

**AGENDA
ELLETTSVILLE PLAN COMMISSION
Zoom Meeting
Thursday, November 5, 2020 - 6:00 P.M.**

Pledge of Allegiance

Roll Call

Approval of Minutes – Regular Meeting on August 6, 2020

Monthly Conflict of Interest Statement

Approval of 2020 Meeting Dates

Old Business

New Business

Preliminary Plat and Development Plan Approval for an Assisted Living Facility and Self-Storage Units, located at 7405 W. State Road 46 (5 Acres); Petitioner: Autumn Trace Senior Communities; Case No. PC 20-12

Development Plan Approval for a Self-Storage Facility, 5050 W. State Road 46 (39,200 sf); Petitioner: EDD, LLC; Case No. PC 20-13

Text Amendments; Case No. PC 20-14

Planning Department Update

Next Meeting –December 3, 2020

Privilege of the Floor – Non Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

MEETING NOTICE

Thursday, November 5, 2020, at 6:00 p.m.

The Town of Ellettsville Plan Commission will conduct its regularly scheduled meeting on Thursday, November 5, 2020, at 6:00 p.m., local time.

The meeting will be conducted remotely. No Plan Commission members will attend the meeting in person, but will instead attend remotely. The public is invited to attend by remote access. The meeting will be hosted by Zoom.

Topic: Ellettsville Plan Commission Meeting

Time: November 5, 2020 6:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/81471656307?pwd=eGhCY1l1UTNSQ1ZPUmJoVWR3dDExUT09>

Meeting ID: 814 7165 6307

Passcode: 727319

One tap mobile

+13017158592,,81471656307#,,,,,0#,,727319# US (Germantown)

+13126266799,,81471656307#,,,,,0#,,727319# US (Chicago)

Dial by your location

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

Meeting ID: 814 7165 6307

Passcode: 727319

While the public will not be able to attend the meeting in person, public input is still encouraged. Agendas and meeting packets can be obtained by submitting an email request to: planning@ellettsville.in.us.



Town of Ellettsville

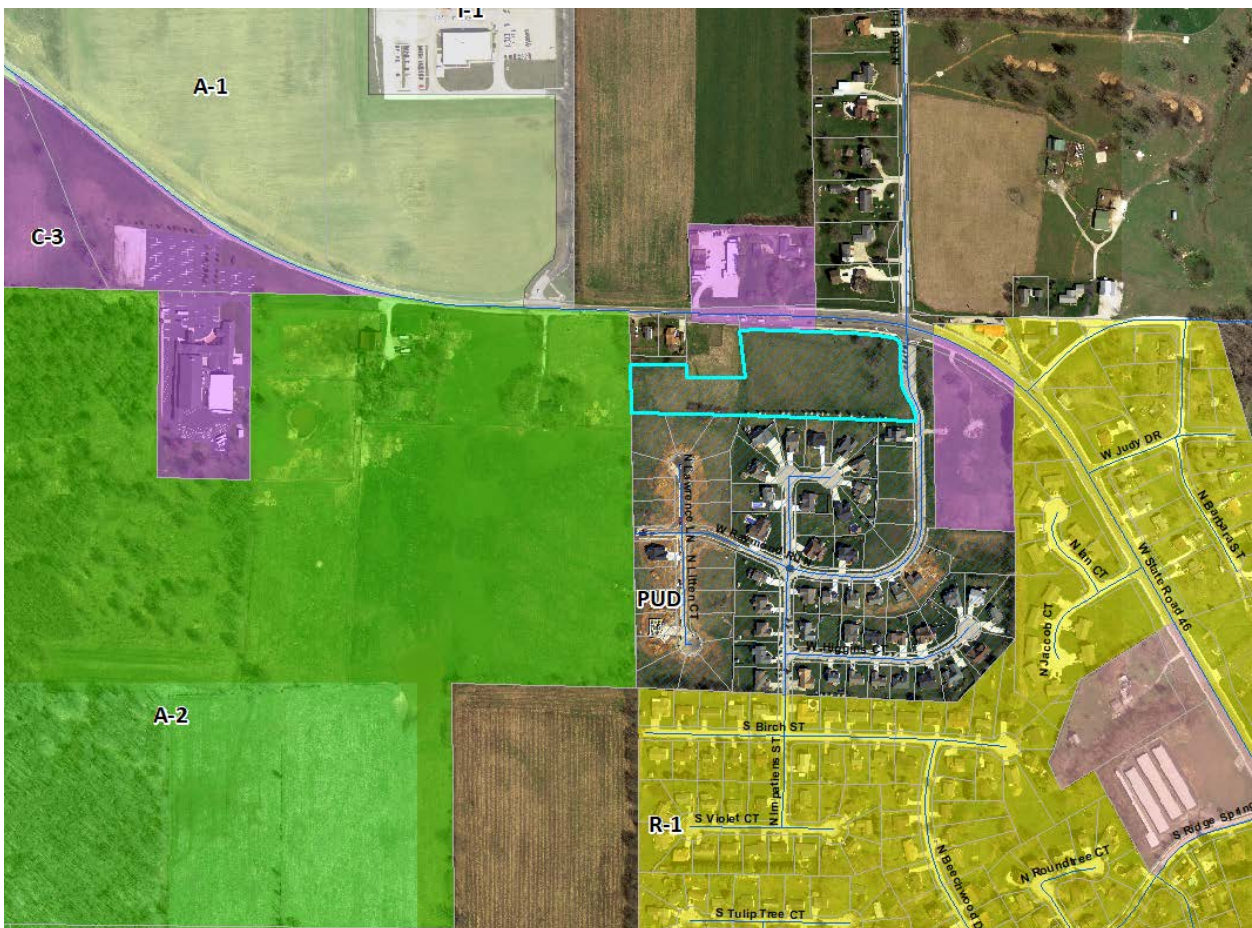
Department of Planning & Development

PC 2020-12 – Development Plan Petition

Staff Report

Petition

Case - PC 2020-12 – Autumn Trace Senior Communities. A request by Autumn Trace, for preliminary plat and development plan approval for a new mixed-use development. The subject property is located at 7405 W. State Road 46.



Zoning District	Property Use
North: C-3; General Commercial	Mixed Commercial
South: PUD; Planned Unit Development	Single Family Residential
East: C-3; General Commercial	Future Multi-Family
West: A-2; Suburban Agricultural	Agricultural

Considerations

1. The applicant is requesting approval of a development plan to construct an assisted living facility and a storage unit business.
2. The property is zoned PUD; Planned Unit Development, and uses permitted are those that are permitted in the C-3; General Commercial zone. Assisted living facilities and storage units are both permitted uses in this zoning district.
3. The assisted living facility will be approximately 45,000 square feet, with two (2) floors, and contain fifty-two (52) beds.
4. There is planned to be approximately 12,600 square feet of storage units which will be broken into ninety-one (91) total units.
5. The Technical Advisory Committee met on October 20th and reviewed the plans as submitted. Comments from the meeting are attached.
 - a. Comments from the Technical Review meeting have been addressed in the final set of plans received October 29th.
6. The preliminary plat and development plan meet minimum requirements of the Ellettsville Town Code.
7. Plan Commission shall consider the following in determining whether to approve a development plan:
 - a. Compatibility of the development plan with surrounding land uses;
 - b. Compatibility of the development plan with the recommendations of the comprehensive plan;
 - c. Adequate provisions for internal management of traffic;
 - d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
 - e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;
 - f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
 - g. Adequate on-site management of stormwater, and erosion control;
 - h. Adequate provision for green space and or landscaping;
 - i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
 - j. Adequate protection of existing limestone structures; and
 - k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
8. The plan adequately addresses Town parking standards:
 - a. The assisted living facility is required to have one (1) parking space per three (3) beds plus one (1) space per employee on the peak shift;
 - There are a total of fifty-two (52) beds, $52/3 = 17.33$ spaces

- There will be fourteen (14) staff on the peak shift = 14 spaces
 - b. There are thirty-two (32) parking spaces provided;
 - c. A total of thirty-two (32) parking spaces are required;
 - d. The number of ADA spaces exceed minimum requirements (2 required, 3 included);
 - e. Aisle widths are at or in excess of the minimum required to allow for ease of access to parking without disrupting the internal flow of traffic;
 - f. No additional dedicated parking spaces are required for the storage units, however, one (1) ADA accessible space has been included.
9. When necessary to accommodate the particular needs of the development plan under review or the particular needs of the community outside of the proposed development which will be impacted by the development, higher standards and greater requirements shall be included as required by the Plan Commission.

Plan Commission Action

The Plan Commission action on the development plan and preliminary plat can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration #7.

a. Compatibility of the development plan with surrounding land uses.

The development plan will be compatible with surrounding uses. The property is zoned as a Planned Unit Development, with this parcel explicitly designated to follow the C-3; General Commercial guidelines. Storage units and assisted living facilities are both permitted by right in the C-3 district. The assisted living facility will provide a transition between State Road 46 and the single family homes to the rear. The storage units will serve as a complimentary use to the surrounding residential areas and will have minimal impact on traffic.

b. Compatibility of the development plan with the recommendations of the comprehensive plan.

The comprehensive plan recommends a focus on an aging population as well as mixing uses. This development meets these elements of the comprehensive plan and does so in a way as to not significantly impact the already built homes.

c. Adequate provisions for internal management of traffic.

Traffic will enter and exit from a new access point on Raymond Run. INDOT has denied an additional access directly from State Road 46 as it would be too close to an existing intersection. The new road will remain a private driveway and will only service the storage units and assisted living facility. The driveway will be of sufficient size to handle all traffic generated by the development.

d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.

Both of the proposed uses will generate little additional daily traffic. Storage units have virtually no impact on traffic. The primary traffic from the assisted living facility will come

during staff change, as the residents will generally not have vehicles. Small amounts of additional traffic may be present on weekends and holidays, but should not cause any negative effects to the adjacent neighborhood.

- e. *Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.*

Infrastructure will be included on site as required.

- f. *Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.*

There will be no public roads created by the developer. The development does not necessitate land for other public improvements.

- g. *Adequate on-site management of stormwater, and erosion control.*

Stormwater and erosion control will be managed in accordance with Town and State regulations. A bioretention area will further aid with stormwater management.

- h. *Adequate provision for green space and or landscaping.*

Landscaping and green space will be provided as shown on the landscape plan. The Town does not have specific landscape requirements.

- i. *Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.*

The zoning on the east is also C-3 and buffering is not required. Existing vegetation and buffering will remain in place along the berm on the southern property line. A bufferyard of hardwood trees will be placed along the northern and southern borders of the storage units to shield those from the existing homes. Buffering is not required along the west side.

- j. *Adequate protection of existing limestone structures.*

There are no limestone structures on site.

- k. *Provision of pathways, trails and our sidewalks for all non-industrial developments.*

Sidewalks will be provided along Raymond Run.

As of the time of the writing of this report, there have been no written comments regarding the development plan received by Staff.

Development Plan approval shall be predicated on the criteria listed under consideration #7. If the Plan Commission does find that the development plan is in agreement with those items, the Plan Commission shall approve the development plan. Additionally, the Plan Commission may include any conditions they feel are necessary and relevant to develop the property in an appropriate manner.

Recommendations from the Technical Review Meeting, either have been addressed or will be addressed by the time of building approval. Additionally, it is of Staff opinion that the requirements of the Development Plan section from the Town of Ellettsville, Code of Ordinances have been reasonably achieved. Therefore, Staff recommends that Plan Commission approve the development plan and to add conditions only to the extent they are relevant to the overall benefit to the Town. If the Plan Commission does not find that all criteria have been met, they shall state specifically which criteria have not been met and how they could reasonably be achieved.

In addition, this project is also being considered for preliminary plat approval. There will be a total of two (2) lots. The proposed buildings on each lot will meet zoning requirements and the proposed lots meet all technical guidelines. Staff recommends approval of the preliminary plat, separate from the development plan approval.

Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
October 27, 2020

Site Photos





ENGINEER'S RESPONSE

Project Name: Litten Estates, Phase 3, Lot 2
Project No.: AMDG-2019003

Review Agency: Ellettsville Planning Department
Agency No.: pc 2019-11
Review No.: Tech Review
Review Date: August 23, 2019

Planning:

1. A new address for the assisted living facility and storage units will be assigned on Raymond Run.
Yes
2. Please indicate on plans the number of beds and number of staff on peak shift.
Added to sheet C-301 "Planning Data"
 - a. Parking requirements are 1 space per 3 beds plus 1 space per employee on peak shift;
Added to sheet C-301 "Planning Data"
 - b. Number of parking spaces incorrectly labelled – please make sure any changes in parking will meet the minimum required.
Fixed accordingly. 32 parking spaces total.
3. The following items shall be noted on site and landscape plans:
 - a. The height and area of the assisted living structure;
Added to C-301 and C-601 under "Planning Data".
 - b. The information under "Planning Data" on 3.01 is partially incorrect;
Revised accordingly. Refer to C3.01.
 - c. Year on plat signature box should be 2020;
Revised accordingly. Refer to Plat.
 - d. Rear setback on plat should be 20'.
Revised accordingly. Refer to C3.01, C6.01, and Plat.

ADA Accessibility:

1. Add one more accessible parking space to the front parking lot. Will be located by the access aisle.
Added as indicated on C3.01.
2. Add a designated parking space on one side of the storage building.
Added to NE corner of storage lot as indicated on C3.01.

Fire Department:

1. Wheel base dimensions for our ladder apparatus (attached).

With respect to front drive, the Inside turning radius is 25' (greater than the 20'-1" for the apparatus). The curb to curb radius is 49' (greater than the 36'-3" for the apparatus). The wall to wall turn 61' at the point adjacent to the building (greater than the 44'-6" for the apparatus).

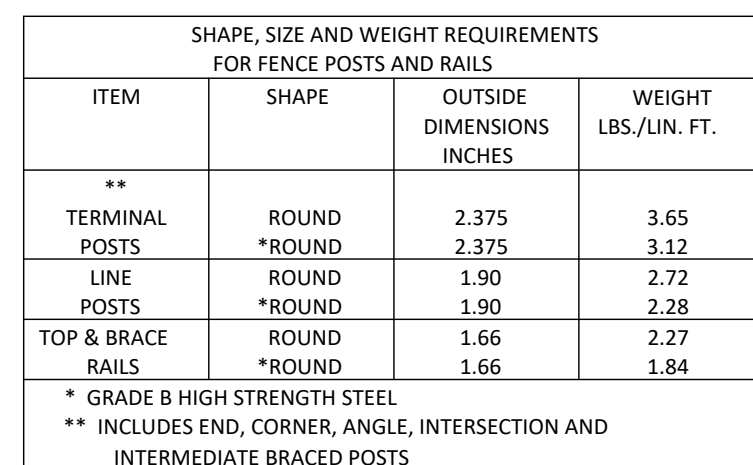
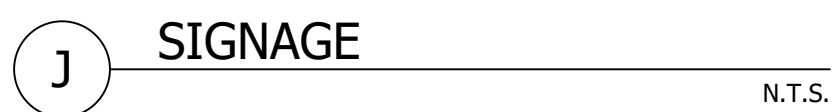
2. Move Fire Department Connection (FDC) or the fire hydrant to maintain minimum distance of 100 feet or less and to ensure the fire hose that connects to the FDC will not cross any streets.
Added hydrant near SE corner of assisted living facility.
3. Add a hydrant in the storage unit section.
Added hydrant to SW corner of storage lot.
4. The FDC will utilize a 5 inch Storz fitting.
Revised Plan Note 9 on C5.01.
5. All fire hydrants will utilize a 5 inch Storz fitting on the 4-1/2 steamer connection.
Revised Plan Note 11 on C5.01.
6. 2 Knox Boxes.
 - a. one for the assisted living
Added to Plan Note 18 on C5.01.
 - b. one for the storage unit
Added to Plan Note 18 on C5.01.

Engineering:

1. Show the roadway grade at the entrance drive connection to Raymond Run.
Spot grades added to C4.01
2. Show how the offsite drainage is affected by the project and how the offsite drainage will be routed through the mini warehouse area.
Refer to C4.01 and attached Drainage Report.
3. Drainage calculations will need to be provided for review.
Refer to attached Drainage Report.
4. The 8 inch ductile iron pipe water line will need to be looped through the project and connected to the existing water line near the southwest corner of the property.
Revised accordingly. Refer to C5.01.
5. On the grading plan show how the proposed contours will tie into the existing contours.
Revised visibility of existing contours. Refer to C4.01.

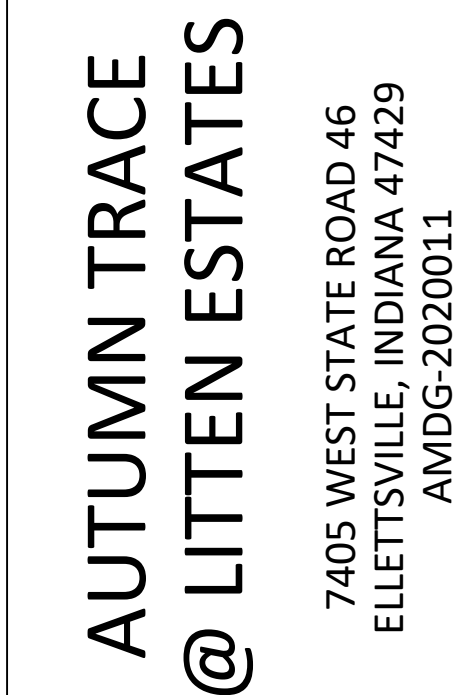
Public Works Comments

1. Tracer wire should be used on all newly installed lines.
General Note 7 was added to C5.01. Additional notes added to details A/C5.02 and B/C5.02.



GATE POST SIZE AND WEIGHT		
GATE LEAF WIDTH OF 6 FT. OR LESS	OUTSIDE DIMENSIONS INCHES	WEIGHT LBS./LIN. FT.
ROUND	2.875	5.79
*ROUND	2.875	4.64
* GRADE B HIGH STRENGTH STEEL		

- F** CHAIN LINK FENCE



REVISIONS:

