

**AGENDA
ELLETTSVILLE PLAN COMMISSION
Zoom Meeting
Thursday, January 7, 2021 - 6:00 P.M.**

Pledge of Allegiance

Roll Call

Election of 2021 Officers

Approval of Minutes – Executive Session and Regular Meetings on August 6, 2020, November 5, 2020 and December 3, 2020

Monthly Conflict of Interest Statement

Old Business

New Business

Preliminary and Final Plat Approval for Two Lots in the Hardesty Minor Subdivision located at 5700 W. State Road 46 (3.94 Acres); Petitioner: Gary Hardesty representing the Hardesty Family Trust; Case No. PC 21-01

Preliminary Plat Approval for Forty-seven (47) Lots in the Ellis Ridge Subdivision located at 3888 W. State Road 46 (17.53 Acres); Petitioner: Blackwell Contractors LLC; Case No. PC 21-02

Waiver from Subdivision Regulations for Centennial Park Phase III (38 lots); Petitioner: Centennial Park LLC; Case No. PC 21-03

Planning Department Update

Next Meeting – February 4, 2021

Privilege of the Floor – Non Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

MEETING NOTICE

Thursday, January 7, 2021, at 6:00 p.m.

The Town of Ellettsville Plan Commission will conduct its regularly scheduled meeting on Thursday, January 7, 2021, at 6:00 p.m., local time.

The meeting will be conducted remotely. No Plan Commission members will attend the meeting in person, but will instead attend remotely. The public is invited to attend by remote access. The meeting will be hosted by Zoom.

Topic: Ellettsville Plan Commission Meeting

Time: January 7, 2021, 6:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

Join Zoom Meeting

<https://us02web.zoom.us/j/86232668226?pwd=aVJldlBKLzR1bENqMGV2RnRFaExBUT09>

Meeting ID: 862 3266 8226

Passcode: 332340

One tap mobile

+13017158592,,86232668226#,,,,,0#,,332340# US (Washington D.C)

+13126266799,,86232668226#,,,,,0#,,332340# US (Chicago)

Dial by your location

+1 301 715 8592 US (Washington D.C)

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

Meeting ID: 862 3266 8226

Passcode: 332340

While the public will not be able to attend the meeting in person, public input is still encouraged.

Agendas and meeting packets can be obtained by submitting an email request to:

planning@ellettsville.in.us.

August 6, 2020

The Ellettsville, Indiana, Plan Commission met in Executive Session at 5:00 p.m. on Thursday, August 6, 2020, via Zoom meeting. Members present were Sandra Hash, President; Terry Baker, Vice President; David Drake, Pamela Samples, Dan Swafford and Pat Wesolowski. Don Calvert was absent. Darla Brown, Town Attorney; Kevin Tolloty, Planning Director; and Denise Line, Secretary, were also in attendance.

The Plan Commission discussed information in accordance with:

IC 5-14-1.5-6.1 (b):

- (2) For discussion of strategy with respect to:
 - (B) Initiation of litigation or litigation that is either pending or has been threatened specifically in writing.

No other matters were discussed.

The meeting adjourned at approximately 5:20 p.m.

Sandra Hash, President

Terry Baker, Vice President

Don Calvert

David Drake

Pamela Samples

Dan Swafford

Pat Wesolowski

Denise Line, Secretary

August 6, 2020

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, August 6, 2020, via Zoom meeting. Sandra Hash called the meeting to order at 6:00 p.m. and led the Pledge of Allegiance.

Roll Call: Members participating were: Sandra Hash, President; Terry Baker, Vice President; Don Calvert; David Drake; Pamela Samples; Dan Swafford and Pat Wesolowski. Kevin Tolloty, Planning Director; Denise Line, Secretary; and Darla Brown, Town Attorney; were also present.

Approval of the Minutes

Sandra Hash entertained a motion to approve the minutes for the regular meetings on March 5, 2020, June 11, 2020, and July 9, 2020. David Drake so moved for approval and Pat Wesolowski seconded the motion. Roll call vote: Sandra Hash – yes; Don Calvert – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried. (Although Terry Baker was present for the meeting, he was not present for this vote due to technical difficulties.)

