		
770	Z		6	ਕ
		-₩	6ř	
		2 Z	6	<u> </u>
	<u> </u>		<b>1</b>	
765			Ň	
105			STAT	VPC ELEVATION=761.31
			VPC STATION=1400+39.99	₽
		-2.61%	5	
760				
755				
750				
130				
745				
740				

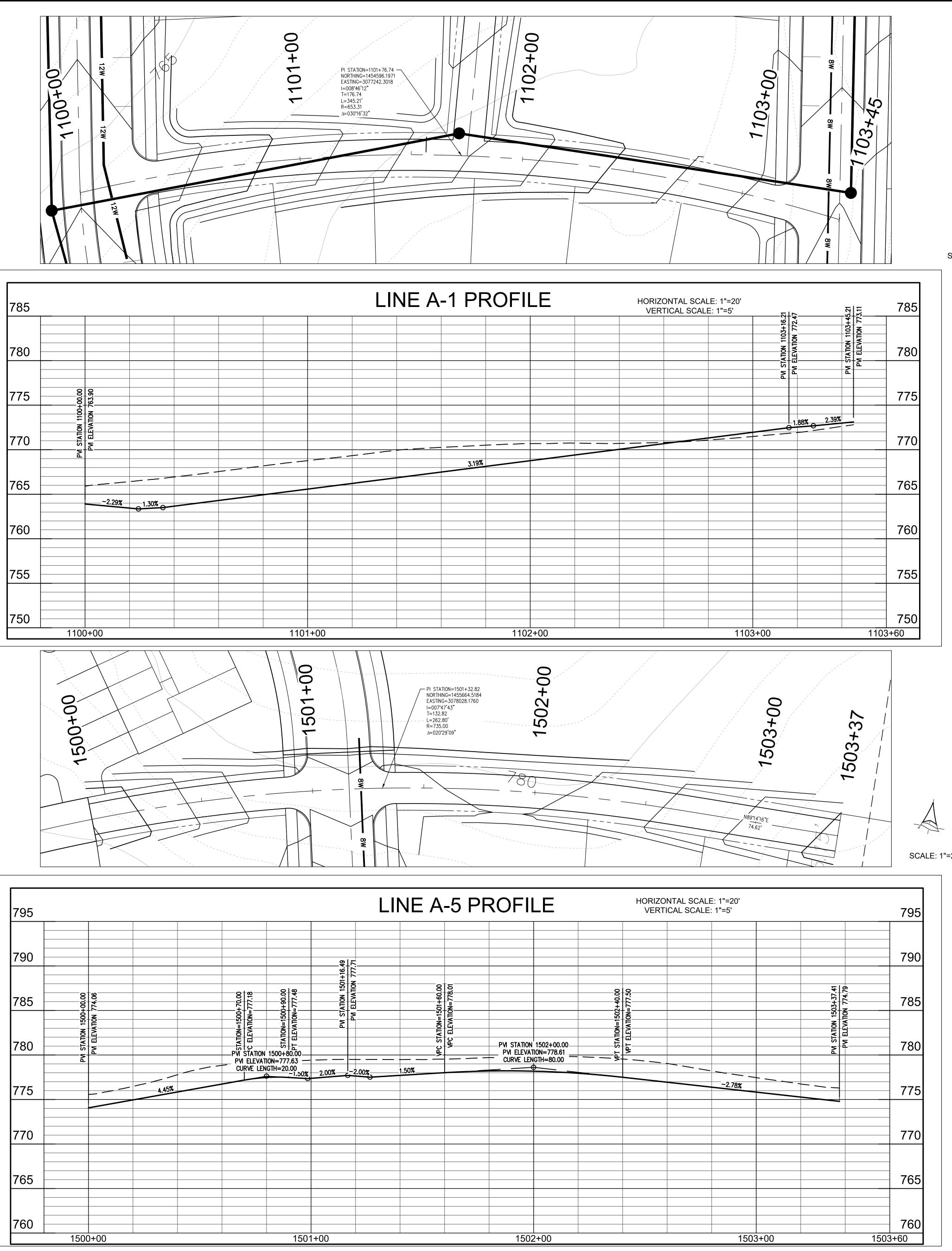


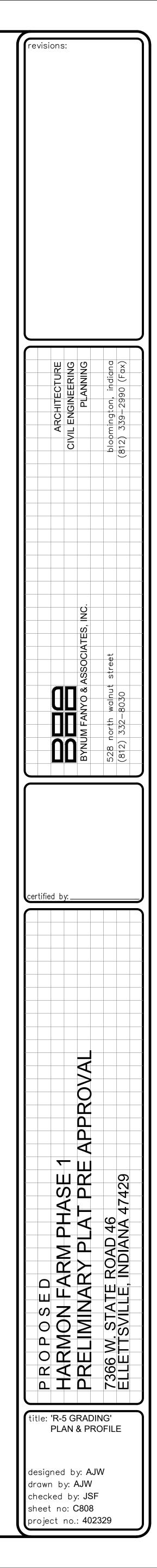