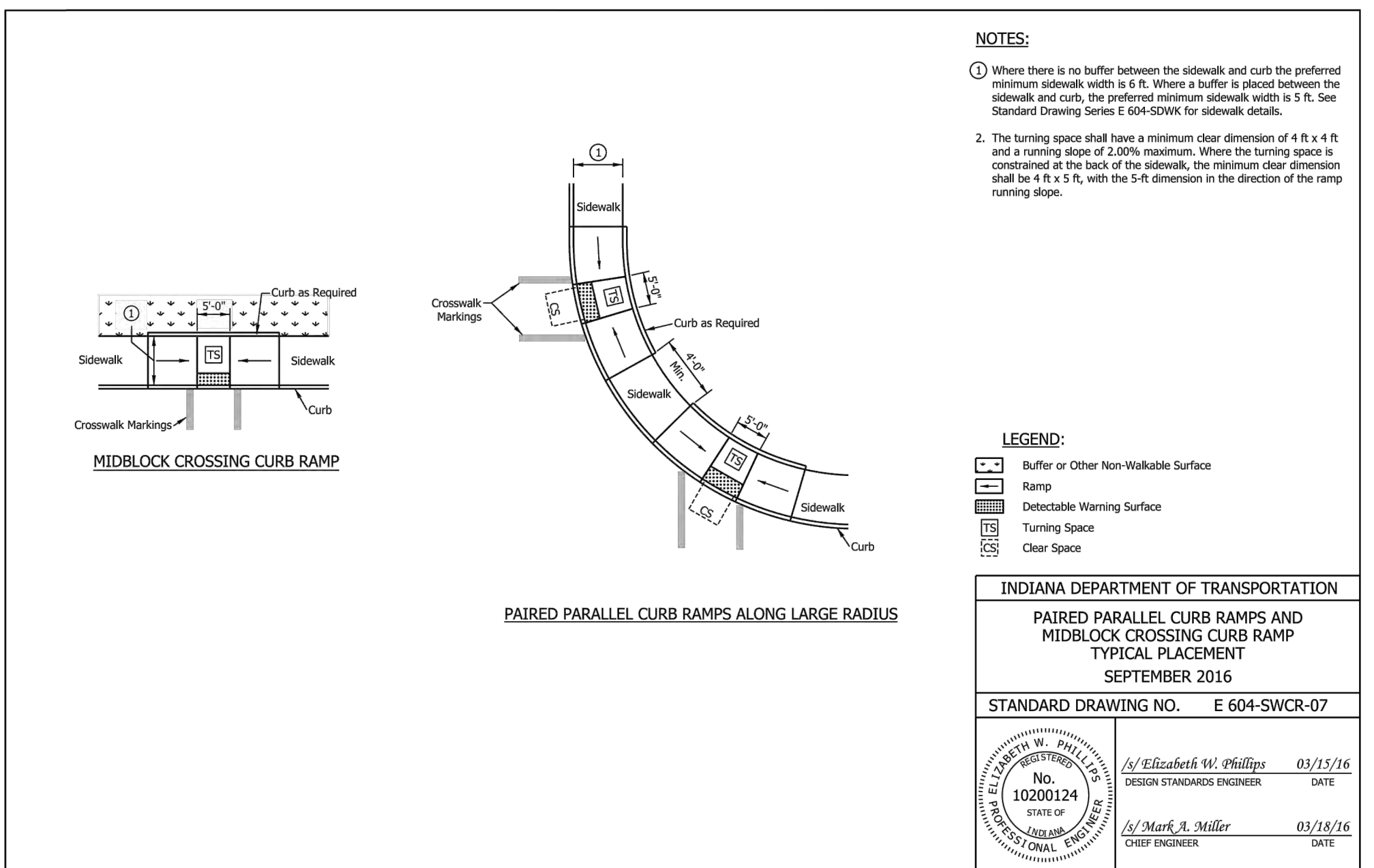
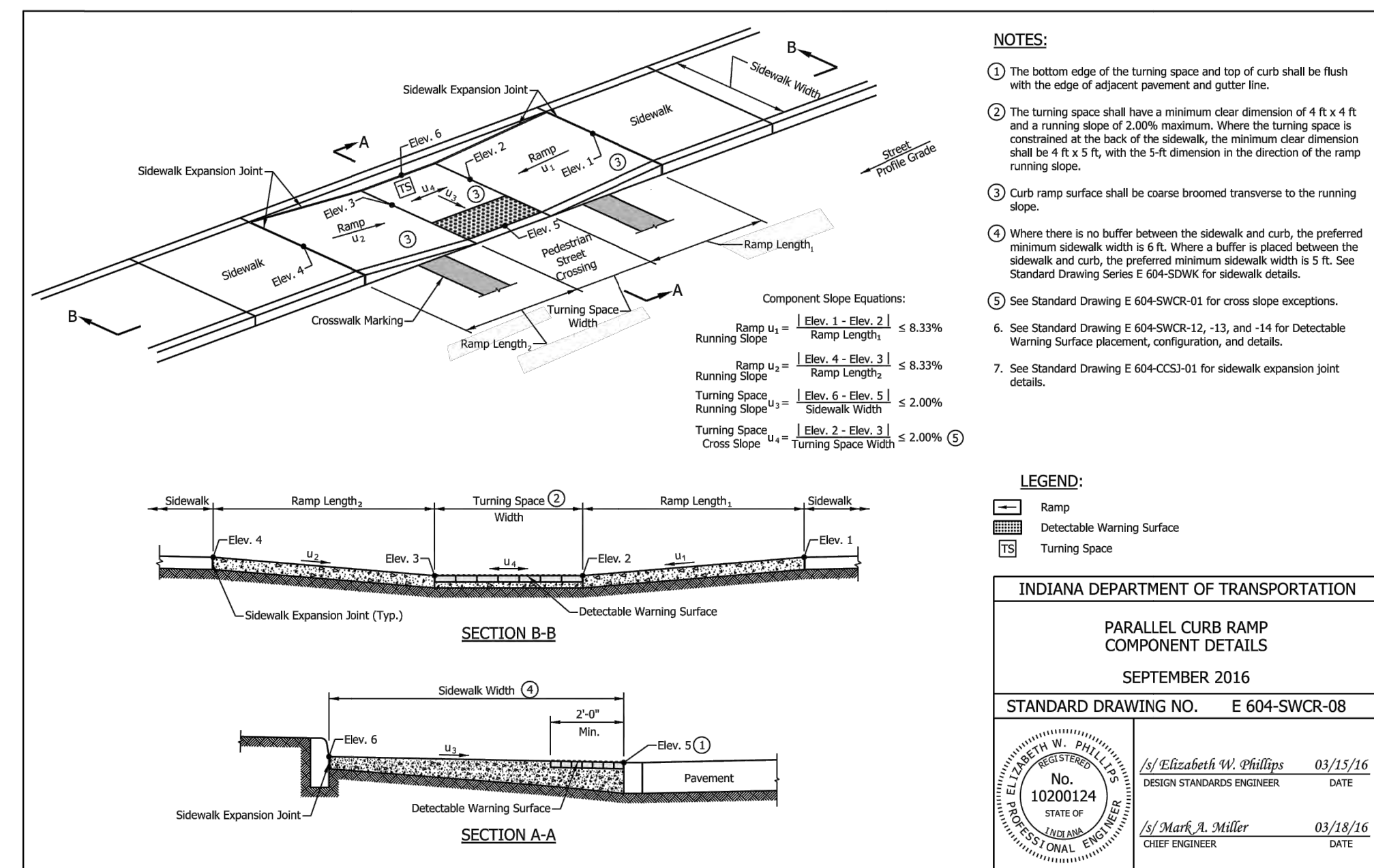
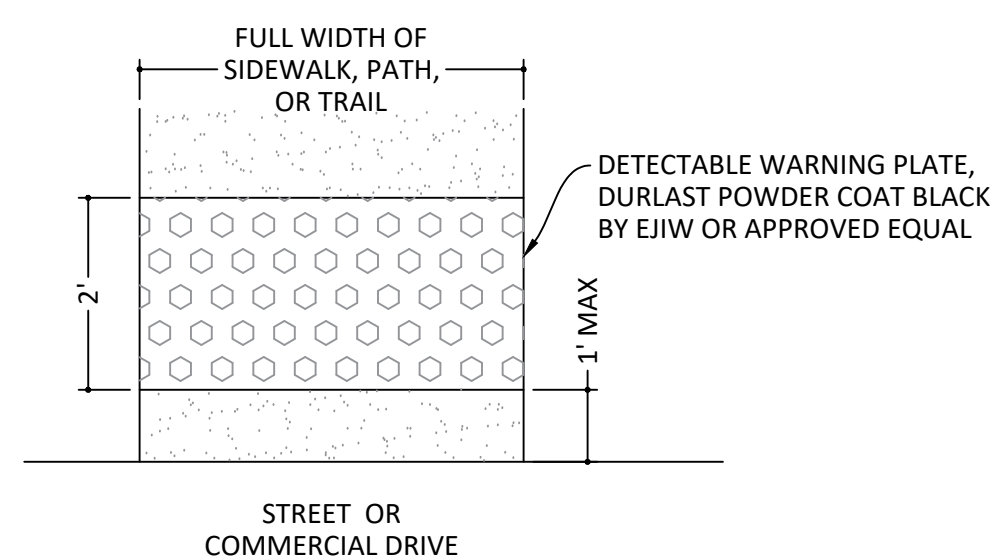
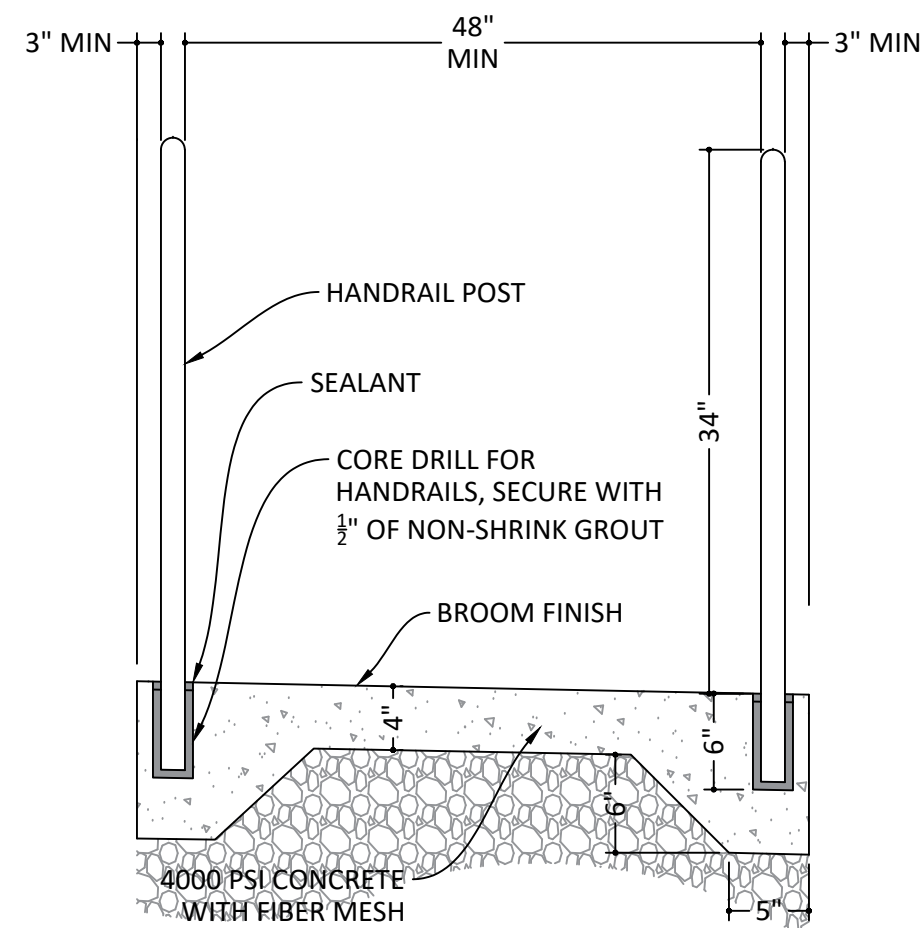
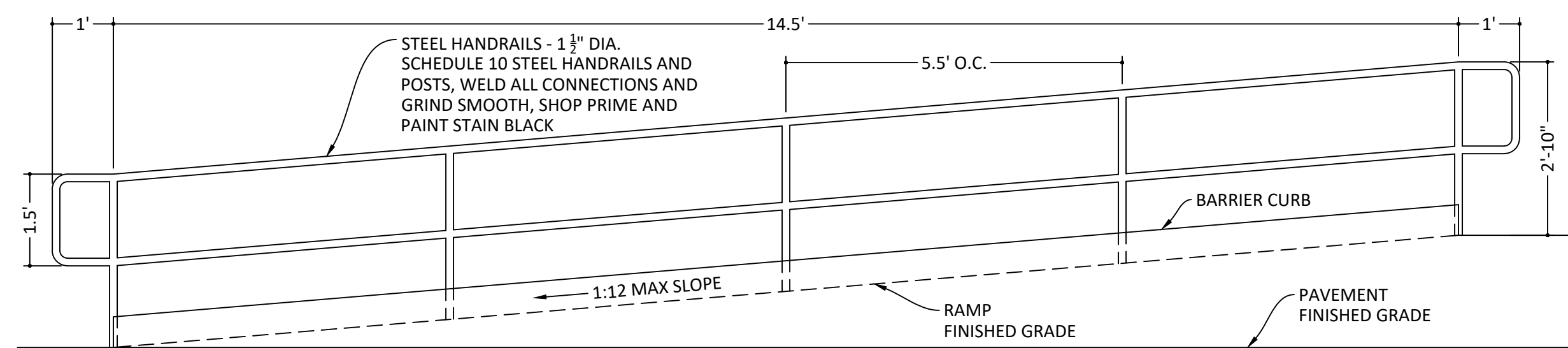
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PRINT DATE:	10/05/2020
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DESIGNED BY:	C. MOSS
REVIEWD BY:	C. MOSS

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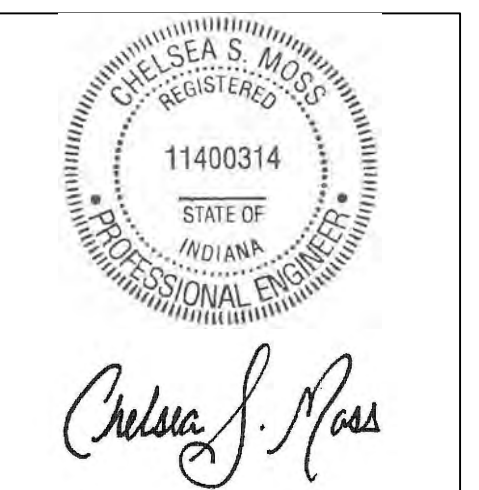
SITE
IMPROVEMENT
DETAILS

DRAWING NO.

C3.02



**AUTUMN TRACE
@ LITTEN ESTATES**



REVISIONS:

10/13/2020	MOVE DRIVE
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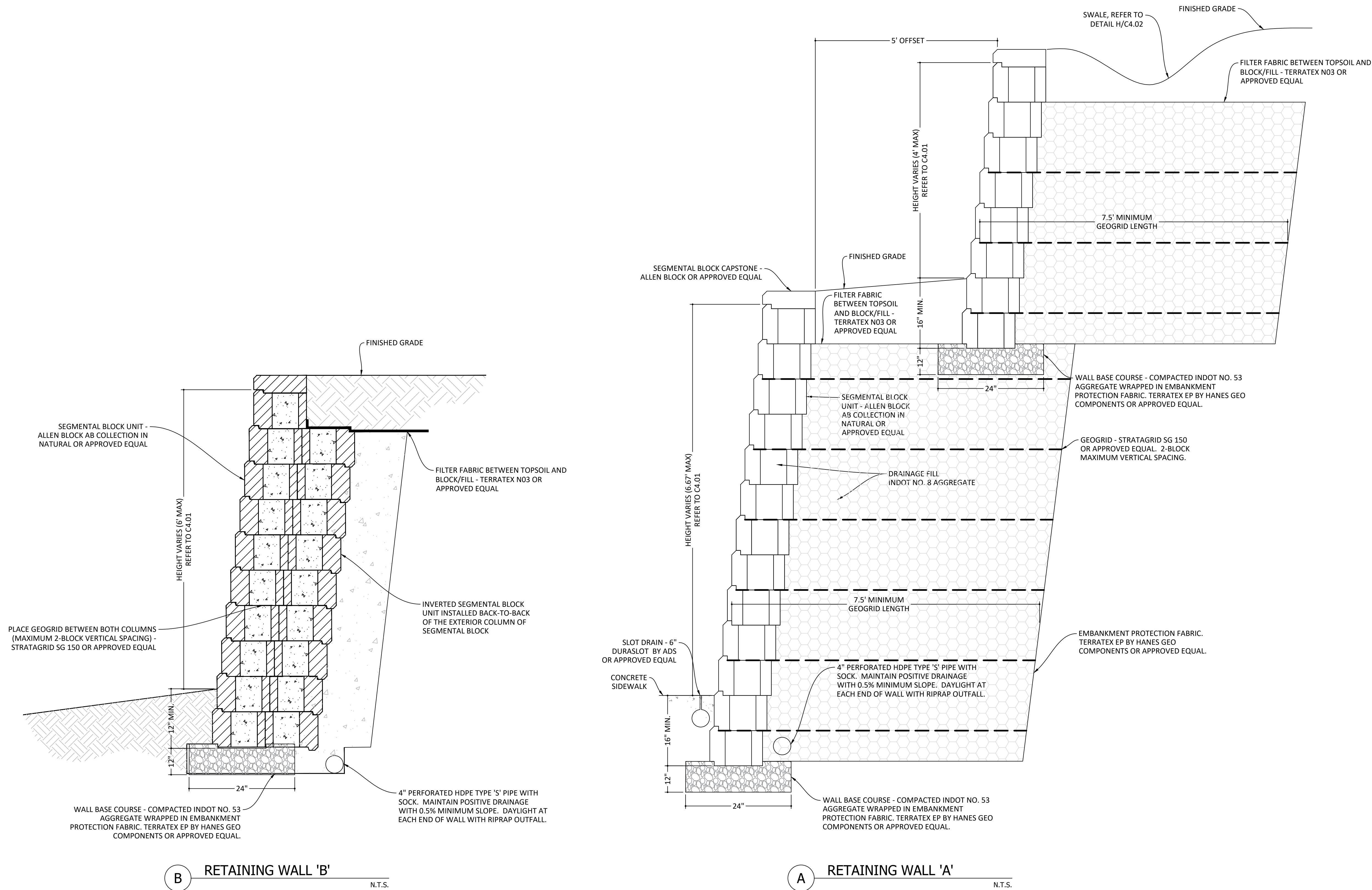
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PRINT DATE:	10/05/2020
DRAWN BY:	C. MOSS
DESIGNED BY:	C. MOSS
REVIEWD BY:	C. MOSS

DRAWING TITLE:

SITE
IMPROVEMENT
DETAILS

DRAWING NO.
C3.03

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ABRAM-MOSS
DESIGN GROUP, LLC

9215 WEST MALLORY ROAD
BLOOMINGTON, INDIANA 47404
812-955-0539
INFO@ABRAM-MOSS.COM

AUTUMN TRACE
@ LITTEN ESTATES

7405 WEST STATE ROAD 46
ELLETTSVILLE, INDIANA 47429
AMDG-2020011

CHELSEA S. MOSS
REGISTERED
11400314
STATE OF INDIANA
PROFESSIONAL ENGINEER

Chelsea S. Moss

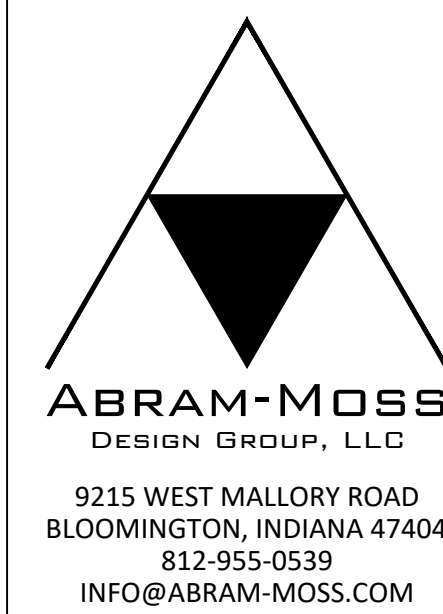
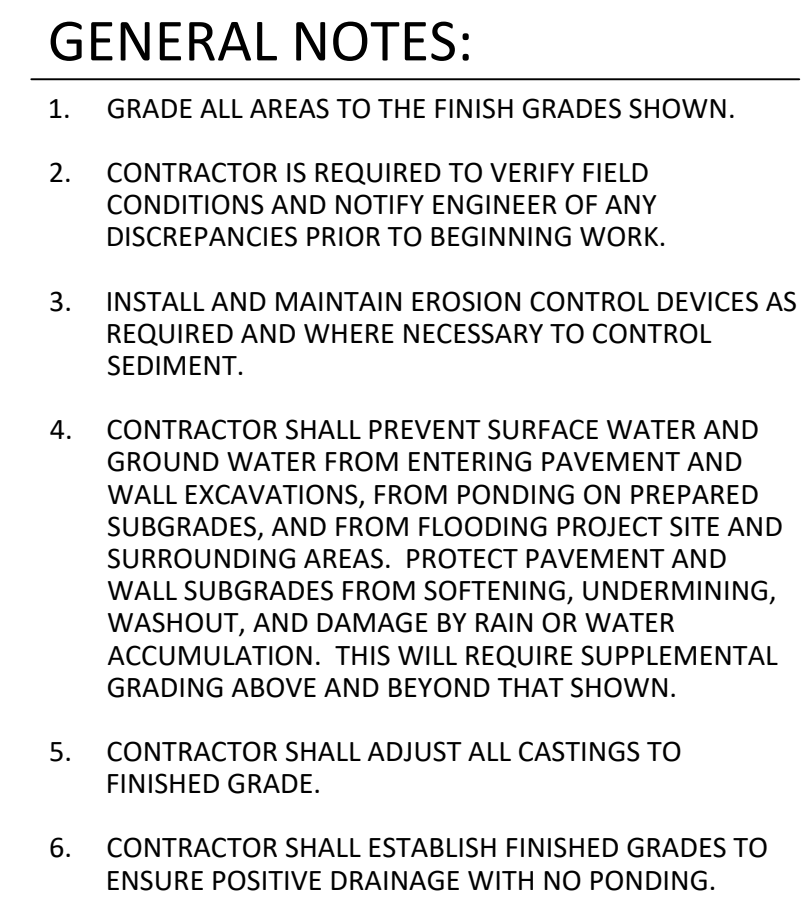
REVISIONS:

DATE	DESCRIPTION
10/13/2020	MOVE DRIVE
10/29/2020	EP TECH REVIEW

PLAN SET: PC APPLICATION
PRINT DATE: 10/05/2020
DRAWN BY: C. MOSS
DESIGNED BY: C. MOSS
REVIEWD BY: C. MOSS

DRAWING TITLE: SITE IMPROVEMENT DETAILS

DRAWING NO.: C3.04



**AUTUMN TRACE
@ LITTEN ESTATES**

7405 WEST STATE ROAD 46
ELLETTSVILLE, INDIANA 47429
AMDG-2020011

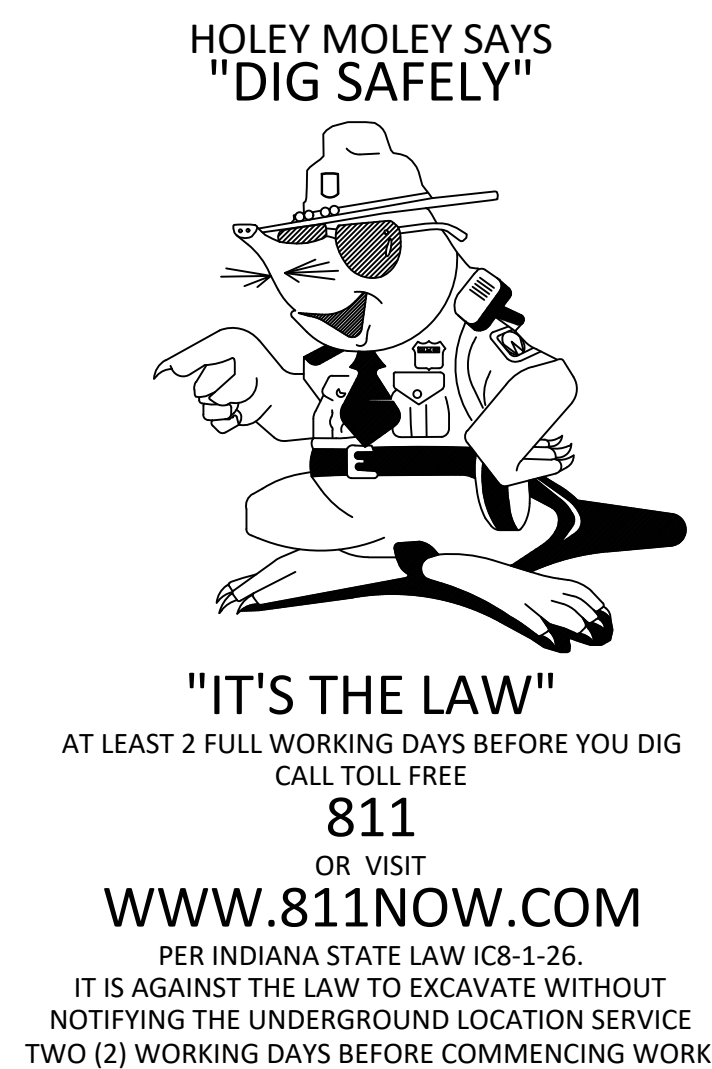


REVISIONS:	
10/13/2020	MOVE DRIVE
10/29/2020	EP TECH REVIEW

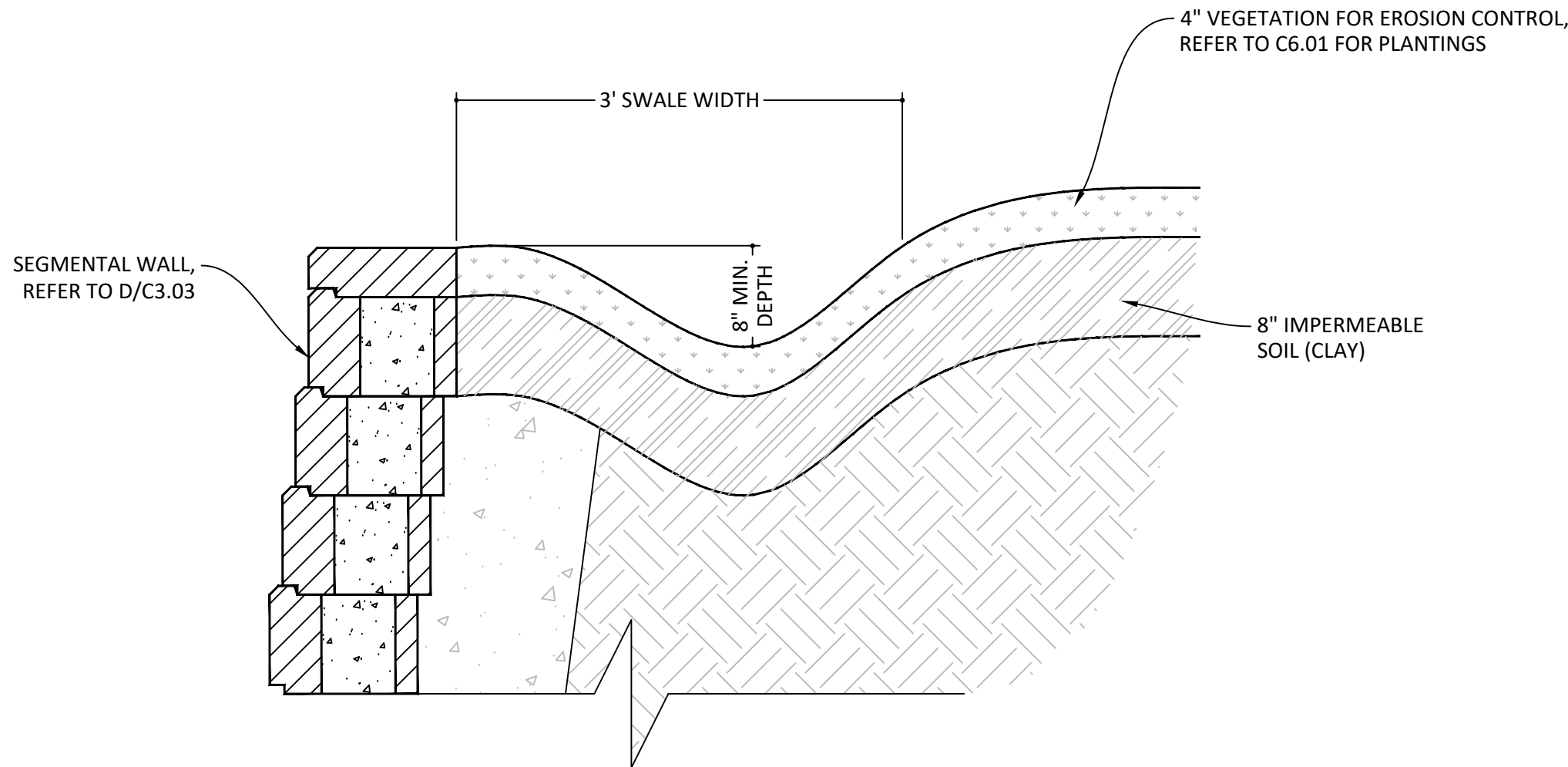
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PRINT DATE:	10/05/2020
DRAWN BY:	C. MOSS
DESIGNED BY:	C. MOSS
REVIEWD BY:	C. MOSS