Monthly Conflict of Interest Statement

Old Business

New Business

Final Plat Amendment for Lot 7, 7350 W. State Road 46, in Briarwood Estates Subdivision (.61 Acres); Petitioner: Rajesh Patel; Case No. PC20-10

Kevin Tolloty, Planning Director, requested the petition for a final plat amendment be tabled pending further research. On the original plat for Briarwood Estates, there is a restriction that prohibits a subdivision to create new lots.

Sandra Hash requested a motion to table it to the next Plan Commission meeting. Dan Swafford made a motion to table the final plat amendment for Lot 7, 7350 W. State Road 46, in Briarwood Estates Subdivision, Petitioner Rajesh Patel to the September 3, 2020, Plan Commission meeting. Terry Baker seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; Don Calvert – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Development Plan Approval for a Drive-Thru Coffee Shop, 4910 N. Lakeview Drive (320 ft²); Petitioner: Kymbar Cortese; Case No. PC 20-11

Kevin Tolloty, Planning Director, explained the petition is for a 320 ft² drive-thru coffee shop. It will utilize the former ATM drive-thru lane in front of the self-storage owned by Kevin Farris at 4910 N. Lakeview Drive. Property is zoned Commercial 3. Staff recommends approval of the development plan. Drive-thru lane can hold seven vehicles and traffic can enter off of Lakeview Drive or State Road 46.

Pat Wesolowski asked if there is a walk-up window or outside seating. Mr. Tolloty answered no. Mr. Swafford asked if the parking spaces are for employees. Mr. Tolloty replied yes. Mr. Wesolowski asked the type of structure. Dominic Cortese answered it will be a wood frame on a concrete foundation. Mr. Calvert asked for an estimate of how many cars it would take to backup traffic onto State Road 46. Mr. Tolloty answered seven cars can fit in the drive-thru lane and then it will back up around the lane. However, he doesn't think cars will back up onto State Road 46. Mr. Calvert asked the hours of operation. Mr. Cortese answered 5:30 a.m. to 7:30 p.m. or 8:30 p.m., seven days/week. Mr. Wesolowski asked if they will use the existing driveway off of State Road 46. Mr. Tolloty answered when coming off of State Road 46, people will turn onto a driveway that proceeds past the old mattress shop to the north and then they will proceed toward Lakeview Drive. Mr. Wesolowski asked if it will interfere with the storage business. Mr. Tolloty answered no. Mr. Cortese commented they will hire local employees and purchase pastry and breakfast items from Scholars Inn.

Sandra Hash requested a motion to approve the development plan for the drive-thru coffee shop. David Drake so moved. Dan Swafford seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; Don Calvert – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Planning Department Updates

Plan Commission Comments

Sandra Hash advised the next Plan Commission meeting will be September 3, 2020.

Privilege of the Floor

Adjournment

Sandra Hash entertained a motion to adjourn. Dan Swafford so moved. Pat Wesolowski seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; Don Calvert – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Sandra Hash adjourned the meeting at 6:35 p.m.

Sandra Hash, President

Terry Baker, Vice President

Don Calvert

David Drake

Pamela Samples

Dan Swafford

Pat Wesolowski

Denise Line, Secretary

November 5, 2020

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, November 5, 2020, via Zoom meeting. Sandra Hash called the meeting to order at 6:00 p.m. and led the Pledge of Allegiance.

Roll Call: Members participating were: Sandra Hash, President; Terry Baker, Vice President; Don Calvert (due to technical difficulties, Don Calvert was not present for the remainder of the meeting following roll call); David Drake; Pamela Samples; Dan Swafford and Pat Wesolowski. Kevin Tolloty, Planning Director; Denise Line, Secretary; Rick Coppock, Bynum Fanyo & Associates; and Darla Brown, Town Attorney; were also present.

Approval of the Minutes

Sandra Hash entertained a motion to table the minutes for the regular meeting on August 6, 2020. Pat Wesolowski so moved for approval and David Drake seconded the motion. Roll call vote: Sandra Hash – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried. (Although Terry Baker was present for the meeting, he was not present for this vote due to technical difficulties.)