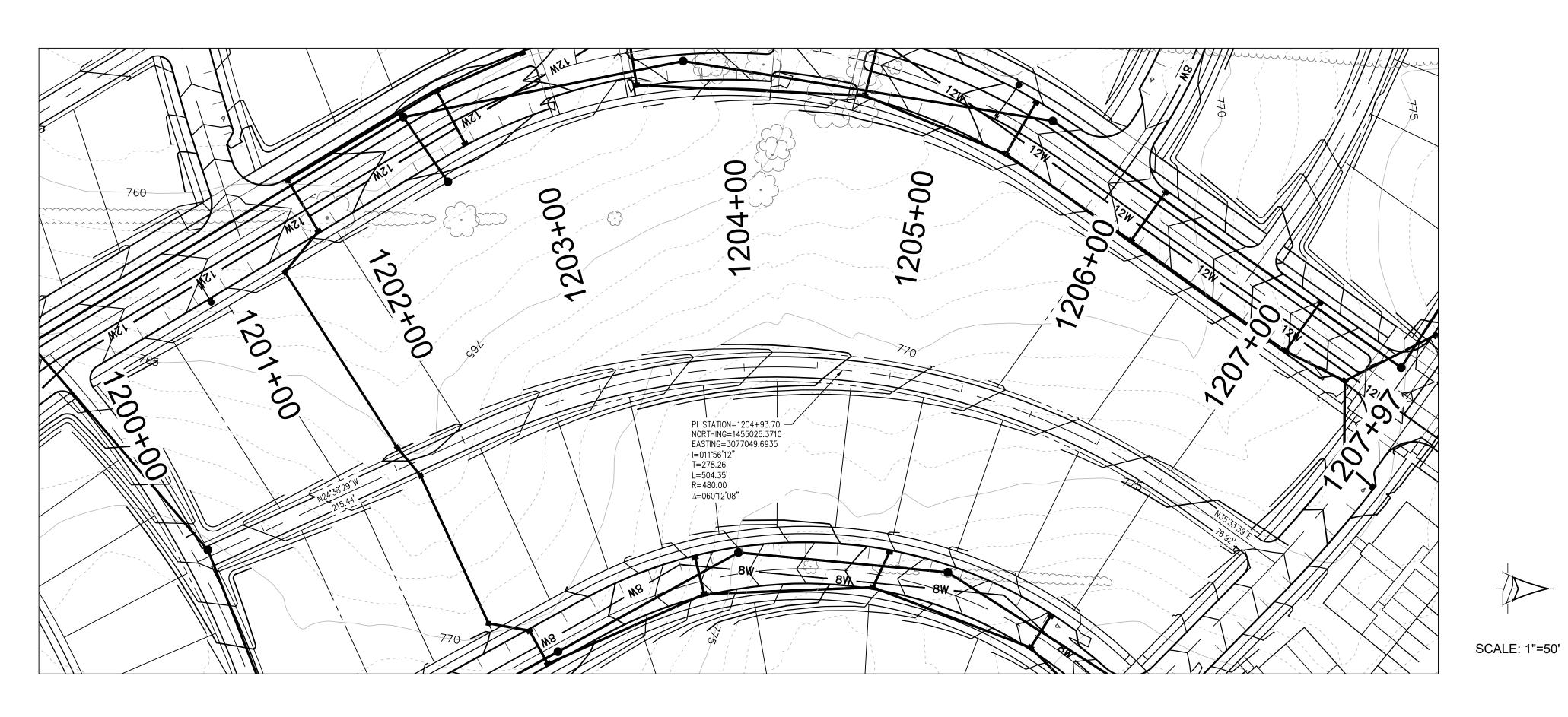








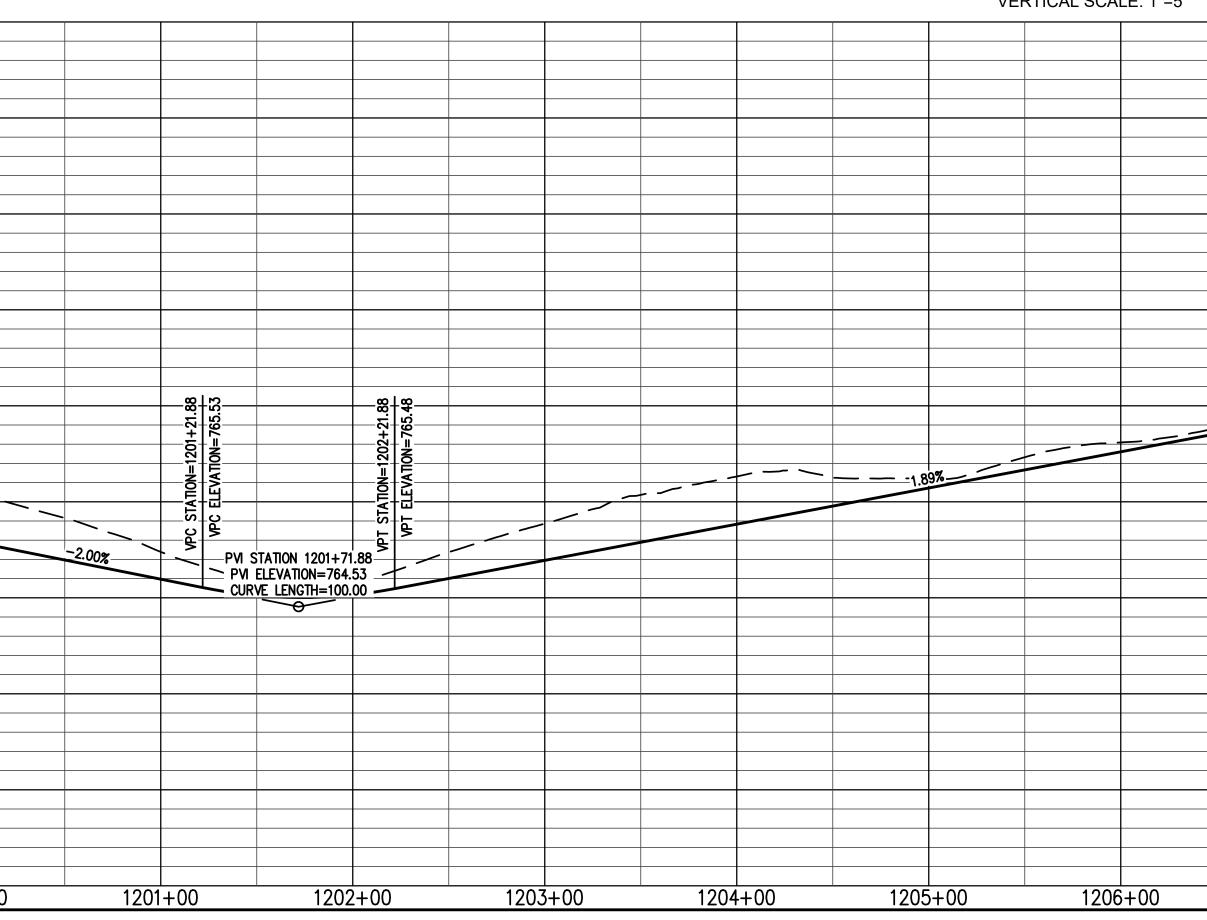


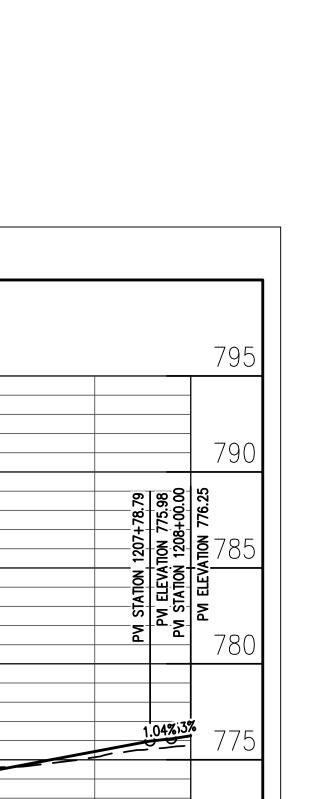


795		
790		
785		
780	00	:7:97
775	PVI STATION 1200+00.00	PVI ELEVATION 767.97
770		
765		
760		
755		
750		
	1200	1+00

A-2 PROFILE

HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=5'





				795
				790
		PM STATION 1207+78,79	PVI ELEVATION 775.98	<b>РИ ЕLEVATION 776.25</b>
		PN STA	IS Nd	<b>₹</b> 780
			.04%i3%	<b>*</b> 775
				770
				765
				760
				755
1207	· ·+00		1208	750 3 <b>+00</b>