DRAWING TITLE:
**GRADING &
DRAINAGE
PLAN**

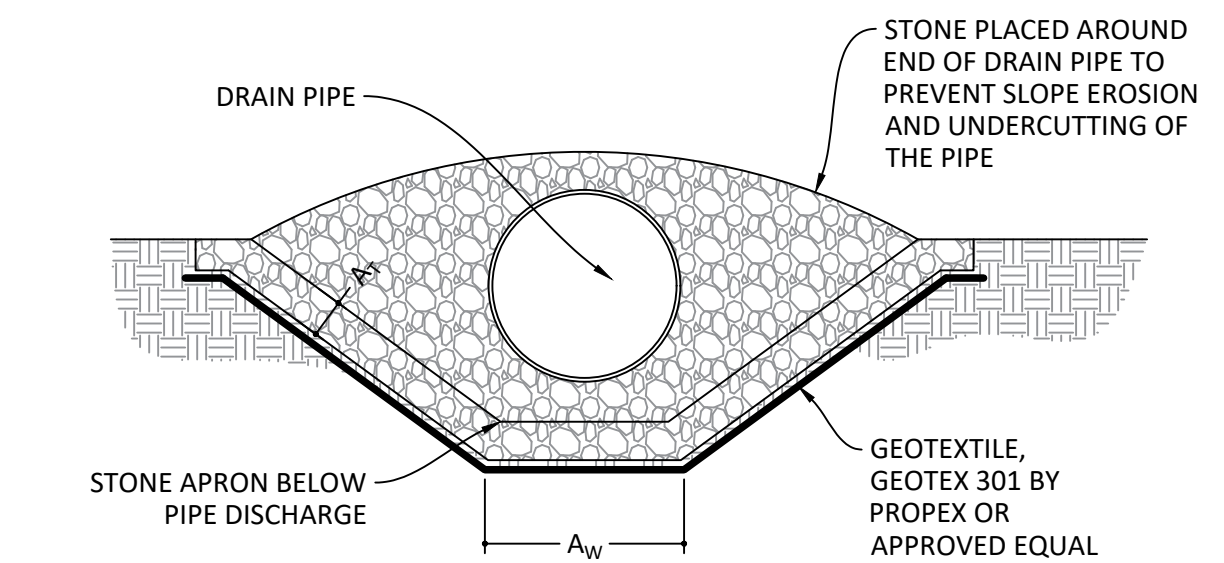
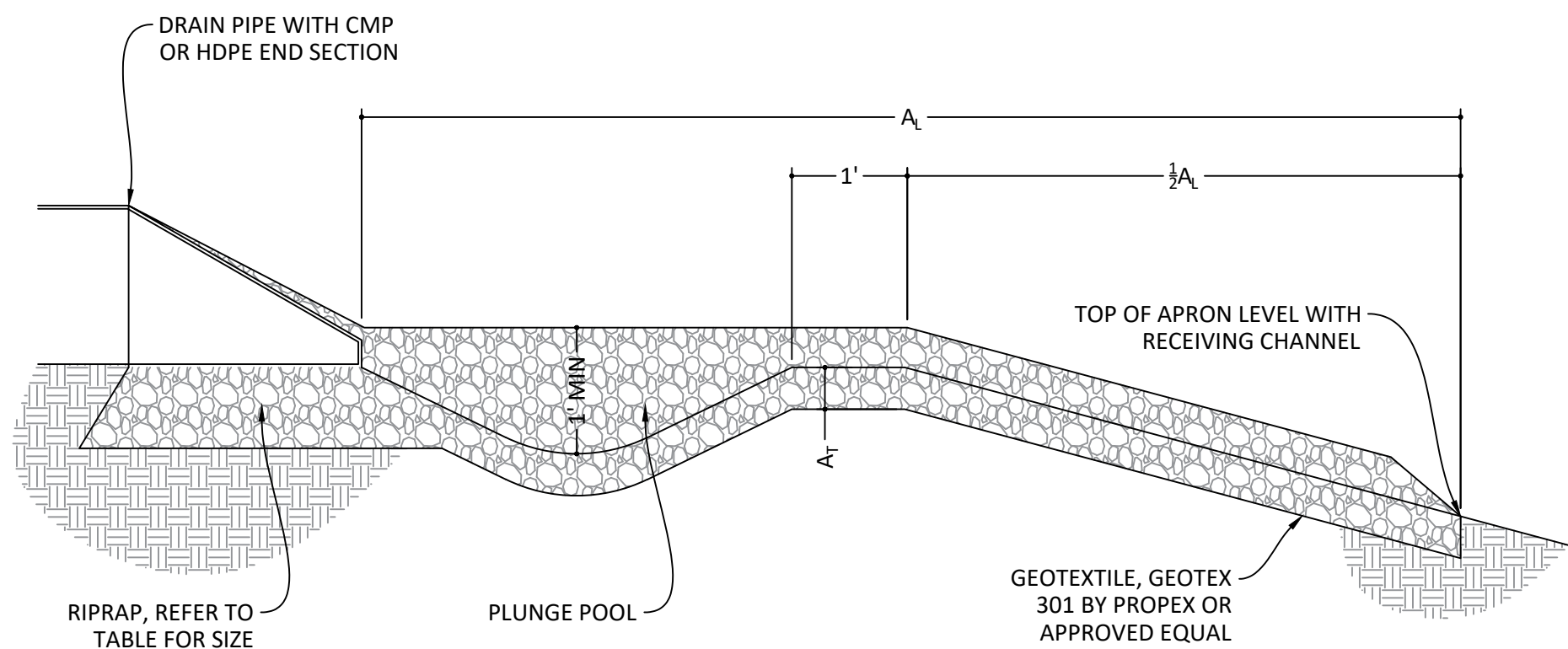
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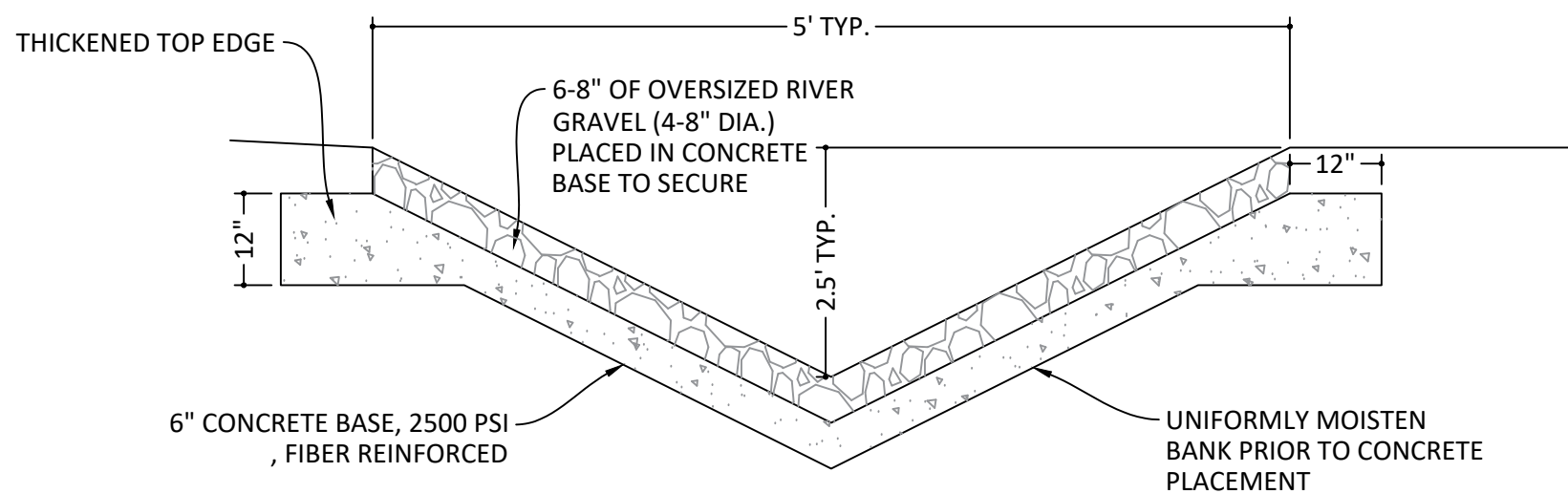


H WALL SWALE
N.T.S.

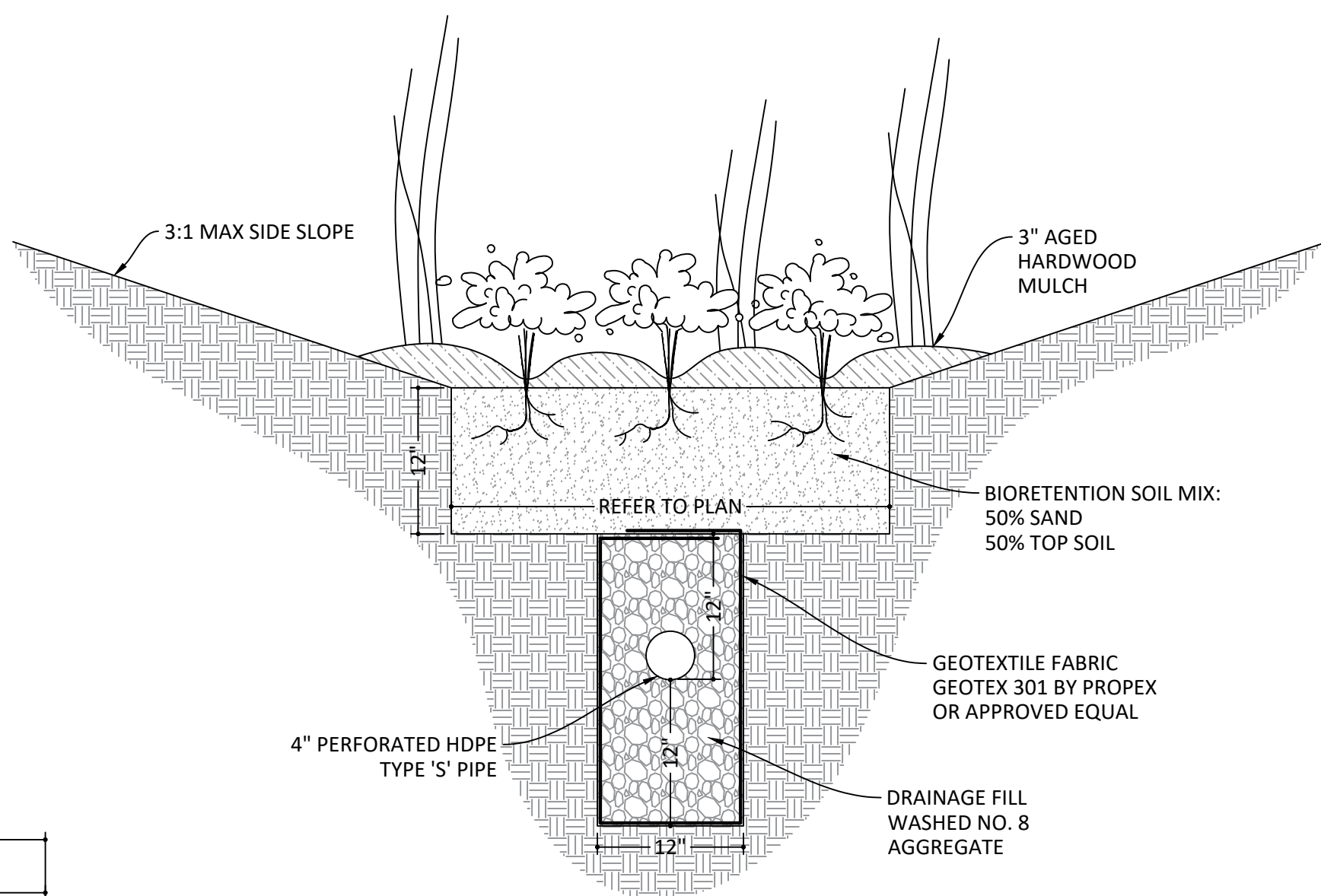


PIPE SIZE	AVERAGE RIPRAP DIAMETER	APRON THICKNESS (A _r)	APRON WIDTH (A _w)	APRON LENGTH (A _l)
12 IN	5 IN	12 IN	3-4 FT	6-12 FT
18 IN	8 IN	12 IN	4-6 FT	8-18 FT
24 IN	10 IN	15 IN	6-8 FT	12-22 FT
30 IN	12 IN	18 IN	8-10 FT	14-28 FT
36 IN	14 IN	21 IN	10-12 FT	16-32 FT

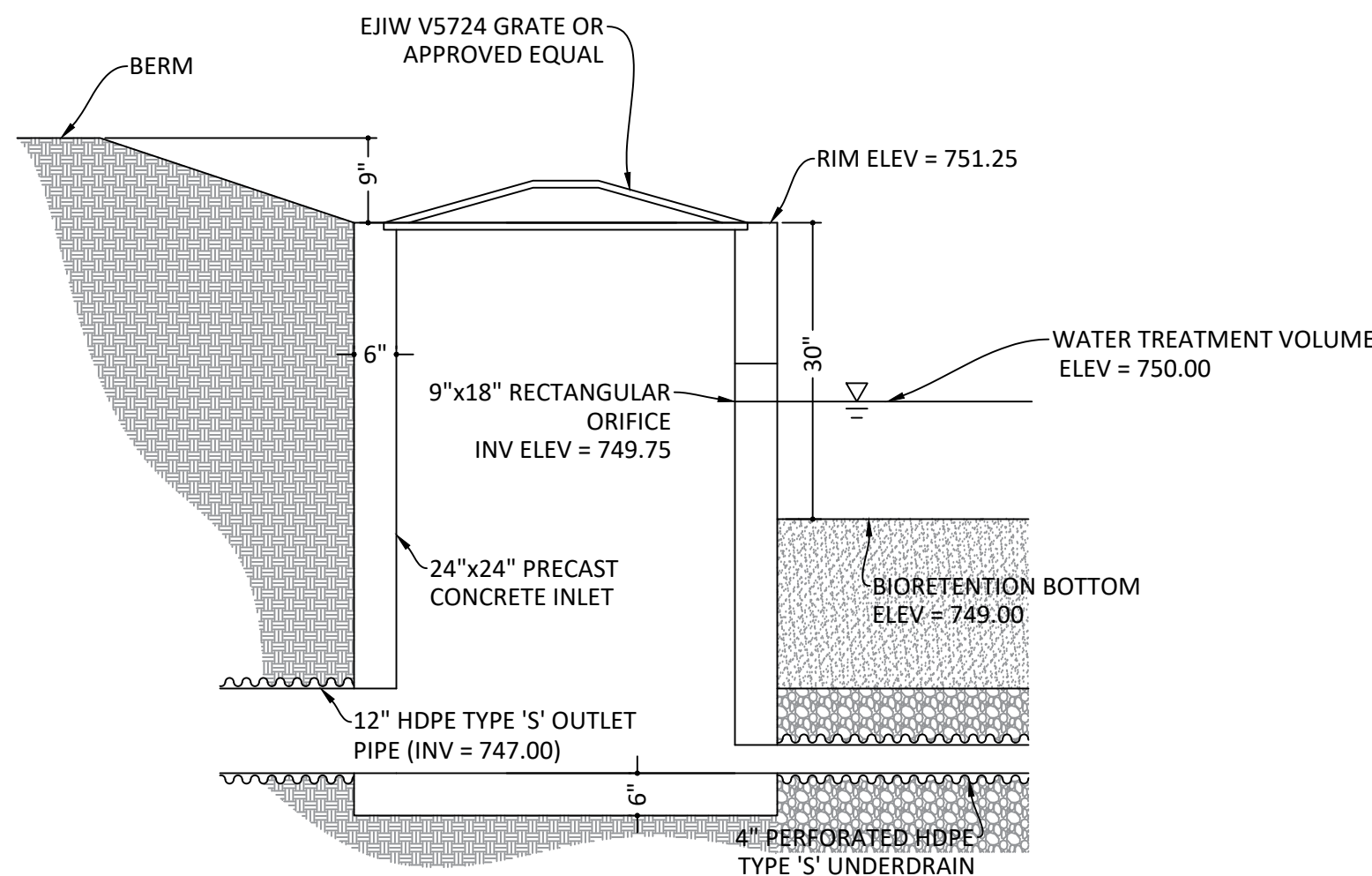
G RIPRAP OUTFALL
N.T.S.



F GROUTED GRAVEL SWALE
N.T.S.

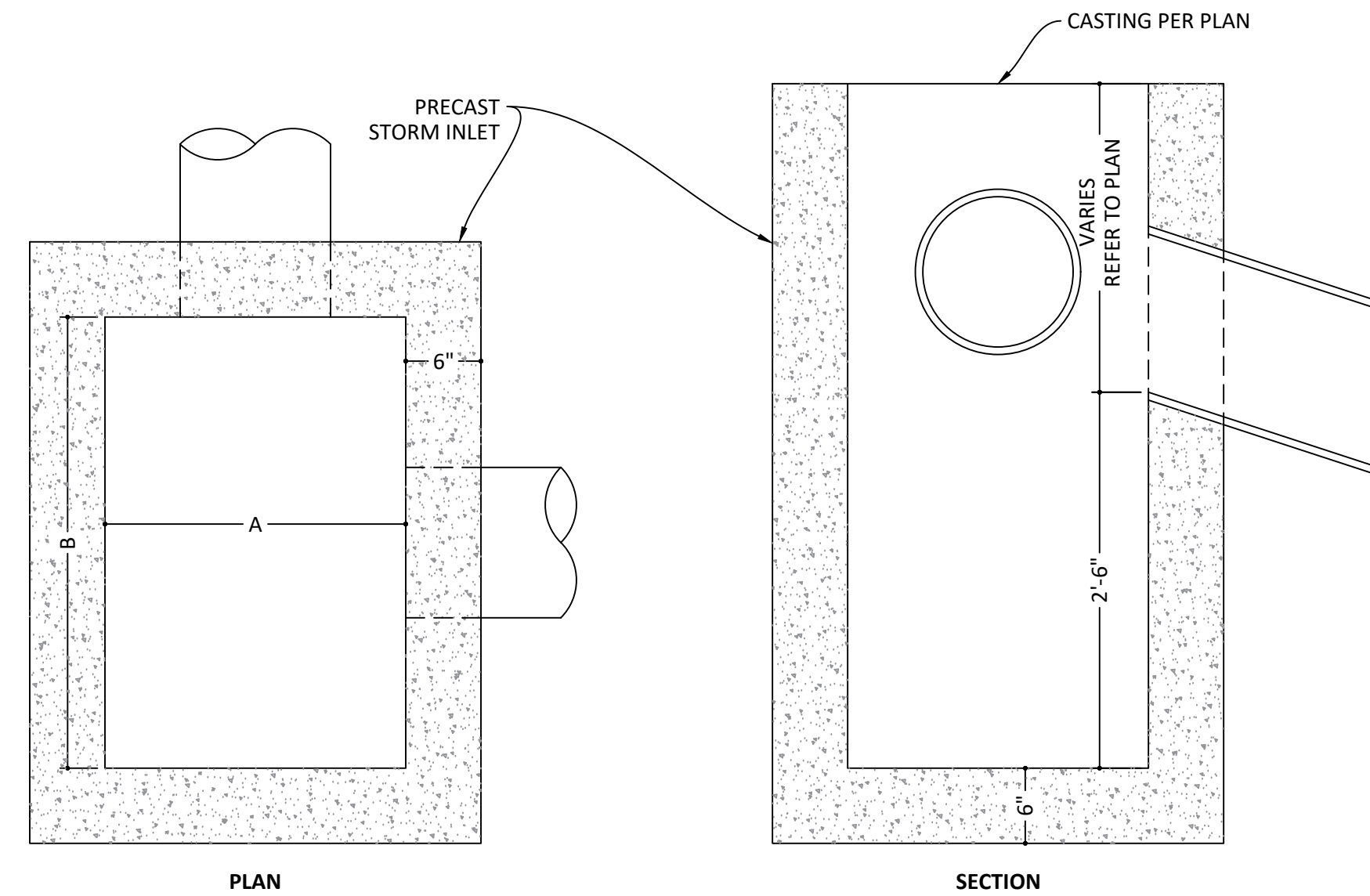


E BIORETENTION AREA
N.T.S.



- NOTES:
- ALL PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND THE STANDARD SPECIFICATIONS (MIN. SQ. FT. OF REINFORCING STEEL PER LINEAR FOOT OF BARREL SHALL BE 0.12)
 - JOINTS BETWEEN SECTIONS OF PRECAST MANHOLES SHALL BE IN ACCORDANCE WITH ASTM C-443.

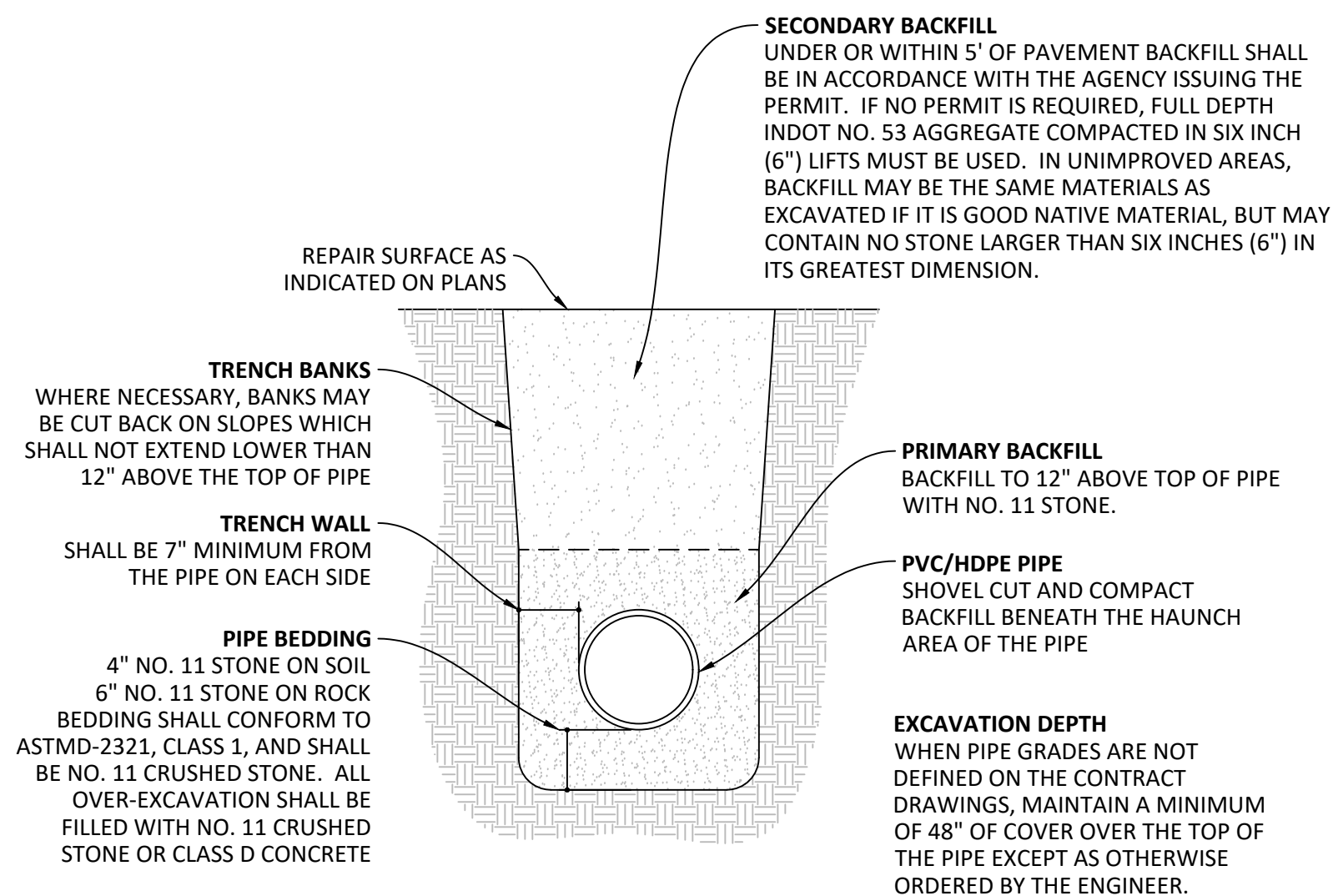
D OUTLET STRUCTURE
N.T.S.



- NOTES:
- ALL PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND THE STANDARD SPECIFICATIONS (MIN. SQ. FT. OF REINFORCING STEEL PER LINEAR FOOT OF BARREL SHALL BE 0.12)
 - JOINTS BETWEEN SECTIONS OF PRECAST MANHOLES SHALL BE IN ACCORDANCE WITH ASTM C-443.

STRUCTURE TYPE	A (INCHES)	B (INCHES)
A	24	24
K	24	36

B TYPICAL STORM INLET
N.T.S.



TRENCH SAFETY SYSTEMS
ALL TRENCH WORK SHALL BE IN COMPLIANCE WITH OSHA PART 26 OF THE CODE OF FEDERAL REGULATIONS.

A PVC/HDPE PIPE INSTALL
CBU STANDARD DETAIL NO. 11
N.T.S.