Monthly Conflict of Interest Statement

Approval of 2020 Meeting Dates

Sandra Hash entertained a motion to approve the 2021 Meeting Dates. Pat Wesolowski so moved for approval and David Drake seconded the motion. Roll call vote: Sandra Hash – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried. (Although Terry Baker was present for the meeting, he was not present for this vote due to technical difficulties.)

Old Business

New Business

Preliminary Plat and Development Plan Approval for an Assisted Living Facility and Self-Storage Units, located at 7405 W. State Road 46 (5 Acres); Petitioner: Autumn Trace Senior Communities; Case No. PC 20-12

Kevin Tolloty, Planning Director, explained this petition is for development plan approval of a 52-bed assisted living facility and storage unit facility. Parcel is zoned Planned Unit Development (“PUD”) and follows Commercial-3 regulations. The eleven criteria for the Plan Commission to consider was reviewed. Two lots will be created by the plat. Mr. Wesolowski asked if there will be a separate driveway for the storage units. Mr. Tolloty answered they will share a driveway. Ms. Hash asked if assisted living meant independent living with small apartments with a cafeteria for meals and recreation.

Jim Gillen, Owner of Autumn Trace, explained assisted living is a modern type residential facility with people leasing their suites and Autumn Trace provides a supportive and full-service environment. Mr. Wesolowski asked if it will be a closed campus. Mr. Gillen answered no, people can come and go as they please. Mr. Wesolowski asked if there will be an elevator. Mr. Gillen answered yes.

Jason Yoder, Tri-Mac Building Services, will be building the storage units and assisted living facility. There will be 92 storage units and 52 two-bedroom units. Mr. Baker asked if there will be storage for RVs and boats. Mr. Yoder answered it will only be indoor storage. Mr. Yoder mentioned there are 50 units and typically 1% of the tenants will drive. So, there will probably be 5 to 8 parking spaces being used. Mr. Gillen explained they’re in a private pay market.

Chelsea Moss, P.E. of Abram-Moss Design Group, LLC, Site Engineer, explained a fire truck cannot make it around the buildings. Being it is a gated community, the fire truck can turn in the parking lot behind the building. Mr. Tolloty advised this was discussed at length during the plan review meeting and the fire department approved the layout of the building and looping through the west parking lot. Ms. Hash asked if the storage unit will be open for only residents of the assisted living. Mr. Gillen answered it will accommodate residents and the public. Ms. Hash what materials will be used to construct the storage units. Mr. Yoder answered wood frame construction with metal siding.

Sandra Hash entertained a motion for the preliminary plat approval of the assisted living facility and self-storage units at 7405 W. State Road 46. David Drake so moved. Dan Swafford seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Sandra Hash entertained a motion for development plan approval of an assisted living facility and self-storage units at 7405 W. State Road 46. David Drake so moved. Pat Wesolowski seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Development Plan Approval for a Self-Storage Facility, 5050 W. State Road 46 (39,200 sf); Petitioner: EDD, LLC; Case No. PC 20-13

Kevin Tolloty, Planning Director, explained the Petitioner is requesting to build a 39,200 ft² storage facility with 27,000 ft² being internally accessed. Parcel is zoned Commerical-3. The eleven criteria for the Plan Commission to consider was reviewed. Facility will be accessed from Seasons Drive. There was a discussion on a portion of the road being on the Fire Department property, opening Seasons Drive to Autumn Ridge and landscaping. Mr. Wesolowski asked how far they will be located from State Road 46. Mr. Tolloty explained the storage units will be located further back on the property because there is room for another building in front of the storage units. Mr. Swafford asked if it will be subdivided. Mr. Tolloty answered no, it is a 10-acre parcel. There is room for future phases further north. Mr. Wesolowski is concerned with the distance from State Road 46. Is there a stipulation requiring them to be a certain distance from State Road 46? Mr. Tolloty replied it will be possible for the out-lot to meet the required setbacks.

Rick Coppock, Bynum Fanyo & Associates, Town Engineer, advised there are not definitive out lots. It's approximately 125' from the edge of the building from the right-of-way. One of the reasons there is not any landscaping along Seasons Drive is because they don't know what will go in the other phases of the project. Landscaping will be added as the project progresses. Mr. Swafford asked about finishing Seasons Drive and opening that connection. Mr. Coppock answered the plan is to open Seasons Drive. Mr. Coppock replied the curbs and stone are in. The plan is to complete Seasons Drive in this or the next phase.

Jeff Fanyo, Bynum Fanyo & Associates, representing the Petitioner, mentioned they will complete Seasons Drive in the future. There is 140' from the corner of the storage lot to the right-of-way line. The owner needs to have the building built and occupied by April 1, 2021. Within the next month or two they will return to the Plan Commission for future phases. It will have a wrought iron fence south and west and to the east and north will have a chain link fence. There will be a retaining wall to address erosion concerns for the neighbor to the east. Mr. Swafford asked how erosion to the north will be addressed. Mr. Fanyo answered they haven't addressed it but to the east is the worst part of the erosion. He explained in detail how they will address the erosion. Ms. Hash asked if it will be a wood frame building.

Marc Cornett, AIA, Architect for the Project, answered it will be an engineered steel building. Ms. Hash asked if there will be any features to the building for street appeal. Mr. Fanyo answered there will be a visible tower on the building. Mr. Cornett answered the color of the building is brown and the doors are dark orange and they've been discussing landscaping along the fence. Mr. Wesolowski asked how many units there will be. Mr. Cornett answered the long sides have 23 doors and the short sides have 11 doors. There will be interior storage system with climate control and accessible aisles. There will be six entry points. Users will dictate the square footage of the units. Perimeter will be paved. There will be onsite management. Mr. Wesolowski asked about the drainage. Mr. Coppock answered they stayed with the same drainage scheme as the original approved plan for the church. Mr. Swafford is concerned about the road. Will a finish coat be put on the road to the storage facilities? Mr. Fanyo explained it is their intention to finish the road to the entry drive. When they get to the next phase, they will finish the next portion as the construction is completed to the area north of the building. They will complete the sidewalks and curb. They will require a right-of-entry from the Town to get on the Fire Department's property to finish that portion of that road. Mr. Swafford asked when they will return for the second phase. Mr. Fanyo answered over the next couple of months.

Bill Holdeman, Autumn Ridge HOA, advised several residents have expressed concern over the road being open. Their choice would be for the road to remain closed. They would like to see the trees to the north remain intact. The tree line will provide screening from the orange roofs of the building. Mr. Coppock explained the plans are for the tree line to remain intact and they will add additional pine trees.

Terry Baker asked if RVs or boats will be stored at the facility. Mr. Fanyo answered no, there is not room to store that type of product. Mr. Wesolowski asked if there will be noise due to the climate controlled storage. Mr. Cornett answered no.

Sandra Hash entertained a motion for development plan approval of the self-storage facility at 5050 W. State Road 46. Dan Swafford so moved. Pat Wesolowski seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Text Amendments; Case No. PC 20-14

Kevin Tolloty, Planning Director, presented five text amendments to address several issues with the fee schedule and clean up language. The proposed changes for fees are as follows: Board of Zoning Appeals and Plan Commission fees will be increased to cover public notice costs; a fine of three times the permit fee for starting construction without a permit; residential solar installation; inspections scheduled outside normal business hours and increased development plan/PUD fees. Mr. Drake would like for a time limit to be imposed for development plans. Proposed language amendments are as follows: Accessory dwelling units would be included as a special exception; abandoned vehicles are included in the public nuisance section and it is addressed in another section with a different time frame for remediation; sign permit approval process timeline will be clarified; and the conflict for required sizes of cul-de-sacs. A favorable recommendation to Town Council was requested.

Sandra Hash entertained a motion to forward a favorable recommendation to Town Council for the changes. David Drake made the motion. Pat Wesolowski seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Planning Department Updates

Plan Commission Comments

Privilege of the Floor

Adjournment

Sandra Hash entertained a motion to adjourn. Terry Baker so moved. Dan Swafford seconded. Roll call vote: Sandra Hash – yes; Terry Baker – yes; David Drake – yes; Pamela Samples – yes; Dan Swafford – yes; and Pat Wesolowski – yes. Motion carried.