REVISIONS:
10/13/2020 MOVE DRIVE
10/29/2020 EP TECH REVIEW

PLAN SET: PC APPLICATION
PRINT DATE: 10/05/2020
DRAWN BY: C. MOSS
DESIGNED BY: C. MOSS
REVIEWED BY: C. MOSS

DRAWING TITLE:
**GRADING &
DRAINAGE
DETAILS**

DRAWING NO.
C4.02

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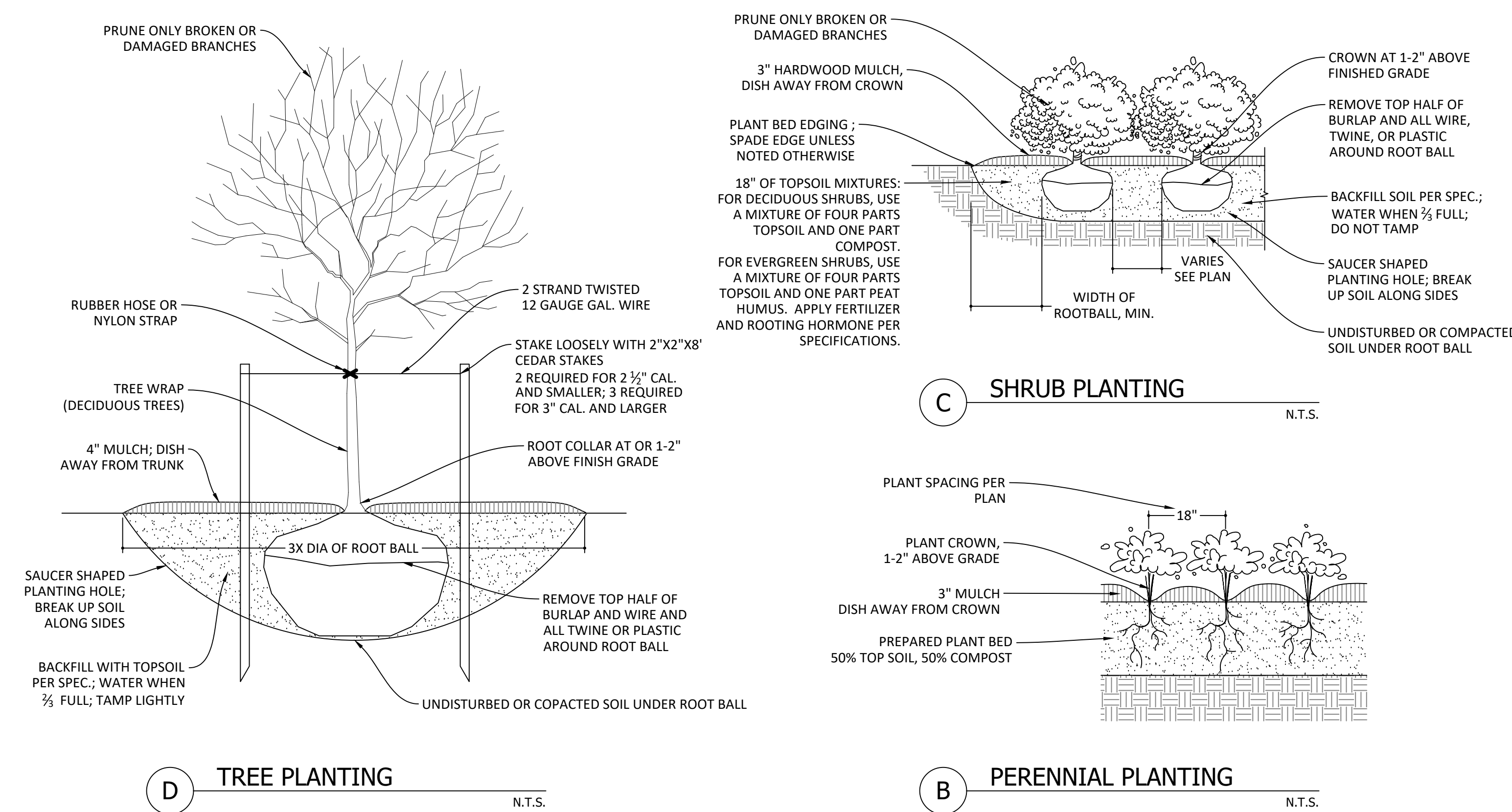
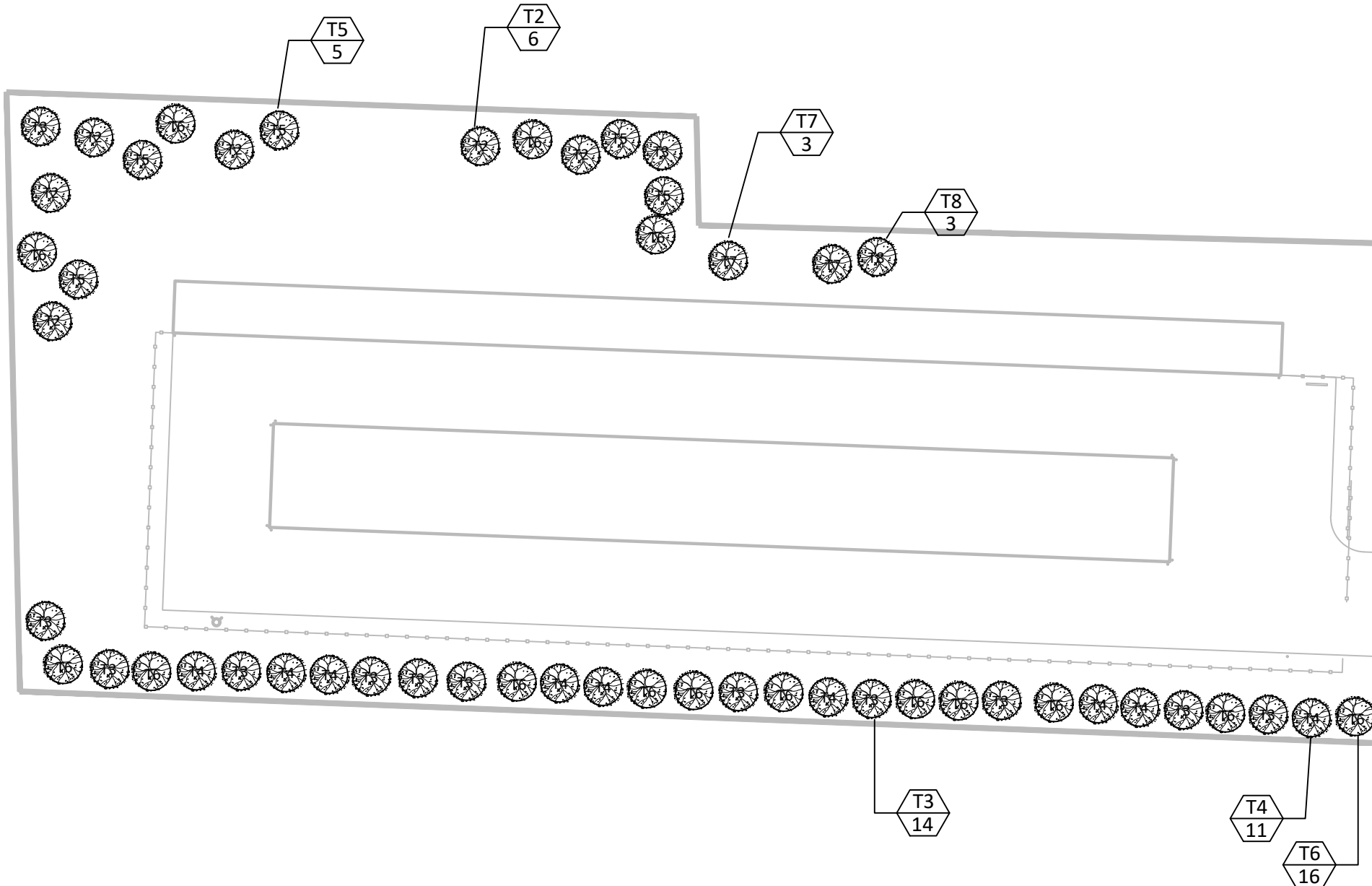
BOTANICAL NAME	COMMON NAME	CODE	QTY	SIZE	COND.
CORNUS FLORIDA	WHITE DOGWOOD	T1	4	2" CAL.	B&B
CERCIS CANADENSIS	REDBUD	T2	6	2" CAL.	B&B
TSUGA CANADENSIS	EASTERN HEMLOCK	T3	8	2" CAL.	B&B
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	T4	2	2" CAL.	B&B
ACER SACCHARUM	SUGAR MAPLE	T5	5	2" CAL.	B&B
PINUS STROBUS	WHITE PINE	T6	11	2" CAL.	B&B
QUERCUS RUBRA	NORHERN RED OAK	T7	3	2" CAL.	B&B
PRUNUS AMERICANA	AMERICAN PLUM	T8	6	2" CAL.	B&B
THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	AA	8	3 GAL.	CONTAINER
JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	BB	8	3 GAL.	CONTAINER
JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	DD	8	3 GAL.	CONTAINER
PHYSOCARPUS OPULIFOLIUS	NINEBARK	FF	16	3 GAL.	CONTAINER
CALAMAGROSTIS X ACUTIFLORA 'KARL FOESTER'	KARL FOESTER FEATHER REED GRASS	A	40	1 GAL.	CONTAINER
MISCANTHUS 'GRACILLIMUS'	MAIDEN GRASS	H	98	1 GAL.	CONTAINER

CORNUS FLORIDA	WHITE DOGWOOD	T1	3	2" CAL.	B&B
THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	AA	24	3 GAL.	CONTAINER
JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	BB	8	3 GAL.	CONTAINER
LINDERA BENZOIN	SPICEBUSH	CC	30	3 GAL.	CONTAINER
JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	DD	6	3 GAL.	CONTAINER
RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	EE	17	3 GAL.	CONTAINER
PHYSOCARPUS OPULIFOLIUS	NINEBARK	FF	4	3 GAL.	CONTAINER
PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	GG	4	1 GAL.	CONTAINER
CHAMAECYPARIS PISIFERA 'GOLDEN MOP'	GOLDEN MOP DWARF THREADLEAF FALSE CYPRESS	HH	8	1 GAL.	CONTAINER
CALAMAGROSTIS X ACUTIFLORA 'KARL FOESTER'	KARL FOESTER FEATHER REED GRASS	A	8	1 GAL.	CONTAINER
PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	DENIM 'N LACE RUSSIAN SAGE	B	8	1 GAL.	CONTAINER
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	C	10	1/2 GAL.	CONTAINER
RUDBECKIA FULGIDA SPECIOSA	SHOWY BLACK-EYED SUSAN	D	20	1/2 GAL.	CONTAINER
SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	F	24	1/2 GAL.	CONTAINER
ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	G	29	1/2 GAL.	CONTAINER

CORNUS FLORIDA	WHITE DOGWOOD	T1	4	2" CAL.	B&B
RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	EE	2	3 GAL.	CONTAINER
CALAMAGROSTIS X ACUTIFLORA 'KARL FOESTER'	KARL FOESTER FEATHER REED GRASS	A	37	1 GAL.	CONTAINER
HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	E	8	1/2 GAL.	CONTAINER
SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	F	6	1/2 GAL.	CONTAINER
MISCANTHUS 'GRACILLIMUS'	MAIDEN GRASS	H	14	1 GAL.	CONTAINER

E PLANT LIST

N.T.S.



GENERAL NOTES:

- ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, VIGOROUS CONDITION AND BE FREE OF PESTS AND DISEASE.
- ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST, OR AS SPECIFIED BY OWNER/DEVELOPER.
- ALL TREES SHALL BE STRAIGHT-TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES SHALL BE GUYED OR STAKED PLUMB AS SHOWN IN THE DETAILS.
- ALL PLANTING BEDS SHALL BE SPADE CUT UNLESS SPECIFIED OTHERWISE. TREES TO HAVE A 6\"/>
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, PRUNING, FERTILIZING, ETC., UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
- ANY NEW OR TRANSPLANTED PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DEBRIS-RAKED AND FINED-GRADED AS NEEDED, THEN MULCH SEEDED (OR SODDED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF OR OTHER PERMANENT GROUND COVER IS ESTABLISHED. SEED MIX TO BE AS FOLLOWS:
 - 50 PERCENT KENTUCKY BLUEGRASS (POA PRATENSIS).
 - 30 PERCENT CHEWINGS RED FESCUE (FESTUCA RUBRA VARIETY).
 - 10 PERCENT PERENNIAL RYEGRASS (LOLIUM PERENNE).
 - 10 PERCENT REDTOP (AGROSTIS ALBA).

PLANNING DATA:

ORDINANCE: TOWN OF ELLETTSVILLE, INDIANA CODE OF ORDINANCES, CHAPTERS 152/153
ZONE: PLANNED UNIT DEVELOPMENT (PUD)
FRONT SETBACK: 25'
SIDE YARD: 10' MINIMUM
REAR YARD: 20' MINIMUM
SITE USE: ASSISTED LIVING
MINI CONVENIENCE STORAGE

ASSISTED LIVING FACILITY:
FOOTPRINT: 22,887 SF
FLOOR AREA: 45,774 SF
HEIGHT: 30'
BEDS: 52
PEAK STAFF: 14

MINI CONVENIENCE STORAGE:
FOOTPRINT: 12,600 SF
FLOOR AREA: 12,600 SF
HEIGHT: 13' (MAX)
UNITS: 91 UNITS

PARKING REQUIREMENTS:
RESIDENTS: 18 SPACES
EMPLOYEES: 14 SPACES

A LANDSCAPE PLAN

Scale: 1:40



AUTUMN TRACE
@ LITTEN ESTATES
7405 WEST STATE ROAD 46
ELLETTSVILLE, INDIANA 47429
AMDG-2020011



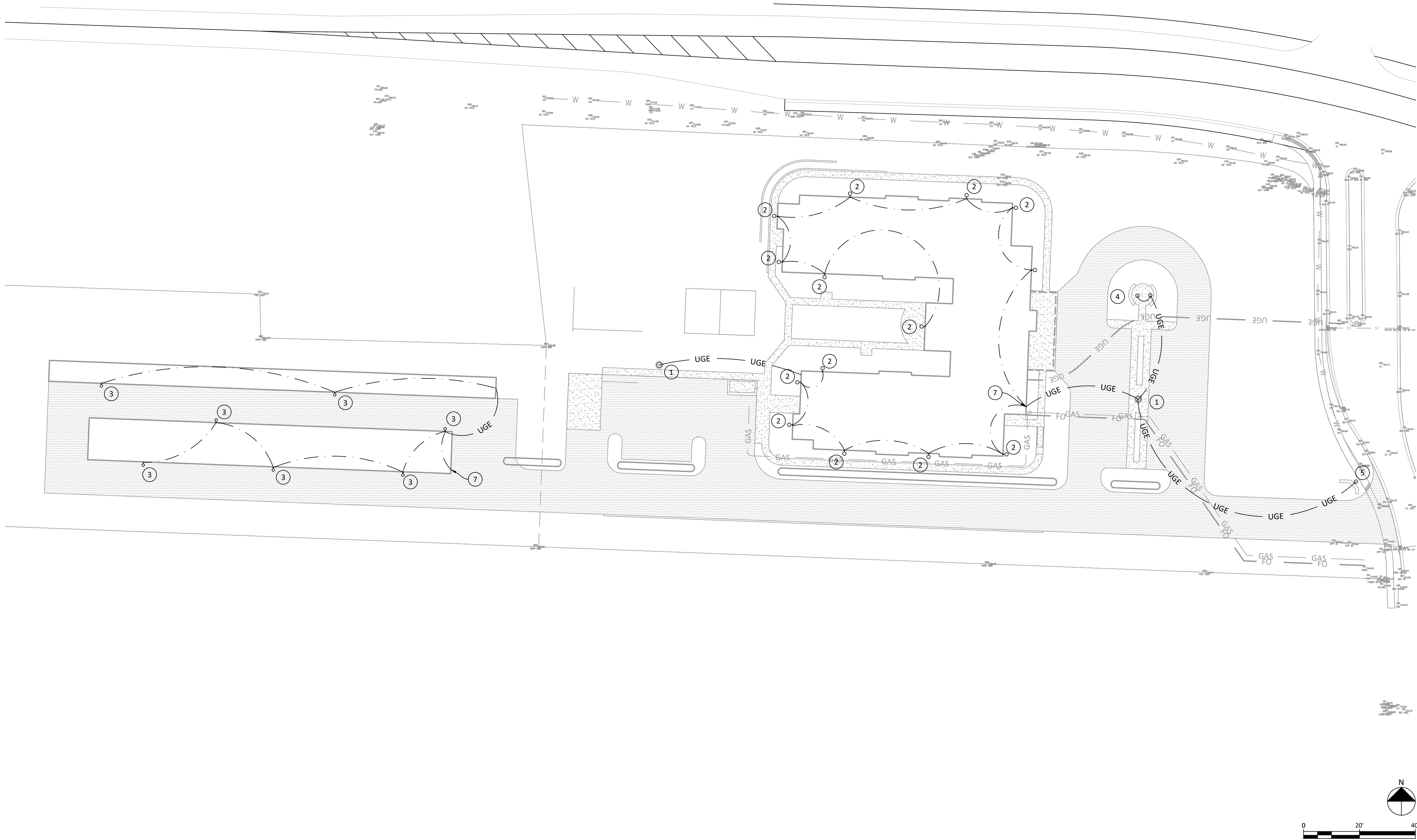
REVISIONS:
10/13/2020 MOVE DRIVE
10/29/2020 EP REVIEW EDITS

PLAN SET: PC APPLICATION
PRINT DATE: 10/05/2020
DRAWN BY: J. UNDERWOOD
DESIGNED BY: J. UNDERWOOD
REVIEWED BY: C. MOSS

DRAWING TITLE:
SITE
LANDSCAPE
PLAN

DRAWING NO.
C6.01

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A SITE LIGHTING PLAN
Scale: 1:20

GENERAL NOTES:

1. PLAN SHOWS PROPOSED EXTERIOR LIGHT FIXTURE LAYOUT AND ILLUMINANCE CALCULATIONS.
2. COORDINATE ELECTRICAL SERVICE AND PEDESTAL LOCATION WITH DUKE ENERGY.
3. CONCRETE LIGHT POLE BASE DESIGN TO BE PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION.

LEGEND:

- ① POLE-MOUNTED LIGHT FIXTURE - LITHONIA LIGHTING, KSF2 400M R45C, 400-WATT METAL HALIDE FIXTURE WITH SHARP CUTOFF ATOP 30' ROUND STRAIGHT STEEL POLE OR APPROVED EQUAL
- ② CALCULATED ILLUMINANCE POINT (IN LUX)
- ③ CALCULATED ILLUMINANCE LINE (IN LUX)
- NEW UNDERGROUND POWER

PLAN NOTES:

1. **POLE-MOUNTED LIGHT FIXTURE:**
FIXTURE: LITHONIA RADPT LED P5 SYM MVOLT RADPT 20 DDBXD OR APPROVED EQUAL
POLE: LITHONIA RSS 16 38 T20 DDBXD OR APPROVED EQUAL
2. **WALL-MOUNTED LIGHT FIXTURE:**
FIXTURE: WDGE2 LED P4 40K 90CRI VW MVOLT DDBXD OR APPROVED EQUAL
3. **WALL-MOUNTED LIGHT FIXTURE:**
FIXTURE: WDGE2 LED P3 40K 90CRI VW MVOLT DDBXD OR APPROVED EQUAL
4. **GROUND-MOUNTED SPOT LIGHT FIXTURE:**
FIXTURE: LITHONIA OLS 8 50K DDB
5. **GROUND-MOUNTED FLOOD LIGHT FIXTURE:**
FIXTURE: LITHONIA OLB 8 50K DDB
6. **ELECTRICAL UNDERGROUND BRANCH CIRCUIT:**
(2) # 10 AWG THHN STRND CU CONDUCTORS
(1) # 10 AWG THHN STRND CU GRND CONDUCTOR
(1) 1" SCHEDULE 40 PVC CONDUIT BURIED AT 24" BELOW FINISH GRADE
7. CONDUCTORS TO TERMINATE AT NEW LIGHTING CONTACTOR AT THIS LOCATION

ABRAM-MOSS
DESIGN GROUP
9215 WEST MALLORY ROAD
BLOOMINGTON, INDIANA 47404
812-955-0539
INFO@ABRAM-MOSS.COM

AUTUMN TRACE
@ LITTEN ESTATES
7405 WEST STATE ROAD 46
ELLETSVILLE, INDIANA 47429
AMDG-2020011

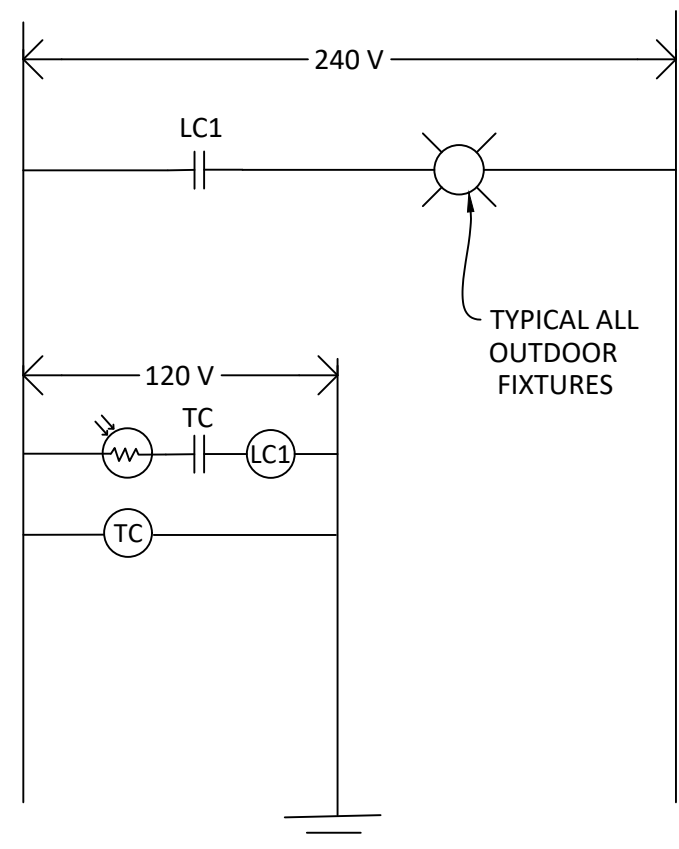
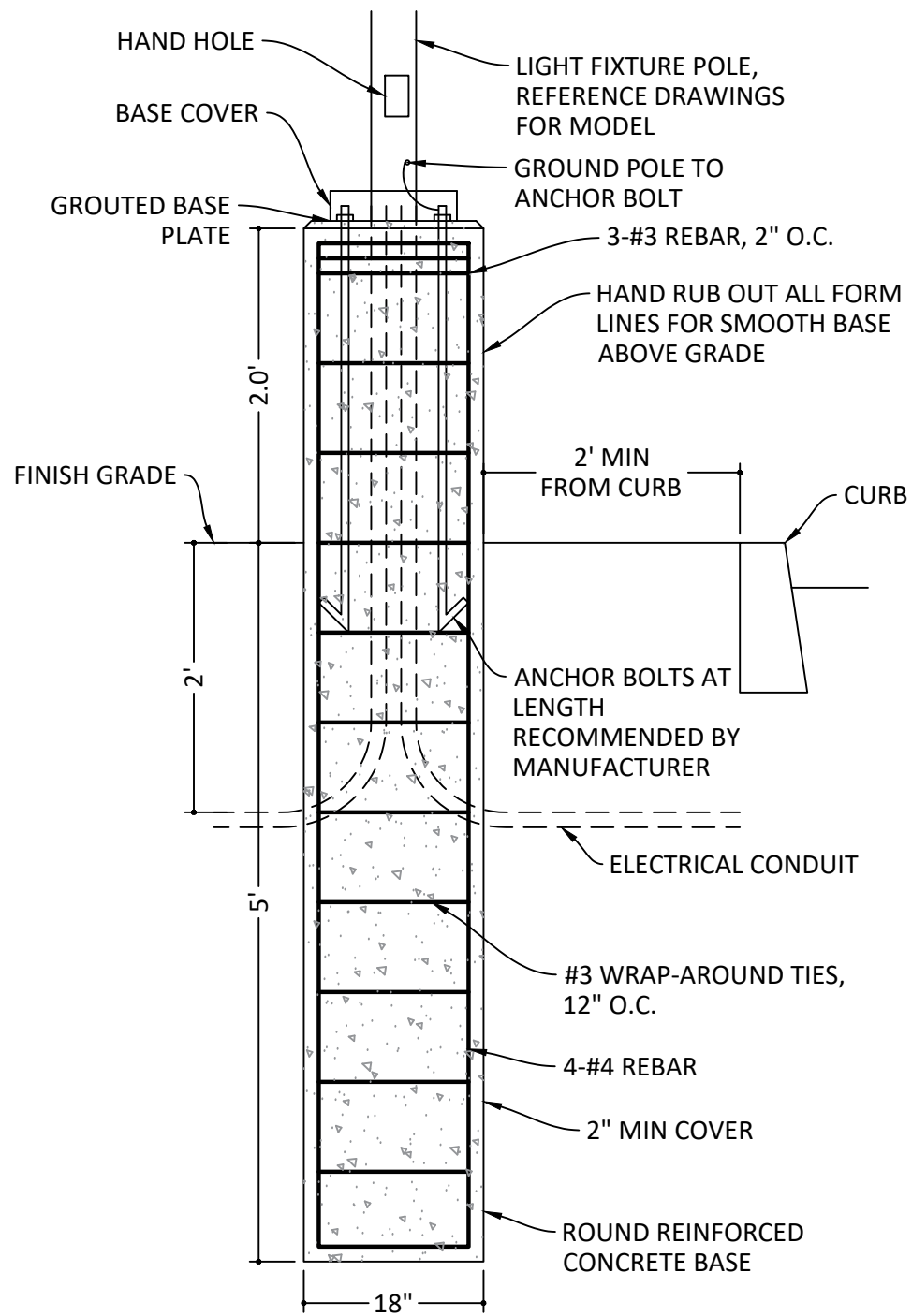
MATTHEW DEAN ABRAM
REGISTERED
NO. 920249
STATE OF INDIANA
PROFESSIONAL ENGINEER
Matthew D. Abram