Sandra Hash adjourned the meeting at 7:40 p.m.

Sandra Hash, President

Terry Baker, Vice President

Don Calvert

David Drake

Pamela Samples

Dan Swafford

Pat Wesolowski

Denise Line, Secretary



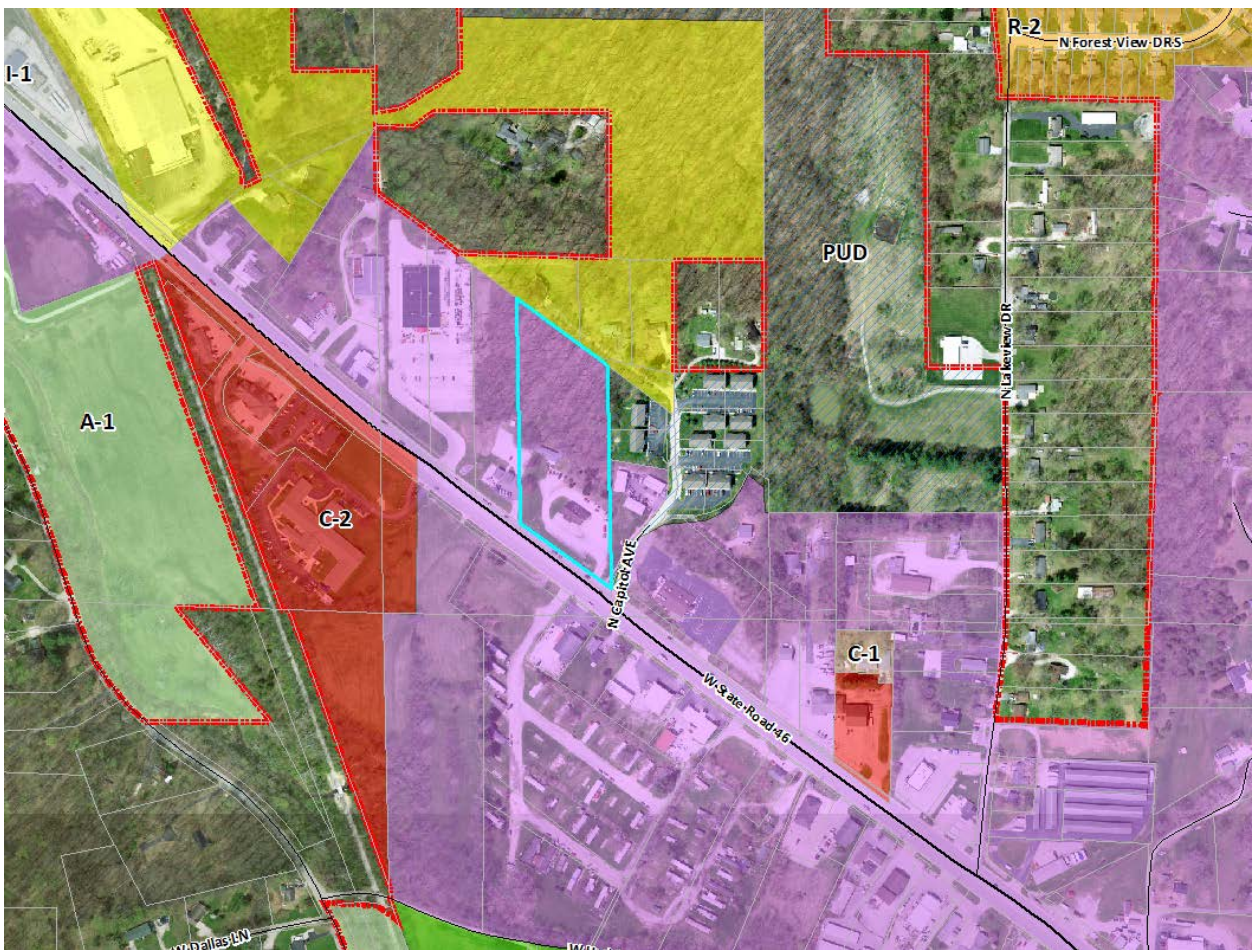
Town of Ellettsville

Department of Planning & Development

PC 21-01– Preliminary/Final Plat Staff Report

Petition

Case - PC 21-01 – Hardesty Minor Subdivision. A request by the Hardesty Family Trust, for consideration of preliminary and final plat for two (2) lots in the Hardesty Minor Subdivision. The subject property is located at 5700 W. State Road 46.