REVISIONS:
10/13/2020 MOVE DRIVE

PLAN SET: PC APPLICATION
PRINT DATE: 10/05/2020
DRAWN BY: N. ABRAM
DESIGNED BY: N. ABRAM
REVIEWED BY: N. ABRAM

DRAWING TITLE:
SITE LIGHTING PLAN

DRAWING NO.
E1.01



NOTE:
- PROVIDE SEPARATE LIGHTING CONTACTOR FOR EACH PROPERTY
- ASSISTED LIVING FACILITY CONTACTOR TO BE LOCATED IN FIRST FLOOR MECHANICAL ROOM
- STORAGE FACILITY LIGHTING CONTACTOR TO BE LOCATED IN ELECTRICAL/COMM ROOM

GENERAL NOTES:

1. PLAN SHOWS PROPOSED EXTERIOR LIGHT FIXTURE LAYOUT AND ILLUMINANCE CALCULATIONS.

LEGEND:

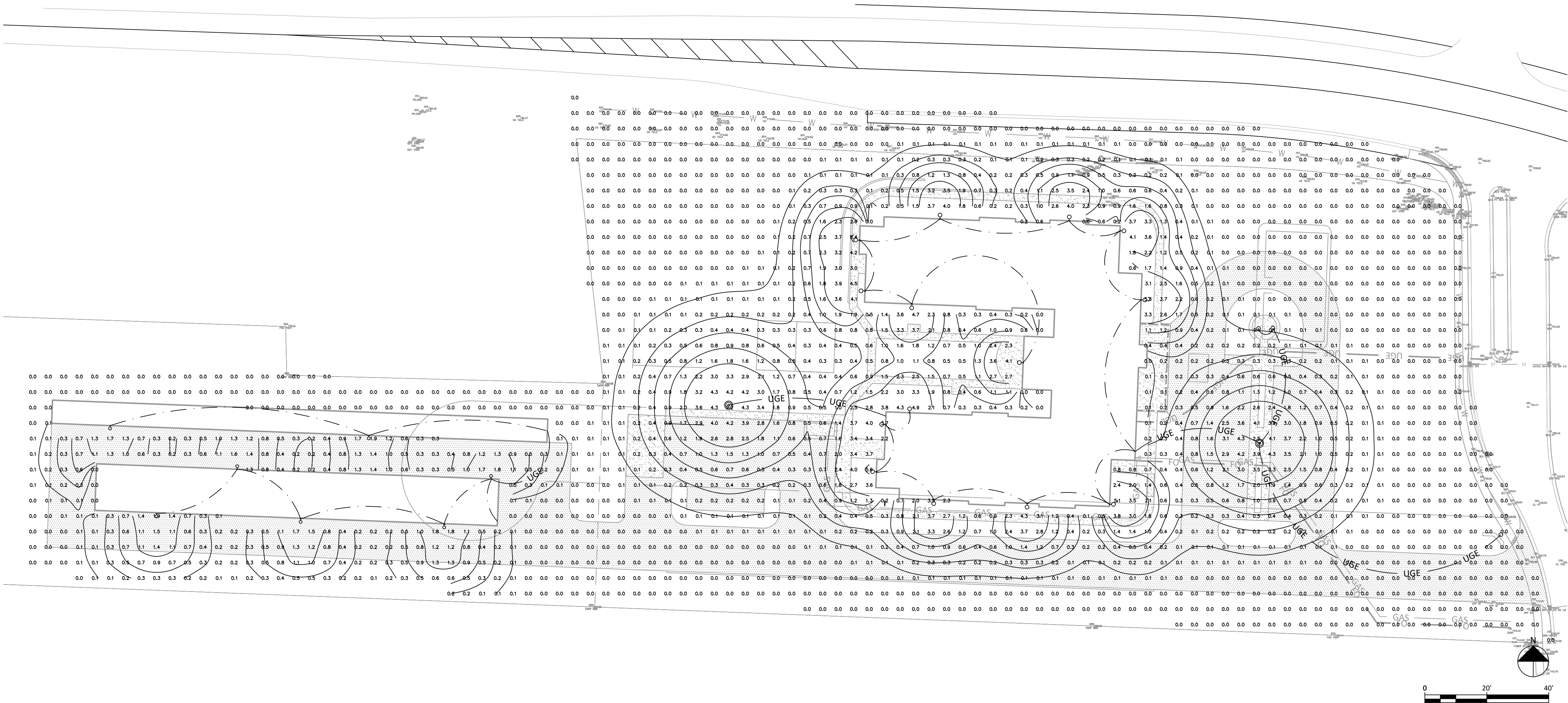
- ☉ POLE-MOUNTED LIGHT FIXTURE
- 0.0 CALCULATED ILLUMINANCE POINT (IN FOOTCANDLES)
- 0.0 CALCULATED ILLUMINANCE LINE (IN FOOTCANDLES)

C LIGHT POLE BASE

N.T.S.

B LIGHTING CONTACTOR LADDER DIAGRAM

N.T.S.



A PHOTOMETRY PLAN

Scale: 1:20

ABRAM-MOSS
DESIGN GROUP
9215 WEST MALLORY ROAD
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812-955-0539
INFO@ABRAM-MOSS.COM

AUTUMN TRACE
@ LITTEN ESTATES
7405 WEST STATE ROAD 46
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AMDG-2020011

MATTHEW DEAN ABRAM
REGISTERED
NO. 920249
STATE OF INDIANA
PROFESSIONAL ENGINEER
Matthew D. Abram

REVISIONS:
10/13/2020 MOVE DRIVE

PLAN SET: PC APPLICATION
PRINT DATE: 10/05/2020
DRAWN BY: N. ABRAM
DESIGNED BY: N. ABRAM
REVIEWED BY: N. ABRAM

DRAWING TITLE:
PHOTOMETRY PLAN

DRAWING NO.
E1.02

LITTEN ESTATES PHASE III, LOT 2 SUBDIVISION - FINAL PLAT
A PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 WEST
MONROE COUNTY, INDIANA

RICHLAND TWP.
TOWNSHIP 9 N
RANGE 2 W
SECTION 4

DEVELOPER, APPLICANT &/OR OWNER
HERARNE DEVELOPMENT LLC
INSTRUMENT NUMBER 2012021103
1585 E. RAYLETOWN ROAD
BLOOMINGTON, INDIANA 47401
812-320-2885

DECKARD
LAND SURVEYING
1604 S. HENDERSON STREET
BLOOMINGTON IN. 47401
TELEPHONE: (812) 661-1235
ERIC@DECKARD1@MSN.COM

DEDICATION

Brian Heame, representatives for Heame Development, LLC, owners of the described real estate, does hereby lay off, plat and subdivide the same into lots and streets in accordance with this plat. This within plat shall be known and designated as LITTEN ESTATES PHASE III, LOT 2 FINAL PLAT.

Witness our hands and seals this ____ day of _____, 20__.

Heame Development, LLC
Brian Heame (representative)
Rayletown Road
Bloomington, Indiana 47401
(812) 320-2885

STATE OF INDIANA)
) SS:
COUNTY OF MONROE)

Before me, the undersigned Notary Public, in and for said County and State, personally appeared Brian Heame (representatives for Heame Development, LLC) acknowledged the execution of the foregoing instrument as his or her voluntary act and deed, for the purposes therein expressed.

Witness my hand and notarial seal this ____ day of _____, 20__.

Notary Public: _____

County of Residence: _____ (Seal)

My Commission Expires: _____

STORM & SURFACE DRAINAGE:

This is to certify that the subject properties do not appear to be located in a special flood hazard area, according to FHBMA, Panel Numbers 18105C0110D dated December 17th, 2010.

TOWN PLAN COMMISSION APPROVAL:

Under the authority provided by Chapter 174 - Act of 1974 - enacted by by the General Assembly of the State of Indiana and Ordinances adopted by the Town of Ellettsville, Indiana, this plat was given approval by the Town of Ellettsville Plan Commission at a meeting held on the ____ day of _____, 2019

Chairman: _____

Secretary: _____

ACCEPTANCE OF DEDICATION BY TOWN COUNCIL:

Be it resolved by the Town Council of the Town of Ellettsville, that the dedications shown on the attached plat of Litten Estates Phase III, Lot 2 Final Plat are hereby accepted. Adopted by the Town Council of the Town of Ellettsville, Indiana this ____ day of _____, 2019.

President, Town Council: _____

Clerk – Treasurer: _____

DESCRIPTION

Lot Number 2 in Litten Estates Phase III Subdivision Final Plat as recorded in Instrument Number 2012021103 in the office of the Recorder of Monroe County, Indiana.

CERTIFICATION

The within survey was performed without the benefit of source of title and is subject to any statement of facts revealed by the same.

Easements have been located in the field and prepared with this survey drawing. This qualification will be removed upon receipt and inspection of current title work.

Subject to the above reservation, the survey work shown hereon was performed either by me or under my direct supervision and control and to the best of my knowledge and belief was performed according to the survey requirements in 865 IAC 1-12-1 through 19.

Certified this __1st__ day of __October__, 2020.

Eric L. Deckard
Registered Surveyor LS 29900012
State of Indiana



JOB TITLE
LITTEN ESTATES PHASE III, LOT 2
FINAL PLAT
A PART OF SECTION 4 T9N, R2W

DATE	BY	REVISIONS

SURVEYED	ED & ZW
DRAFTED	ELD
CHECKED	ELD
DATE	10/01/20

JOB NUMBER 19-53 SHEET	2 OF 2	DATE 10/01/20	BNDY.SHT
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Town of Ellettsville

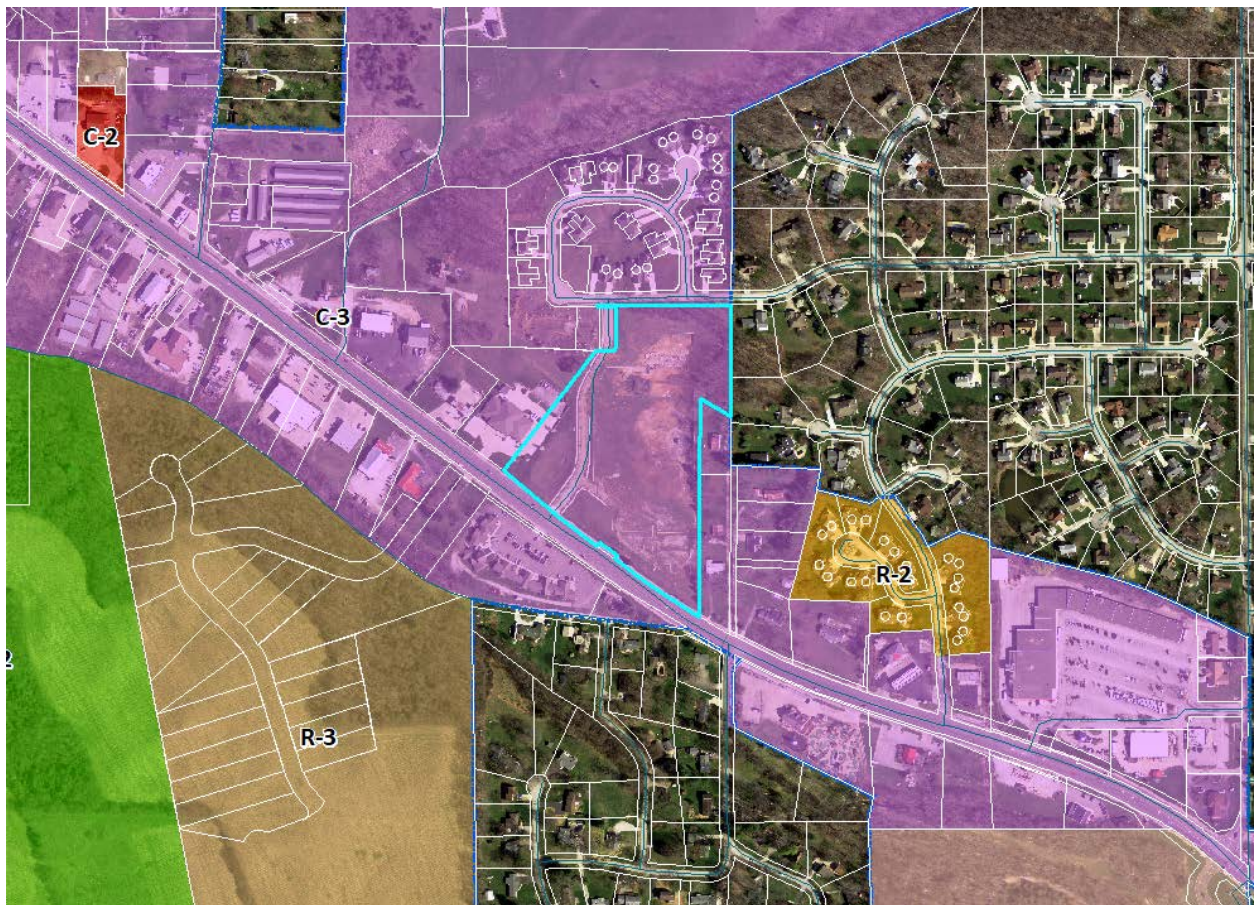
Department of Planning & Development

PC 20-13 – Development Plan Petition

Staff Report

Petition

Case - PC 20-13 – EDD Self Storage. A request by Doug Duncan, on behalf of EDD, LLC, for development plan approval for a new indoor/outdoor self-storage facility. The subject property is located at 5050 W. State Road 46.



Zoning District	Property Use
North: C-3; General Commercial	Autumn Ridge
South: C-3; General Commercial	Mixed Commercial
East: C-3; General Commercial/LR; Low Density Residential (County)	Residential
West: C-3; General Commercial	Fire Station

Considerations

1. The applicant is requesting approval of a development plan to construct a new 39,000 square foot self-storage building.
2. The property is zoned C-3; General Commercial, and the use is permitted by right.
3. The building will contain storage units accessible by vehicle around the outside of the building, and an undetermined number of interior units accessible by foot.
4. The interior section contains over 27,000 square feet of storage units that can be accessed at the northeast and southwest corners of the building. There are also entrances at the midpoints on the east and west sides of the building.
5. The Technical Advisory Committee met on October 20th and reviewed the plans as submitted. Comments from the meeting are attached.
6. The development plan meets minimum requirements of the Ellettsville Town Code and Tech Review comments have been addressed.
7. Plan Commission shall consider the following in determining whether to approve a development plan:
 - a. Compatibility of the development plan with surrounding land uses;
 - b. Compatibility of the development plan with the recommendations of the comprehensive plan;
 - c. Adequate provisions for internal management of traffic;
 - d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development;
 - e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties;
 - f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate;
 - g. Adequate on-site management of stormwater, and erosion control;
 - h. Adequate provision for green space and or landscaping;
 - i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments;
 - j. Adequate protection of existing limestone structures; and
 - k. Provision of pathways, trails and our sidewalks for all non-industrial developments.
8. Town Code does not provide specifics on parking for self-storage buildings, specifically the interior storage units;
 - a. Recommendations to the developer are as follows:
 1. One space per 300 square feet of office space: **plus**
 2. One space per employee on peak shift; **plus**
 3. One space per 5,000 square feet of interior storage space.

4. Parking for internally accessed units shall be located near the entrances to those storage areas.
 - b. The Plan Commission shall have the final decision in determining the number of parking spaces required.
 - c. The recommendations have been followed in the revised plans with a total of ten (10) parking spaces included, six (6) of which are near interior entrance doors.
9. The site meets or exceeds all setback requirements.
10. When necessary to accommodate the particular needs of the development plan under review or the particular needs of the community which will be impacted, higher standards and greater requirements shall be included as required by the Plan Commission.

Plan Commission Action

The Plan Commission action on the development plan can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

The Plan Commission is tasked with either approving, approving with conditions, denying or continuing this development plan based on the eleven (11) criteria list under consideration #7.

a. Compatibility of the development plan with surrounding land uses.

Technically, self-storage units are permitted by right in the C-3 district, and therefore would be considered compatible with surrounding land uses. In addition, the use itself should generate minimal traffic and have little direct impact on adjacent properties. From a Planning standpoint, a large self-storage building on this parcel, one of the prime pieces of commercial real estate in our jurisdiction, would appear to be an under-utilization of the property.

b. Compatibility of the development plan with the recommendations of the comprehensive plan.

Commercial uses are encouraged along State Road 46.

c. Adequate provisions for internal management of traffic.

Traffic will enter and exit from N. Seasons Drive, which will be completed at least to the entrance to the storage units and will eventually connect Autumn Ridge to State Road 46. The issue of parking should be accommodated by the revised plans, provided that the Plan Commission is satisfied with the number of parking spaces provided.

d. Analysis of the capacity of adjacent streets to ensure that adjacent streets can safely and efficiently accommodate the additional traffic generated by the development.

All traffic will come from State Road 46 and no reasons for concern at this time. There have been discussions of additional buildings on the site in the future which may increase traffic, but at this time there are no concerns.

e. Adequate provisions for public facilities and infrastructure, and provisions for extension of infrastructure to adjacent developable properties.

Infrastructure will be included on site as required by Fire and Building codes.

- f. Provisions for the allocation of land for streets, parks, schools, public and semi-public buildings, homes, businesses and industry, as appropriate.*

Seasons Drive will be dedicated to the Town upon completion. Other land on the site may be used in the future for other purposes, but none have been identified at this time.

- g. Adequate on-site management of stormwater, and erosion control.*

Stormwater and erosion control will be managed in accordance with Town and State regulations.

- h. Adequate provision for green space and or landscaping.*

Landscaping and green space, outside of the buffers, is mostly non-existent. The perimeter of the site will consist of a 6' chain link fence and grass. No other plantings are shown on the landscape plan, although there is a row of street trees already in place along State Road 46.

- i. Adequate provision for buffering to significantly reduce the visual impact of dissimilar developments.*

Minimal buffering has been provided along the north in the form of 17 white pines and along the east with an additional 31 white pines. The bufferyard extends the full length of the eastern property line, which has been revised from the original set of plans. While there is not a well defined regulation for buffering, it is of Staff opinion that the current plans only barely meet the spirit of the ordinance and do little to make this site more aesthetically pleasing.

- j. Adequate protection of existing limestone structures.*

There are no limestone structures indicated on site.

- k. Provision of pathways, trails and our sidewalks for all non-industrial developments.*

Sidewalks are already in place along N. Seasons Drive (partially) and State Road 46. The sidewalk along Seasons Drive will need to be finished at some point.

As of the time of the writing of this report, there have been no written concerns regarding the development plan received by Staff.

Development Plan approval shall be predicated on the criteria listed under consideration #7. If the Plan Commission does find that the development plan is in agreement with those items, the Plan Commission shall approve the development plan. Additionally, the Plan Commission may include any conditions they feel are necessary and relevant to develop the property in an appropriate manner.

Recommendations from the Technical Review Meeting either have been addressed or will be addressed by the time of building approval. Additionally, it is of Staff opinion that the requirements of the Development Plan section from the Town of Ellettsville, Code of Ordinances have been reasonably achieved, although the aesthetics of this project are quite minimal. Should the Plan Commission find that the plan has met the requirement for landscaping and green space, Staff would recommend that Plan Commission approve the development plans. The Plan Commission may add conditions only to the extent they are relevant to the overall benefit to the Town. If the Plan Commission does not find that all criteria have been met, they shall state specifically which criteria have not been met and how they could reasonably be achieved.

Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
October 29, 2020

Site Photos





Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes

EDD Self Storage Facility

Project Description

Location: 5050 W. State Road 46

Size: 10 acres

Current Zoning: C-3; General Commercial

Planning Comments

1. A new address for the storage unit facility will be assigned on Seasons Drive. **Once assigned we will use on all documents.**
2. Sidewalk with curbing or some other form of parking stops shall be placed between the parking spaces and building. **We have placed bumper blocks between the parking space and building.**
3. Total parking spaces required will be determined by Plan Commission. Recommendation will be as follows:
 - a. One space per 300 square feet of office space: **plus There is 361 square feet of office requiring 1.20 spaces.**
 - b. One space per employee on peak shift; **plus There is one employee requiring 1 space.**
 - c. One space per 5,000 square feet of interior storage space. **Excluding the 361 square feet of office space, there are 38,839 square feet of storage requiring 7.77 spaces. The total number of spaces required is 9.97 spaces. We have provided 10 spaces.**
4. Parking spaces for internal storage areas must be located near entrance to storage areas, clearly marked and include some type of parking stops. **Two parallel spaces have been provided at the east and west midpoint entrances, one space has been shown at the northeast and southwest entrances in the covered areas and five spaces have been provided along the north side of the building near the office entrance. See sheet C201.**
5. Landscape buffer shall continue southward along the entire east side of the property. **Additional landscaping has been shown to the south edge of this phase. See sheet C201.**
6. The following items shall be noted on site and landscape plans:
 - a. Total amount of square footage dedicated to internally accessed storage units; **Shown on Building Floor Plan Sheet, A102: 27,164 SF Internally Accessed Storage (including hallways, entries and at grade loading docks), and 11,675 Sf Externally Accessed Storage @ perimeter.**
 - b. Building height; **Shown on Building Elevation Sheet, A-202: 20-22' at tall corners, 20' at ridge, 12' at eaves**
 - c. Trees shall be planted ten (10) feet from any water service line; **No trees will be planted within 10' of any water service line.**
 - d. Any exterior lighting should be noted on site plan. **There will be 3 wall mounted lights on the north and south building lines and 5 wall mounted lights on the east and west building lines, all aimed so as to not have light trespass. See sheet C201.**
7. Final plans shall be stamped by engineer. **The final plans will be certified by a registered engineer.**

Fire Department Comments

- 1. Move Fire Department Connection (FDC) or the fire hydrant to maintain minimum distance of 100 feet or less and to ensure the fire hose that connects to the FDC will not cross any streets. The FDC has been moved to the west side of the west perimeter drive. See sheet C201.
- 2. The FDC will utilize a 5 inch Storz fitting. This has been shown on sheet C201.
- 3. All fire hydrants will utilize a 5 inch Storz fitting on the 4-1/2 steamer connection.
- 4. Knox Box shall be installed at the entry gate. This has been shown on sheet C201.

Public Works Comments

- 1. Tracer wire should be used on all newly installed lines. Tracer wire is specified for all utility lines. See sheet C201.

ADA Accessibility Comments

Pursuant to the 2010 ADA Standards for Accessible Design, below are the American with Disability Act requirements for the proposed self-storage unit being considered for 5050 W. State Road 46. Most of the items below are also provided by the Self-Storage Association.

Accessible Storage Spaces

Self-service storage facilities shall provide individual self-service storage spaces complying with the following requirements: See Notes on Floor Plan Sheet, A-102. Exterior Storage Spaces: 70+/- and Interior Storage Spaces: 160+/-

Total Spaces in Facility	Minimum Number of Spaces Required to be Accessible
1 to 200	5 percent, but no fewer than 1
201 and over	10, plus 2 percent of total number of units over 200

Accessible Routes

At least one accessible route shall be provided within the site from accessible parking spaces and accessible passenger loading zones. Each site arrival point must be connected by an accessible route to the accessible building entrance(s) served. At least one accessible route shall connect each story and mezzanine in multi-story buildings and facilities. Accessible routes shall coincide with or be located in the same area as general circulation paths. Where circulations paths are interior, required accessible routes shall also be interior. (The accessible route must be in the same area as the general circulation path. This means that circulation paths, such as vehicular ways designed for pedestrian traffic, walks and unpaved paths that are designed to be routinely used by pedestrians must be accessible or have an accessible route nearby. Additionally, accessible vertical interior circulation must be in the same area as stairs, not isolated in the back of a facility.) All components of accessible route shall be connected throughout: At grade entrance points, 3’ or wider doors, accessible door hardware, 4’ or wider hallway system, etc.

Egress

An accessible means of egress shall comply with section 1003.2.13 of the International Building Code (2000 edition and 2001 Supplement) or section 1007 of the International Building Code (2003 edition). All required egress locations shall be accessible.

Parking

At this time, the plan shows four parking spaces. One of those spaces is to be a van accessible parking space. Should the parking requirements change, this may have to be re-evaluated. Parking has been added for a total of 10 spaces, one of which is a van accessible parking space. See sheet C201.

Door, Doorways and Gates

While door, doorways and gates will be reviewed at the building permit plan review, all must comply with the 2010 ADA Standards for Accessible Design, Ellettsville Town Code and the International Building Code. **All required doors shall be accessible.**

Engineering Comments

No Comments

Police Department Comments

No Comments

Summary

The development plan request is for the proposed Self Storage facility project. The Technical Review Committee met on October 20, 2020 to discuss the development and site plans. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer, Town Engineer Rick Coppock, Assistant Planner and ADA Coordinator Denise Line, Fire Chief Mike Cornman, Deputy Fire Chief Kevin Patton, Public Works Foreman Brian Miller, Street Foreman Kip Headdy, Building Inspector Sam Ferguson, and Planning Director Kevin Tolloty. Also in attendance were Doug Duncan, Developer and Marc Cornett, Architect. Comments have been received from Planning, ADA, Fire, and Public Works. Any additional comments from the Technical Review meeting that are not listed above, shall still be taken into consideration. Plan Commission should approve the development plan after the above mentioned items have been addressed, but may also add conditions as they see fit.

Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
October 22, 2020

GENERAL NOTES

1. BOUNDARY AND TOPO BY BYNUM FANYO AND ASSOCIATES, 528 NORTH WALNUT STREET, BLOOMINGTON, INDIANA 47404. PHONE (812) 332-8030
2. DEVELOPER: ERD, LLC, 4650 N. OLD STATE ROAD 37, BLOOMINGTON, IN 47408. CONTACT DOUG DUNCAN
3. PROJECT ADDRESS: 5050 W. SR 46, BLOOMINGTON, INDIANA 47404.
4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & THE TOWN OF ELLETTSVILLE UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS.
7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
8. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

PARKING AND PAVEMENT NOTES

1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC DEVICES, CURRENT EDITION AS AMENDED.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
3. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
5. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOLS.
6. CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL AT ALL INTERSECTIONS).
7. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY A.C.C. OF AMERICA, INC. AND THE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

GRADING NOTES

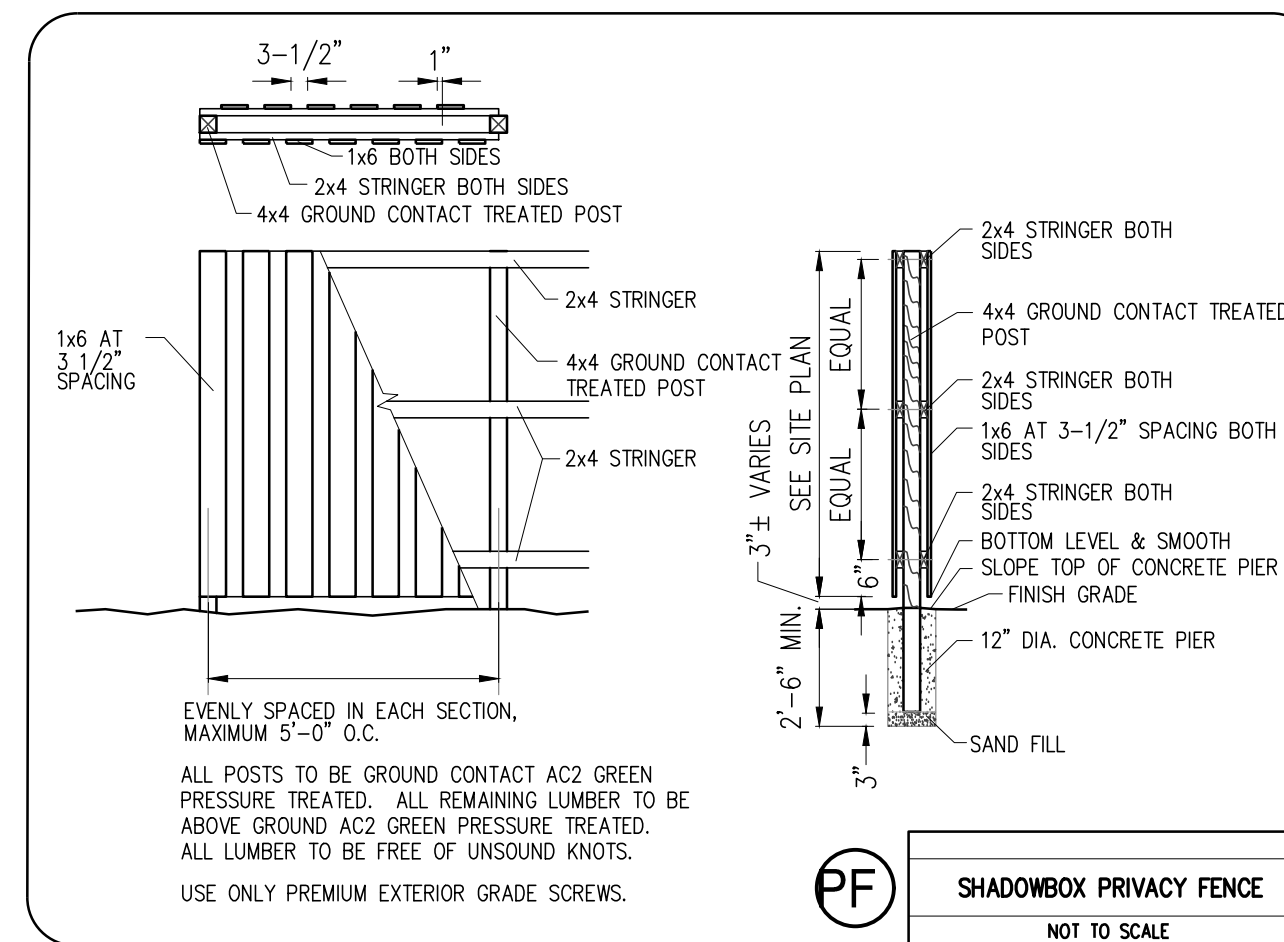
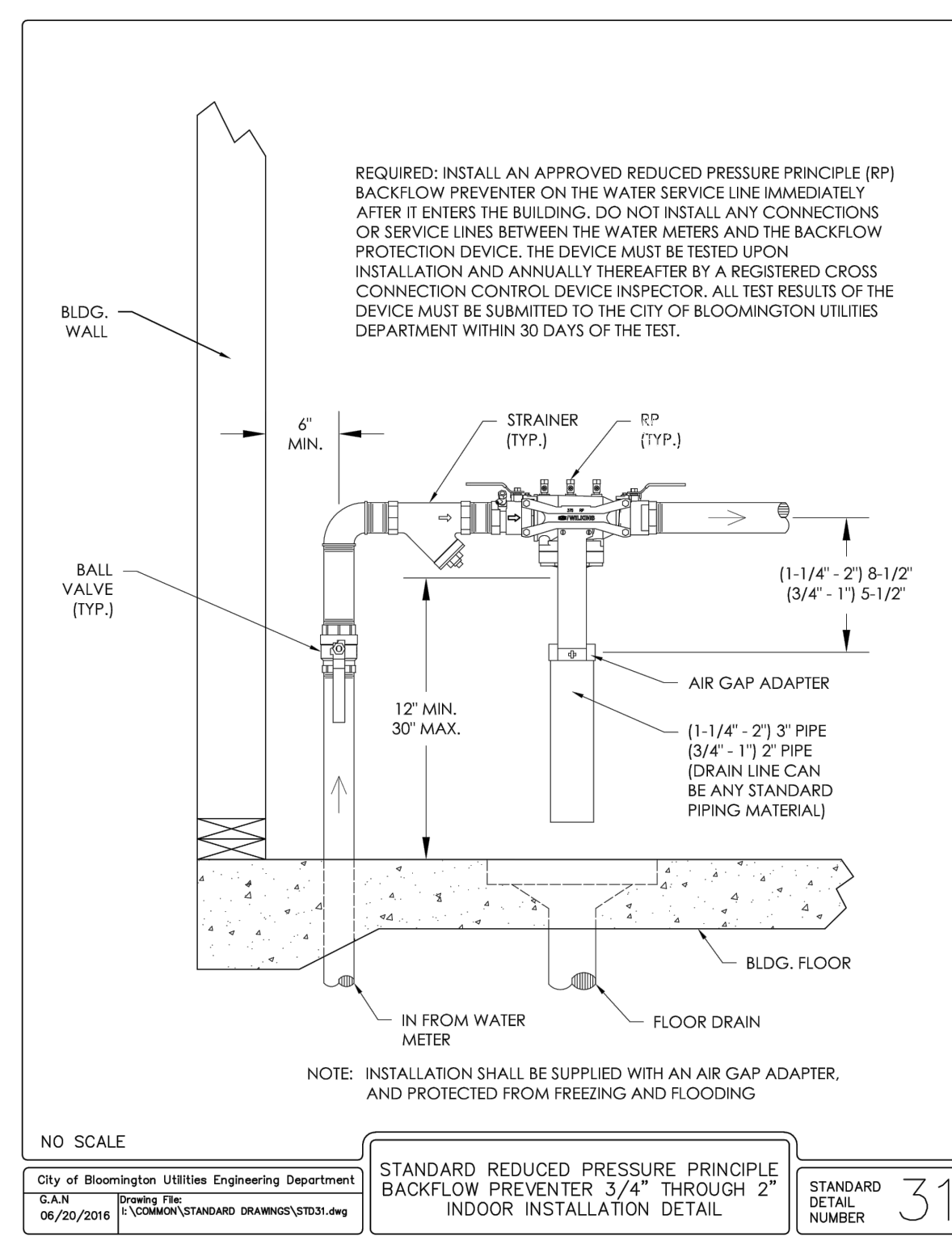
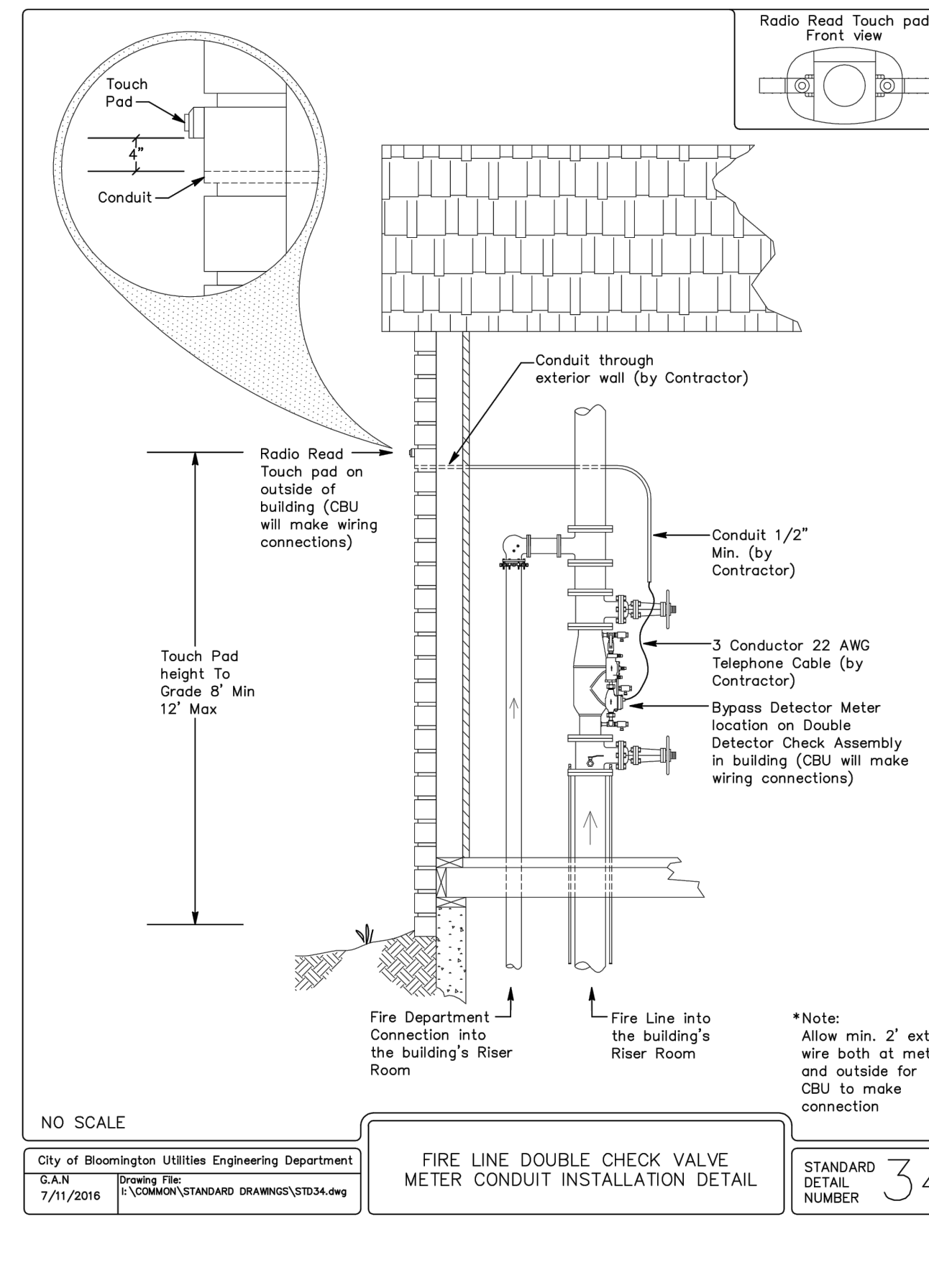
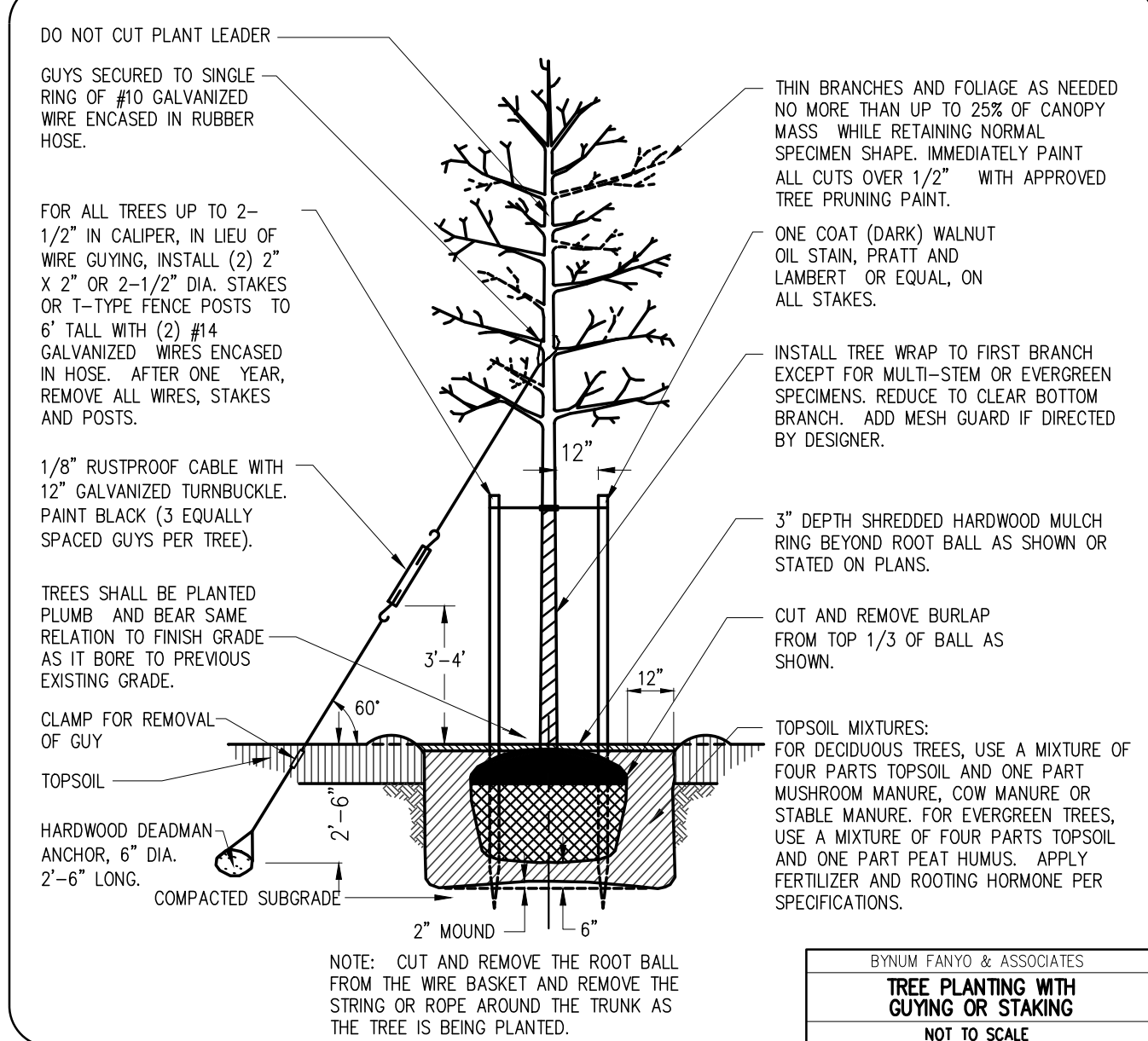
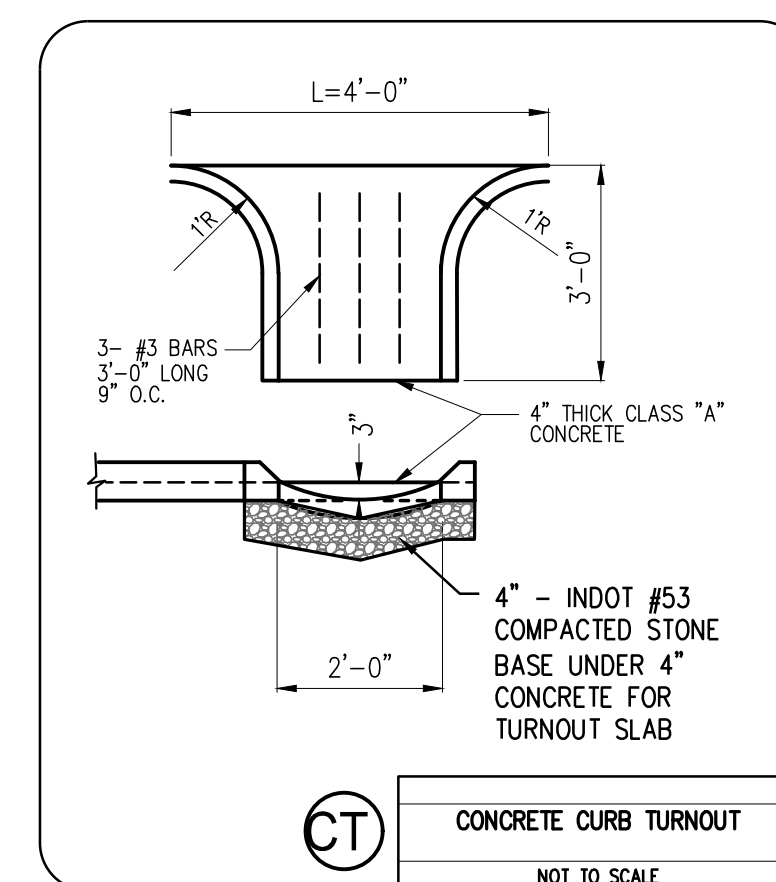
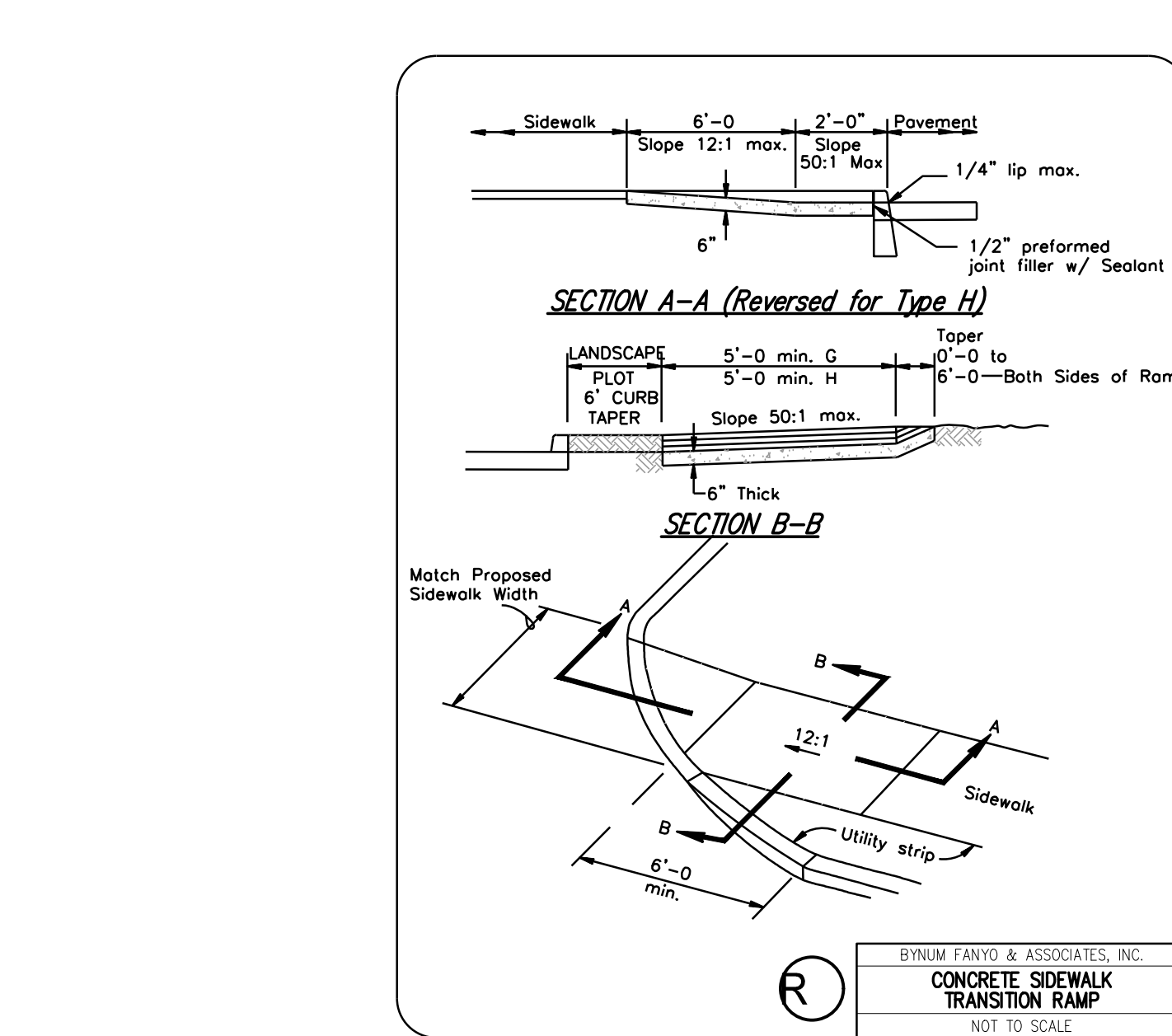
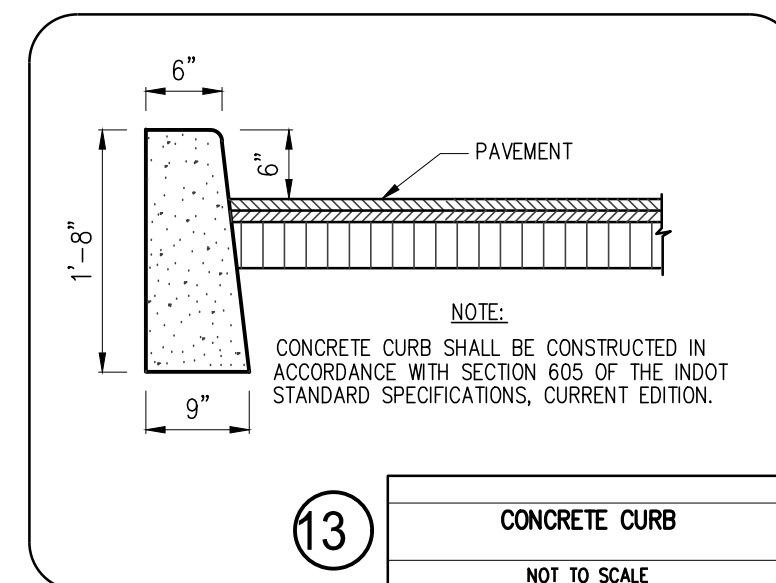
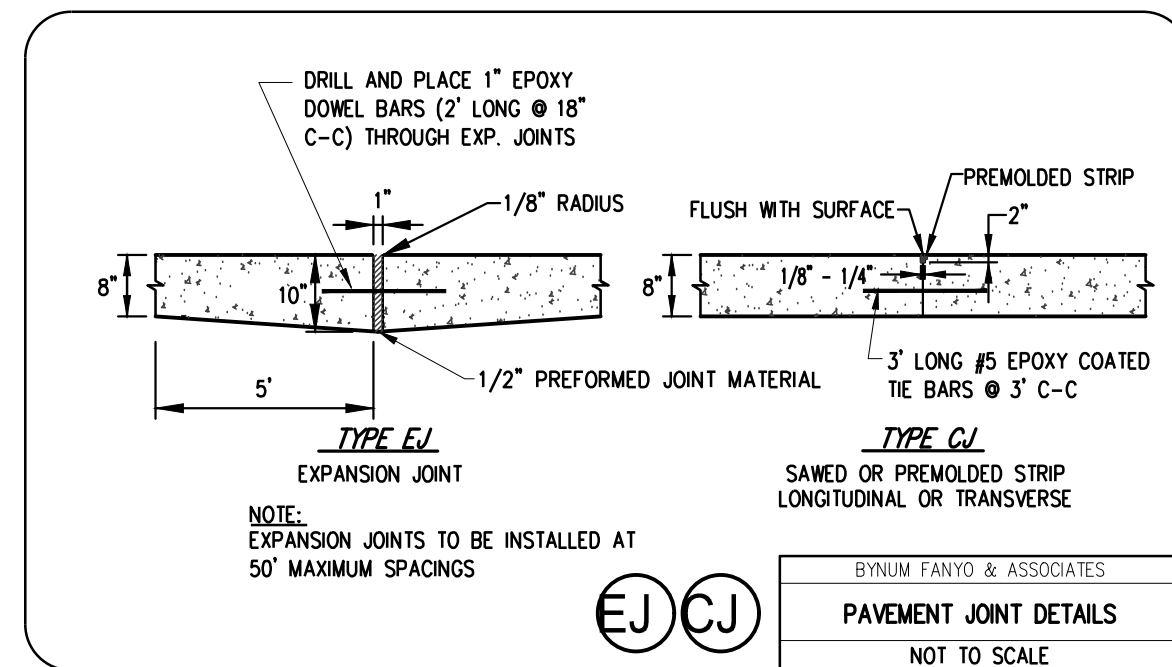
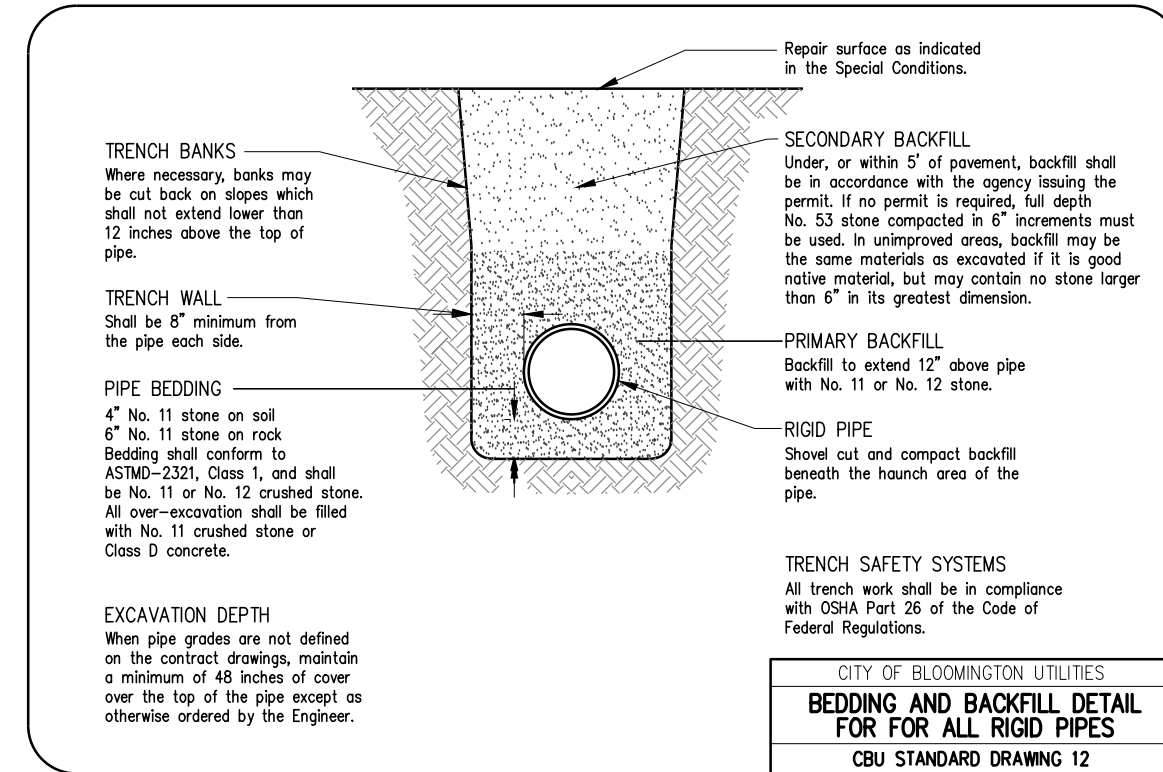
1. NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TPOISL ARE ARE TO BE SEEDDED OR PLANTED.
2. AREAS OUTSIDE OF THE PARKING LOT PERIMETERS SHOWN TO BE SEEDDED OR PLANTED SHALL RECEIVE 6" OF TOPSOIL. THIS TOPSOIL IS TO BE PLACED AND LEVELLED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELOCATION OF THE FACILITY.
4. ALL AREAS NOT COVERED BY BUILDING OR PAVING ARE TO BE VEGETATED (SEEDDED OR PER PLANTING SPECIFICATION).
5. UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
6. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT THE CORNERS DURING THE COURSE OF CONSTRUCTION. A LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
7. THESE DOCUMENTS ARE SCHEMATIC IN NATURE AND CANNOT SHOW EVERY ITEM NEEDED FOR A COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATING STORM SYSTEM.
8. ALL FILL SHALL BE FREE OF VEGETABLE MATTER, RUBBISH, LARGE ROCK, AND OTHER DELTERIOUS MATERIAL. THE FILL MATERIAL SHOULD BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AND LAID TO SQUARE SPECIFIED COMPACTION. EACH LAYER SHOULD BE UNIFORMLY COMPACTED BY MEANS OF SUITABLE EQUIPMENT AS DICTATED BY THE TYPE OF FILL MATERIAL UNDER NO CIRCUMSTANCES SHOULD A BULLDOZER OR SIMILARLY TRAPPED VEHICLE BE USED AS COMPACTING EQUIPMENT. MATERIAL CONTAINING AN EXCESSIVE AMOUNT OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF THE MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM DENSITY TESTS (98 PERCENT OF MAXIMUM DRY DENSITY). IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET, SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE REACHED.