Zoning District	Property Use
North: R-1; Single Family Residential	Undeveloped
South: C-3; General Commercial	Mixed Commercial
East: PUD; Planned Unit Development	Capitol Avenue Apartments
West: C-3; General Commercial	Tractor Supply

Considerations

1. The applicant is requesting primary and secondary plat approval to split a 3.94 acre lot into two (2) smaller lots.
2. Lot 1 will be approximately 3.09 acres in size and will contain the existing insurance sales building.
3. Lot 2 will be approximately 0.85 acres in size and will contain the existing Pizza Pantry building.
4. Both lots are zoned C-3; General Commercial.
5. The lots meet all size and dimensional requirements.
6. Easements for access and utilities have been included as needed.

Plan Commission Action

The Plan Commission action can be in the form of approval, approval with conditions, continuance or denial of the preliminary and final plat. The Plan Commission has the final say in these matters.

Staff Recommendation

It is of Staff opinion that the proposed plat will meet all required zoning and subdivision regulations and there are no concerns with the proposed plat. Staff recommends that the Plan Commission approve the Hardesty Minor Subdivision preliminary and final plat.

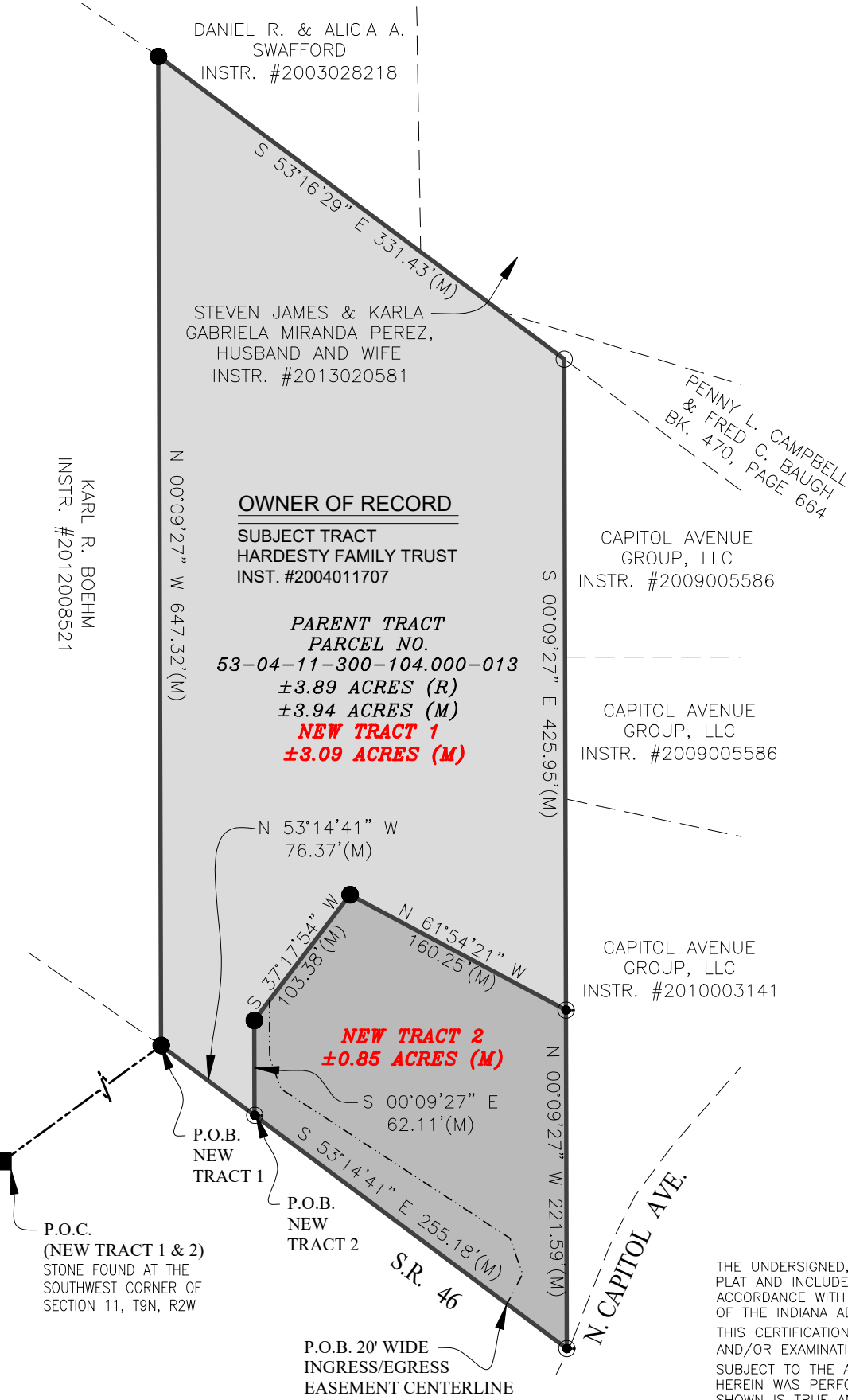
Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
December 18, 2020