ON-SITE UTILITY NOTES

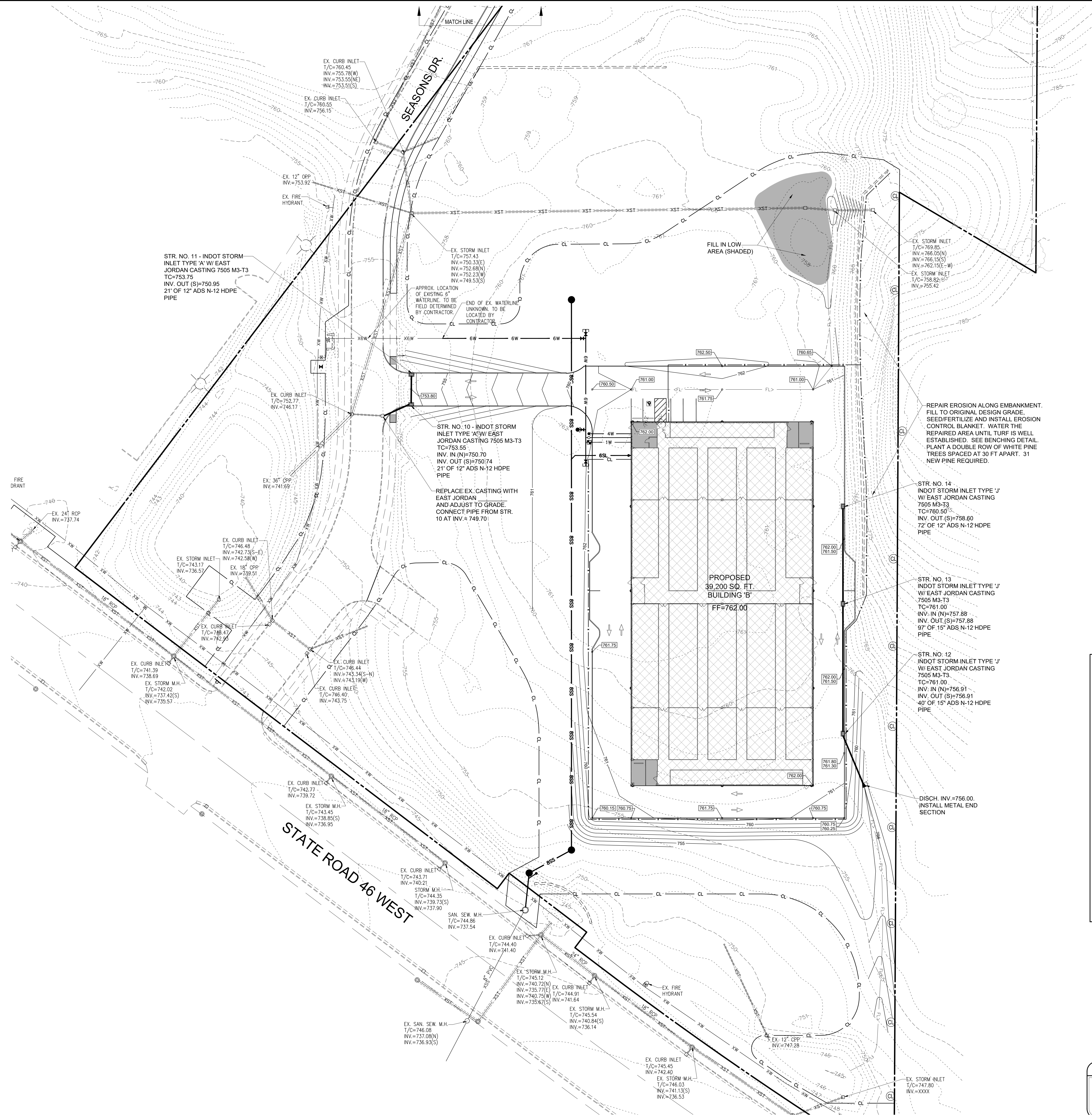
1. ALL WATER PIPE 6" AND LARGER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING TO ALL STATE AND LOCAL STANDARDS.
2. WATER MAIN FITTINGS 6" AND LARGER SHALL BE DUCTILE IRON CONFORMING TO AWWA/ANSI STANDARD SPECIFICATIONS C153/A21.53, LATEST REVISION.
3. 2" WATER MAINS SHALL BE SDR-21 (PR200) AND 4" PIPE MAY BE EITHER SDR-21 (PR200) OR C900 (DR-14).
4. MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL FIRE LINE BENDS, OFFSETS, TEES, PLUGS, ETC. SEE THE RESTRAINT DETAIL ON SHEET C302.
5. ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES AND TAPPING VALVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED, WITH RESILIENT SEAT AND NON-RISING STEM AND SHALL BE MANUFACTURED BY M & H VALVE COMPANY, DARLING VALVE AND MANUFACTURING COMPANY, KENNEDY VALVE COMPANY, OR MUELLER COMPANY.
6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.
7. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN OR MUELLER TENDERMAN.
8. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
9. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF CONVEYER AND SEWER LINES SHALL BE TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18").
10. 6" GRAVITY SANITARY SEWER PIPE SHALL BE CONSTRUCTED OF SDR-35 PVC.
11. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
12. SEE SITE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS.
13. SITE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
14. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
15. ALL CATCH BASIN GRATE AND FRAMES ON INDOT STYLE INLETS ARE TO BE EAST JORDAN BRAND.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. BUILDING CONTRACTOR SHALL PROVIDE & INSTALL A PERMANENT INDICATING VALVE 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST & WILL REMAIN AS PART OF THE SYSTEM ONCE THE TESTING IS COMPLETED. THE FIRE LINE MAIN WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE FIRE MAIN WITH THE BUILDING CONTRACTOR.
21. ALL PROJECTS WILL REQUIRE A FIRE-CONSTRUCTION MEETING WITH THE TOWN OF ELLETTSVILLE UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT BRIAN MILLER AT (812)327-7501 TO SCHEDULE THE MEETING.
22. CONTRACTOR SHALL NOTIFY THE TOWN OF ELLETTSVILLE UTILITIES (TOEU) DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A TOEU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS WEEKENDS, A TOEU DESIGNATED HOUR, OR BEYOND NORMAL TOEU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR TOEU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT BRIAN MILLER OF THE TOEU DEPARTMENT AT (812)327-7501.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, VIGOROUS CONDITION AND BE FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES SHALL BE STRAIGHT-TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES SHALL BE CUYED OR STAKED PLUMB AS SHOWN IN THE DETAILS.
5. ALL PLANTING MASS BEDS SHALL BE SPADE CUT UNLESS SPECIFIED WITH A MOW STRIP OR OTHER INSTALL EDGING. TREES TO HAVE A 5" DIAMETER MULCH RING.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPEARANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECIES SHOWN ON THESE PLANS BEFORE PRIORING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MOWING, PRUNING, FERTILIZING, ETC.; UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
13. ANY NEW OR TRANSPLANTED PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUNDCOVER, ANNUAL AND HERBACEOUS PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. DURING THE GROWING SEASON ALL ANNUALS AND HERBACEOUS PERENNIALS SHALL REMAIN IN A HEALTHY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN ON PLANS.
18. ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DERIS-RAKED AND FINED-GRADED AS NEEDED, THEN MULCH SEEDED (OR SOODED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF IS ESTABLISHED.
19. ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.



designed by: JBT
drawn by: JBT
checked by: JSF
sheet no: C101
project no.: 402026



EXISTING LEGEND

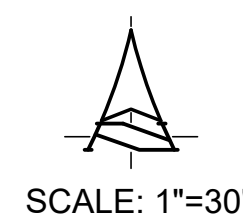
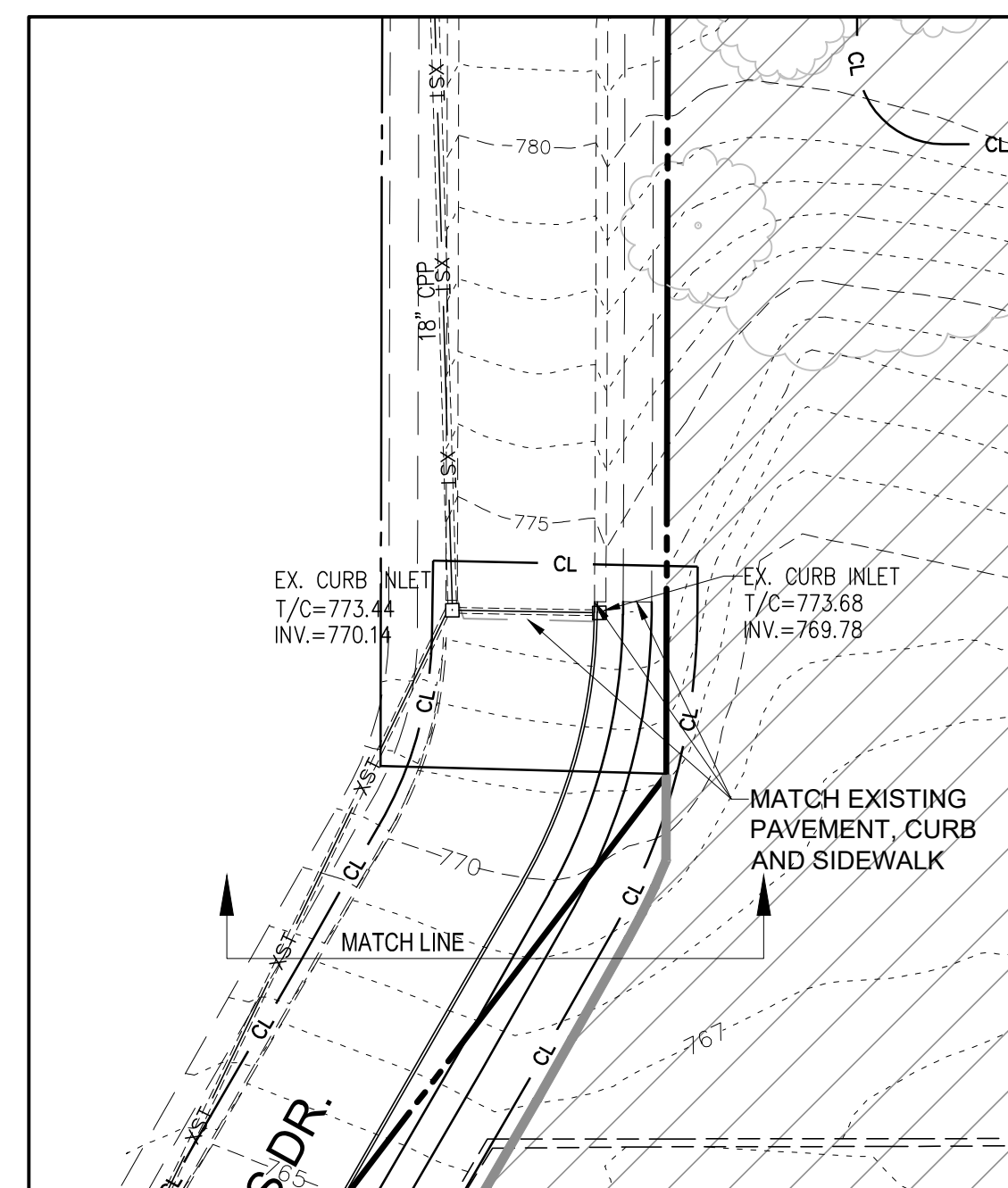
---	PROPERTY LINE
-X-	FENCE
-XW-	WATER LINE PIPE
-XXX-	CONTOUR & ELEVATION
-XSS-	SANITARY SEWER PIPE
-XST-	STORM SEWER PIPE
-XOHE-	OVERHEAD ELECTRIC LINES
-XUGE-	UNDERGROUND ELECTRIC LINES
-XOHT-	OVERHEAD TELEPHONE LINES
-XUGT-	UNDERGROUND TELEPHONE LINE
-XGAS-	GAS LINE PIPE

UTILITY LEGEND

1W	1" SDR-21 PVC DOMESTIC WATER SERVICE LINE W/ TRACER WIRE
4W	4" POLYETHYLENE ENCASED D.I.P. WATERLINE W/ TRACER WIRE
6W	6" POLYETHYLENE ENCASED D.I.P. WATERLINE W/ TRACER WIRE
M	WATER LINE GATE VALVE
F.D.C.	FIRE DEPARTMENT CONNECTION W/ 5" STORZ
P.I.V.	POST INDICATING VALVE
6SL	6" SDR-35 PVC SANITARY SEWER LATERAL W/ TRACER WIRE (PRIVATELY OWNED)
8SS	8" SDR-35 PVC SANITARY SEWER MAIN W/ TRACER WIRE
12ST	12" ADS BRAND SERIES N-12 HDPE STORM SEWER PIPE (PRIVATELY OWNED)
15ST	15" ADS BRAND SERIES N-12 HDPE STORM SEWER PIPE (PRIVATELY OWNED)
GAS	GAS SERVICE LINE
ELEC	SCH. 40 PVC ELECTRICAL GRADE CONDUIT - SIZE AS REQUIRED BY THE NATIONAL ELECTRICAL CODE - SEE NOTE THIS SHEET

GRADING LEGEND

(M)	MATCH EXISTING CURB, SIDEWALK OR PAVEMENT
XXX	ELEVATION CONTOUR
FL>	FLOWLINE
XXX.XX	SPOT GRADE ELEVATION
XXX.XX	TOP OF CURB ELEVATION OVER PAVEMENT ELEVATION
FB=XXX.XX	FINISH BASEMENT FLOOR ELEVATION
FC=XXX.XX	FINISH CONCRETE PAVEMENT ELEVATION
FF=XXX.XX	FINISH FLOOR ELEVATION
FG=XXX.XX	FINISH EARTH GRADE ELEVATION
FGL=XXX.XX	FINISH EARTH GRADE ELEVATION ON LOW SIDE OF RETAINING WALL
F. PATIO=XXX.XX	FINISH PATIO ELEVATION
FW=XXX.XX	FINISH WALK ELEVATION
TC=XXX.XX	FINISH TOP OF CASTING ELEVATION AT FLOWLINE
TW=XXX.XX	FINISH TOP OF RETAINING WALL ELEVATION



NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
bloomington, Indiana
(812) 332-2990 (Fax)

BYNUMFAYND & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

JEFFREY S. FAYND
No. 60018283
STATE OF INDIANA
PROFESSIONAL ENGINEER
0.26.20
certified by: *gms*

PROPOSED
SELF STORAGE
5050 W. SR. 46
BLOOMINGTON, IN 47404

title: GRADING & DRAINAGE PLAN

designed by: JBT
drawn by: JBT
checked by: JSF
sheet no: C202
project no.: 402026

- A. PAINT PENETRATIONS TO MATCH ROOF COLOR.
- B. ALL PENETRATIONS THROUGH BUILDING WALLS TO BE PAINTED COLOR OF ADJACENT MATERIAL