FLOOD STATEMENT

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA AS SHOWN BY THE FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL #18105C0126D, DATED DECEMBER 17, 2010.



HARDESTY MINOR SUBDIVISION PLAT

A PART OF THE SOUTHWEST QUARTER OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST OF THE SECOND PRINCIPAL MERIDIAN, RICHLAND TOWNSHIP, MONROE COUNTY, INDIANA
PARCEL NO. 53-04-11-300-104.000-013

NOTES

- THIS SURVEY PLAT INCOMPLETE WITHOUT THE ASSOCIATED SURVEYOR'S REPORT
- ALL DIMENSIONS SHOWN ARE MEASURED UNLESS OTHERWISE NOTED
- OWNERSHIP PER MONROE COUNTY TAX MAPS MAINTAINED IN THE MONROE COUNTY COURTHOUSE, AS OF OCTOBER 2020
- FIELDWORK COMPLETED ON 10-27-2020

SURVEYED DESCRIPTION (NEW TRACT 1)

PART OF THE SOUTHWEST QUARTER OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST, IN MONROE COUNTY, INDIANA, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING FROM A STONE FOUND AT THE SOUTHWEST CORNER OF SECTION 11; THENCE NORTH 53 DEGREES 48 MINUTES 18 SECONDS EAST, A DISTANCE OF 492.11 FEET TO A REBAR WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE PARENT TRACT AND THE TRUE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 09 MINUTES 27 SECONDS WEST, A DISTANCE OF 647.32 FEET TO A REBAR WITH CAP FOUND; THENCE SOUTH 53 DEGREES 16 MINUTES 29 SECONDS EAST, A DISTANCE OF 331.43 FEET TO A PINCHED PIPE FOUND; THENCE SOUTH 00 DEGREES 09 MINUTES 27 SECONDS EAST, A DISTANCE OF 425.95 FEET TO A 5/8" IRON REBAR WITH CAP INSCRIBED "S.P. RECTOR LS21000239" (AND HEREINAFTER REFERRED TO AS AN "IRON MONUMENT") SET; THENCE NORTH 61 DEGREES 54 MINUTES 21 SECONDS WEST, A DISTANCE OF 160.25 FEET TO A REBAR WITH CAP FOUND; THENCE SOUTH 37 DEGREES 17 MINUTES 54 SECONDS WEST, A DISTANCE OF 103.38 FEET TO A REBAR WITH CAP FOUND; THENCE SOUTH 00 DEGREES 09 MINUTES 27 SECONDS EAST, A DISTANCE OF 62.11 FEET TO AND IRON MONUMENT SET; THENCE NORTH 53 DEGREES 14 MINUTES 41" EAST, A DISTANCE OF 76.37 FEET TO THE PLACE OF BEGINNING, CONTAINING 3.09 ACRES, MORE OR LESS.