1. PRE-FINISHED METAL ROOFING
2. PRE-FINISHED METAL EAVE GUTTER
3. PRE-FINISHED METAL RAKE TRIM
4. PRE-FINISHED METAL SIDING (VEE RIB PROFILE)
5. PRE-FINISHED METAL OUTSIDE CORNER TRIM
6. PRE-FINISHED METAL DOWNSPOUT ASSEMBLY
7. PRE-FINISHED METAL RIDGE CAP/COVER
8. POURED CONC. FOOTING [REF. STRUCTURAL DRAWINGS]
9. POURED CONC. FOUNDATION [REF. STRUCTURAL DRAWINGS]
10. PROPOSED GRADE
11. H.M. DOOR/FRAME ASSEMBLY [INSULATED]
12. FIXED ALUM. WINDOW ASSEMBLY W/INSULATED GLAZING
13. 8' w. x 7' h. OVERHEAD DOOR ASSEMBLY [INSULATED]
14. 10' w. x 10' h. INSULATED COILING ROLL-UP DOOR
15. COVERED DRIVE-THRU AREA
16. EXTERIOR HVAC UNIT (HORIZONTAL PACKAGE UNIT)

m c a MARC CORNETT ARCHITECTS

101 EAST KIRKWOOD AVE.
BLOOMINGTON, INDIANA 47408
P 812.325.5964 EMAIL: marccornett@yahoo.com

CERTIFIED

REVISIONS

PROPOSED:
ELLETTSVILLE SELF-STORAGE
5050 W. STATE ROAD 46
BLOOMINGTON
INDIANA

PROJECT NO.: 2020-09

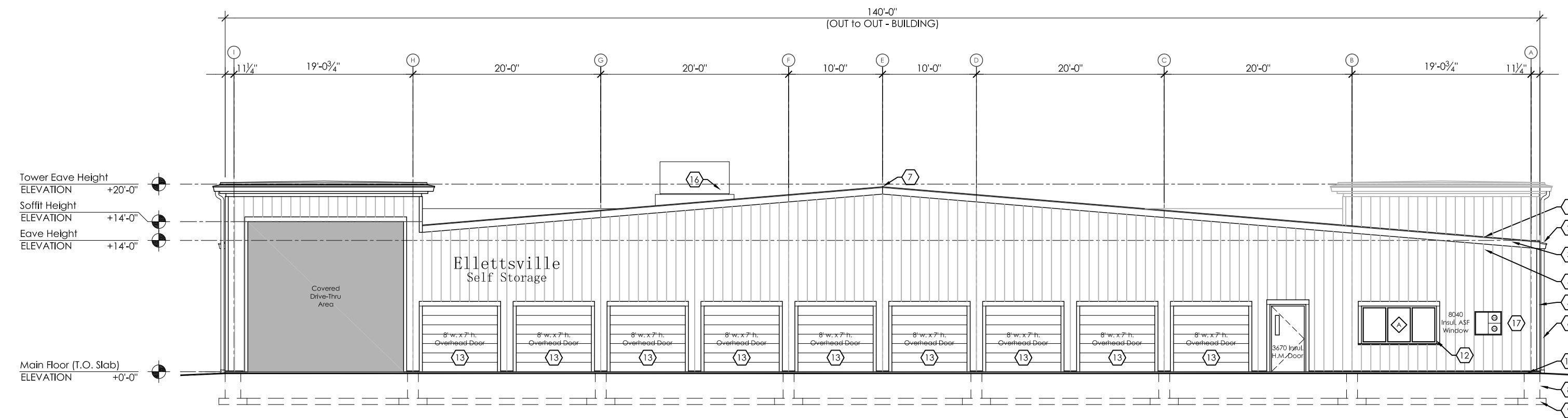
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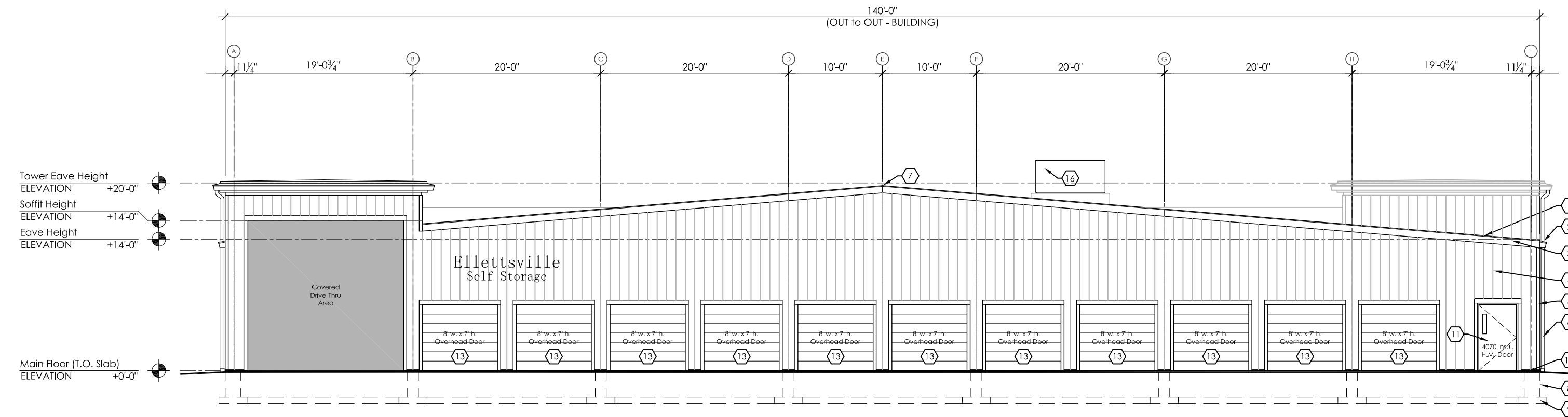
CHECKED BY: MHC

BUILDING ELEVATIONS -
BLDG. 'B'

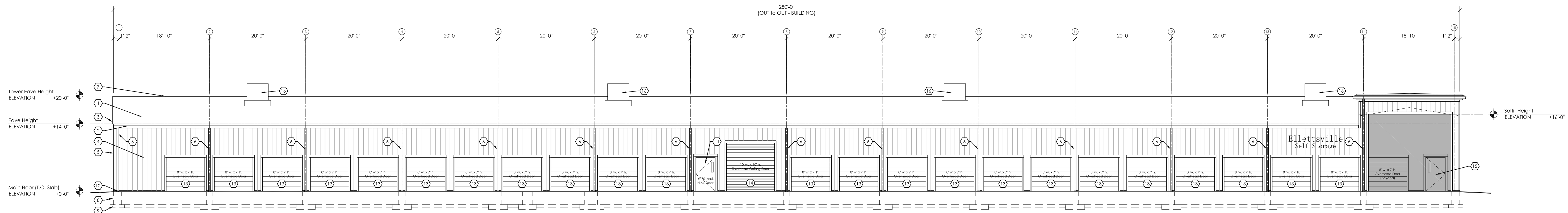
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Proposed (North):
D Building Elevation
Scale: 3/32" = 1'-0"



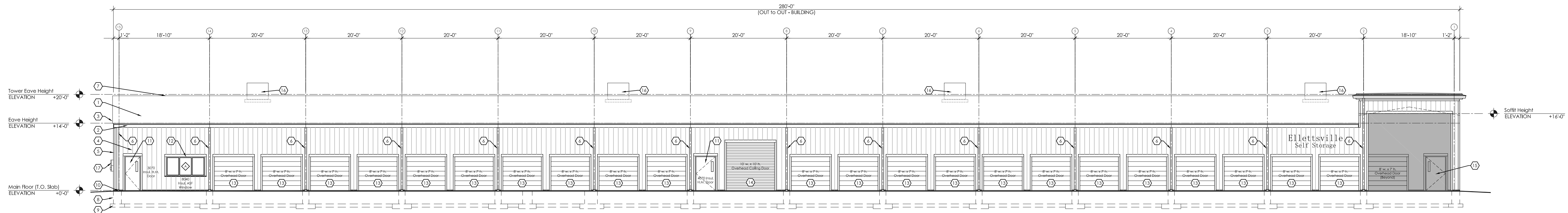
Proposed (South):
C Building Elevation
 Scale: 3/32" = 1'-0"



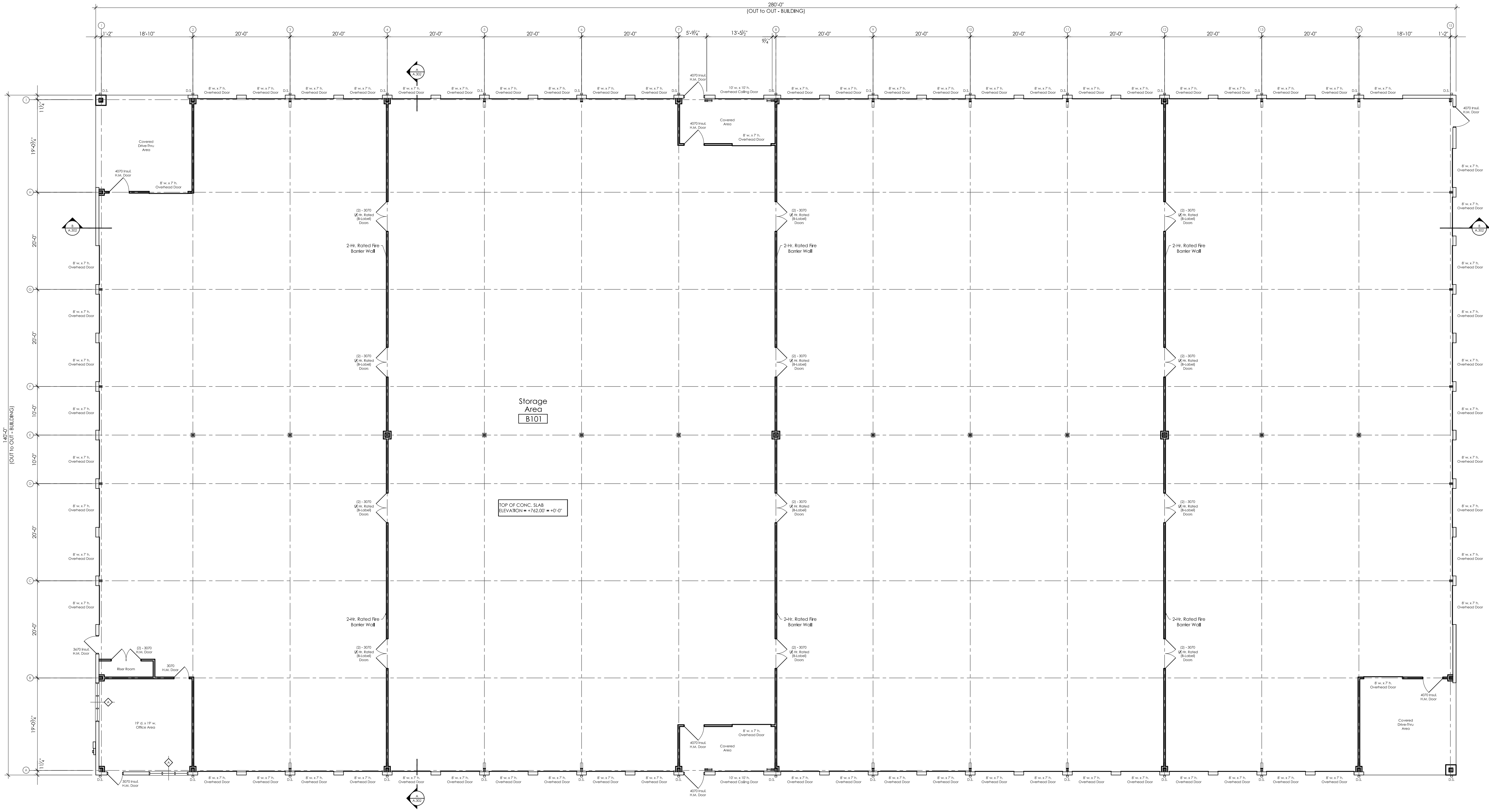
Proposed (East):

B Building Elevation

Scale: 3/32" = 1'-0"



Proposed (West):
A Building Elevation
Scale: 3/32" = 1'-0"



Total Floor Area Bldg. 'B': 39,200 s.f.

Proposed:

A Overall First Floor Plan - Bldg. 'B'

Scale: 3/32" = 1'-0"

GENERAL PLAN NOTES:

- A. GENERAL CONTRACTOR TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PERFORMING WORK.
- B. COORDINATE WORK OF OTHER TRADES WITH YOUR TRADE PRIOR TO STARTING ANY CONSTRUCTION.
- C. REFERENCE SPECIFICATIONS TOGETHER WITH DRAWINGS FOR COMPLETE CONSTRUCTION INFORMATION.
- D. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE OF MASONRY OR CENTERLINE OF COLUMN (UNLESS OTHERWISE NOTED).
- E. REFERENCE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS (UNLESS OTHERWISE NOTED).
- F. PROVIDE BLOCKING (AS REQUIRED) AT ALL CABINETS, TOILET ACCESSORIES, CLOSET RODS, SHELVES, ETC...
- G. PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND SHOWER ENCLOSURES (TYPICAL).

FLOOR PLAN NOTES:

Office: 361 SF
Entry Points: 400 SF
Loading Dock Entry Points: 800 SF
Exterior Storage @ Perimeter: 11,675 SF
Interior Storage Area (including Hallways): 25,964 SF
Total Floor Area: 39,200 SF

Exterior Storage Units: 70 +/-
Interior Storage Units: 160 +/-

mca MARC CORNETT ARCHITECTS

CERTIFIED

REVISIONS

PROPOSED:
ELLETSVILLE SELF-STORAGE
5050 W. STATE ROAD 46
BLOOMINGTON INDIANA

PROJECT NO.: 2020-09
DATE: 10.22.20
DRAWN BY:
CHECKED BY: MHC

OVERALL FIRST FLOOR
PLAN - BLDG. 'B'

A.102



Town of Ellettsville

Department of Planning & Development

To: Ellettsville Plan Commission

From: Kevin Tolloty, Director of Planning

Date: October 29, 2020

Subject: Text Amendments

There are five text amendments to be considered for recommendation by the Plan Commission. The primary driver for the text amendments is to update the fee schedule, and the remaining amendments are generally minor corrections.

1. **§ 152.363 Fee Schedule Updates.** There were several factors in bringing this forward at this time:
 - a. Most of the BZA and PC filing fees are being increased by \$50 (a few are more than that, see 'b') to cover the Town's cost of directly publishing the legal notice and notifying adjacent property owners. The department budget has already been approved to cover these costs, and this revision will serve to reimburse the Town for those fees which currently fall onto the petitioner.
 - b. Several filing fees did correlate not to the time involved, most notably development plans and PUD's. These fees have been increased to account for Staff time and are still in line with similar fees from neighboring jurisdictions.
 - c. It was also recently discovered that the previous building code contained additional fees for building without a permit that was omitted in the new building code. That fee has been added to the schedule.
 - d. Last, residential solar installation has been added. Currently it has been treated under electrical, so the fee will essentially remain the same, but now will be clearly identified.
2. **§ 152.061 Special Exceptions, Residential Districts.** Accessory dwelling units would be added as a special exception in residential districts. This is something that will need to be further addressed in the future, but for the time being, there is no clear path on how these can be requested. This addition will allow the BZA jurisdiction to review any such request.
3. **§ 152.068 Blight and Public Nuisance, Abandoned Vehicles.** A portion of section (b) falls under the definition of an abandoned vehicle which is addressed in Section 152.062, and has a different timeframe for remediation. Removal of this portion of 152.068 will eliminate any conflicts.

4. **§ 152.265 Sign Permit Approval Process.** Revisions to this section are to clarify for both Staff and applicants how the review period is defined. No changes to the process are proposed.
5. **§ 153.074 Extension of Streets, Cul-de-sac Size.** Currently cul-de-sacs in this section are required to have an 80-foot radius, which should probably be 80-foot diameter. In order to prevent any further confusion, the size now references Section 153.079 and 153.081 which already, correctly, define cul-de-sac sizes.

Staff is asking for a favorable recommendation to Town Council on these amendments in order to remove conflicts from our zoning ordinance and to make sure our fee schedule is up to date.

Add

Delete

§ 152.061 PERMITTED USES BY SPECIAL EXCEPTION.

Home occupations not allowed by right, **accessory dwelling units**, bed and breakfasts, antique shops, art galleries, recreational complexes on five acres or more with sufficient evergreen and tree buffers and neighborhood serving stores of less than 3,000 square feet.

§ 152.068 BLIGHT AND PUBLIC NUISANCE.

Purpose. The parking, storing or maintaining of any one or more of the following items in the front, side or rear yard areas of any property zoned or used for residential uses constitutes property blight:

- (A) Any airplane or other aircraft, or any parts thereof;
- (B) Any motor vehicle that has been wrecked, dismantled or disassembled, or any part thereof, ~~or any motor vehicle that is disabled or may not be operated for a period of time in excess of 14 days;~~

§ 152.265 PERMITS AND APPROVAL PROCESS.

- (B) Approval process.

(4) Complete application. Within ten **(10)** business days of the submission of an application for a sign permit, the Director of Planning or designee shall determine whether the application is complete ~~and in compliance with the requirements of the Sign Code~~. Complete applications shall be processed in accordance with this section of the Sign Code. The Director of Planning or designee will ~~attempt to provide~~ **notify** the applicant of ~~an incomplete application with a written description of the application's deficiencies~~ within the ten-day review period. Incomplete applications will not be processed.

(6) Review and action. Upon the ~~submission~~ **verification** of a complete application, the Director of Planning or designee shall process the application within **fifteen** (15) working days. The Director of Planning or designee shall either issue the permanent or temporary sign permit or notify the applicant in writing of his or her denial and reasons thereof, according to the procedures outlined in this subsection. **Revised applications shall be reviewed within ten (10) days of receipt of all revised documents.**

§ 153.074 EXTENSION OF STREETS.

In order to provide for future development of adjacent land, and as required by the Plan Commission, the following shall apply.

(C) Cul-de-sacs. Except for streets approved for future extension into adjacent developable territory, the closed end of a dead-end street shall be provided with a cul-de-sac ~~for vehicle turnaround with an 80-foot radius~~ **in accordance with Sections 153.079 and 153.081 of this chapter.**

§ 152.363 Fee Schedule

The fee schedule for the Town of Ellettsville is as shown in the following table.

Residential Site Location/Building Permits		Rate	Minimum Charge
New Construction - 1 & 2 Family Dwellings		\$ 0.18/sf	\$250.00
New Construction - Multi-Family (Apartments/Townhomes/Condos)		\$ 0.18/sf	\$150/unit
Additions		\$ 0.15/sf	\$100.00
Remodeling		\$ 0.15/sf	\$100.00
Decks & Porches		\$ 0.10/sf	\$75.00
Electric Service			
	Solar Installation*	\$50.00	
	Service < 400 Amp	\$50.00	
	Service > 400 Amp & 3 Phase	\$75.00	
Accessory Structures		\$ 0.15/sf	\$75.00
Swimming Pools			
	Above Ground	\$50.00	n/a
	In Ground	\$100.00	n/a
Mechanical (HVAC)		\$75.00	n/a
Plumbing		\$75.00	n/a
Structural		\$75.00	n/a
Demolition		\$50.00	n/a
Re-Inspection		\$50.00	n/a
Permit Renewal		50% Original Permit	
Certificate of Occupancy		\$100.00	
Begin Construction Without Permit		3x Permit Fee	
Miscellaneous Structures		\$50.00	n/a

Non-Residential Site Location/Building Permits		Rate	Minimum Charge
New Construction (Up to 10,000 square feet)		.23/sf	\$400.00
New Construction (Over 10,000 square feet)		\$2,300.00	+ \$0.20 per sf over 10,000
Additions		.20/sf	\$100.00
Remodeling		.20/sf	\$100.00
Decks & Porches		.18/sf	\$100.00
Agricultural Building		\$50.00	n/a
Accessory Structures		.20/sf	\$100.00
Electric Service			
	Service < 400 Amp	\$75.00	n/a

	Service > 400 Amp & 3 Phase	\$100.00	n/a
	Solar Installation*	\$50 \$100	n/a
	Swimming Pools	\$150.00	n/a
	Storage Tanks	\$150.00	n/a
	Commercial Range Hood		
	Class 1	\$100.00	n/a
	Class 2	\$75.00	n/a
	Alteration/Repair	\$50.00	n/a
	Sprinkler System	\$100.00	n/a
	Towers (communication, other)	\$150.00	n/a
	Demolition	\$100.00	n/a
	Miscellaneous Structures	\$50.00	n/a
	Re-Inspection	\$50.00	n/a
	Certificate of Occupancy	\$100.00	
	Begin Construction Without Permit	3x Permit Fee	
	Permit Renewal	50% Original Permit	

***Freestanding solar displays may require accessory structure permit**

Board of Zoning Appeals		Filing Fee	
Appeals		\$100	\$250
Conditional Use/Special Exception		\$150	\$200
Development Standards Variance		\$300	
Use Variance		\$300	\$400
Plan Commission			
Development Plans		\$150	\$300 + \$100/acre, \$400 minimum
Planned Unit Development		\$375	\$500 + Development Plan Fee
Subdivision Plat - Preliminary		\$175	\$250 + \$25 per lot
Subdivision Plat - Final		\$75	\$150 + \$10 per lot
WCF Site Plan		\$200	\$250
Zoning Map Amendment		\$200	\$250
All Other Petitions Not Listed		\$100	\$200
Miscellaneous Permits			
Driveway Permit		\$25	
Grading Permit		\$100	per acre, \$500 maximum
Signs			
	Permanent	\$50	+ \$1.00 per square foot
	Temporary	\$40	per thirty (30) day period
Floodplain Development Permit		\$50	\$100

ORDINANCE 2020-_____

**TO AMEND VARIOUS SECTIONS IN CHAPTERS 152
AND 153 OF THE ELLETTSVILLE TOWN CODE**

BE IT ORDAINED AND ADOPTED by the Town Council of Ellettsville, Indiana:

Section 1. The following revisions are hereby made to Sections 152.061, 152.068, 152.265, and 153.074 of the Ellettsville Town Code.

When an existing section of the ordinance is being amended, the text of the existing provision will appear in this style type, additions will appear **in this style type**, and deletions will appear ~~in this style type~~.

§ 152.061 PERMITTED USES BY SPECIAL EXCEPTION.

The following uses require the granting of a special exception by the Board of Zoning Appeals: home occupations not allowed by right, **accessory dwelling units**, bed and breakfasts, antique shops, art galleries, recreational complexes on five acres or more with sufficient evergreen and tree buffers and neighborhood serving stores of less than 3,000 square feet.

§ 152.068 BLIGHT AND PUBLIC NUISANCE.

Purpose. The parking, storing or maintaining of any one or more of the following items in the front, side or rear yard areas of any property zoned or used for residential uses constitutes property blight:

- (A) Any airplane or other aircraft, or any parts thereof;
- (B) Any motor vehicle that has been wrecked, dismantled or disassembled, or any part thereof, ~~or any motor vehicle that is disabled or may not be operated for a period of time in excess of 14 days;~~
- (C) Any household appliances or items, but not limited to, indoor furniture, construction debris in an area visible from a street or public right-of-way or in an area accessible to the public or any part of any of the listed items for 72 consecutive hours in an area visible from a street or public right-of-way or in an area accessible to the public. This section does not prohibit the storing or maintaining of: (i) furniture designed and used for outdoor activities; or (ii) any item stored or kept within an enclosed storage structure or unit in compliance with the Town of Ellettsville Municipal Code;-.

§ 152.265 PERMITS AND APPROVAL PROCESS.

...

(B) *Approval Process.*

...

(4) *Complete application.* Within ten **(10)** business days of the submission of an application for a sign permit, the Director of Planning or designee shall determine whether the application is complete ~~and in compliance with the requirements of the Sign Code.~~ Complete applications shall be processed in accordance with this section of the Sign Code. The Director of Planning or designee will ~~attempt to provide~~ **notify** the applicant of ~~an incomplete application with a written description of the application's~~ deficiencies within the ten-day review period. Incomplete applications will not be processed.

...

(6) *Review and action.* Upon the ~~submission~~ **verification** of a complete application, the Director of Planning or designee shall process the application within **fifteen (15)** working days. The Director of Planning or designee shall either issue the permanent or temporary sign permit or notify the applicant in writing of his or her denial and reasons thereof, according to the procedures outlined in this subsection. **Revised applications shall be reviewed within ten (10) days of receipt of all revised documents.**

§ 153.074 EXTENSION OF STREETS.

In order to provide for future development of adjacent land, and as required by the Plan Commission, the following shall apply.

...

(C) *Cul-de-sacs.* Except for streets approved for future extension into adjacent developable territory, the closed end of a dead-end street shall be provided with a cul-de-sac ~~for vehicle turnaround with an 80-foot radius.~~ **in accordance with Sections 153.079 and 153.081 of this chapter.**

Section 2. This ordinance shall take effect upon final publication as provided by law.

This ordinance was adopted by the Ellettsville Town Council on the ____ day of November, 2020 at the Ellettsville Town Hall, Ellettsville, Indiana.

Voted for:

Voted Against:

Dan Swafford, President

Dan Swafford, President

Scott Oldham, Vice President

Scott Oldham, Vice President

Pamela Samples

Pam Samples

William Ellis

William Ellis

Trevor Sager

Trevor Sager

Attest:

Sandra Hash, Ellettsville Clerk-Treasurer