SUBJECT TO A TWENTY (20) FOOT WIDE INGRESS/EGRESS EASEMENT BEING CENTERED 10 FEET LEFT AND RIGHT OF THE FOLLOWING CENTERLINE:

COMMENCING FROM A STONE FOUND AT THE SOUTHWEST CORNER OF SECTION 11; THENCE NORTH 53 DEGREES 48 MINUTES 18 SECONDS EAST, A DISTANCE OF 492.11 FEET TO A REBAR WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE PARENT TRACT; THENCE SOUTH 53 DEGREES 14 MINUTES 41" EAST, A DISTANCE OF 282.64 FEET TO THE TRUE POINT OF BEGINNING OF SAID EASEMENT CENTERLINE; NORTH 27 DEGREES 26 MINUTES 52 SECONDS EAST, A DISTANCE OF 22.03 FEET; THENCE NORTH 19 DEGREES 22 MINUTES 13 SECONDS WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 56 DEGREES 52 MINUTES 03 SECONDS WEST, A DISTANCE OF 179.09 FEET; THENCE NORTH 19 DEGREES 28 MINUTES 27 SECONDS WEST, A DISTANCE OF 21.99 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 26 SECONDS WEST, A DISTANCE OF 37.08 FEET TO THE END OF SAID INGRESS/EGRESS EASEMENT.

SURVEYED DESCRIPTION (NEW TRACT 2)

PART OF THE SOUTHWEST QUARTER OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST, IN MONROE COUNTY, INDIANA, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING FROM A STONE FOUND AT THE SOUTHWEST CORNER OF SECTION 11; THENCE NORTH 53 DEGREES 48 MINUTES 18 SECONDS EAST, A DISTANCE OF 492.11 FEET TO A REBAR WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE PARENT TRACT; THENCE SOUTH 53 DEGREES 14 MINUTES 41" EAST, A DISTANCE OF 76.37 FEET TO A 5/8" IRON REBAR WITH CAP INSCRIBED "S.P. RECTOR LS21000239" (AND HEREINAFTER REFERRED TO AS AN "IRON MONUMENT") SET AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 53 DEGREES 14 MINUTES 41 SECONDS EAST, A DISTANCE OF 255.18 FEET TO AN IRON MONUMENT SET; THENCE NORTH 00 DEGREES 09 MINUTES 27 SECONDS WEST, A DISTANCE OF 221.59 FEET TO AN IRON MONUMENT SET; THENCE NORTH 61 DEGREES 54 MINUTES 21 SECONDS WEST, A DISTANCE OF 160.25 FEET TO A REBAR WITH CAP FOUND; THENCE SOUTH 37 DEGREES 17 MINUTES 54 SECONDS WEST, A DISTANCE OF 103.38 FEET TO A REBAR WITH CAP FOUND; THENCE SOUTH 00 DEGREES 09 MINUTES 27 SECONDS EAST, A DISTANCE OF 62.11 FEET TO THE PLACE OF BEGINNING, CONTAINING 0.85 ACRES, MORE OR LESS.

ALSO, A TWENTY (20) FOOT WIDE INGRESS/EGRESS EASEMENT BEING CENTERED 10 FEET LEFT AND RIGHT OF THE FOLLOWING CENTERLINE:

COMMENCING FROM A STONE FOUND AT THE SOUTHWEST CORNER OF SECTION 11; THENCE NORTH 53 DEGREES 48 MINUTES 18 SECONDS EAST, A DISTANCE OF 492.11 FEET TO A REBAR WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE PARENT TRACT; THENCE SOUTH 53 DEGREES 14 MINUTES 41" EAST, A DISTANCE OF 282.64 FEET TO THE TRUE POINT OF BEGINNING OF SAID EASEMENT CENTERLINE; NORTH 27 DEGREES 26 MINUTES 52 SECONDS EAST, A DISTANCE OF 22.03 FEET; THENCE NORTH 19 DEGREES 22 MINUTES 13 SECONDS WEST, A DISTANCE OF 24.77 FEET; THENCE NORTH 56 DEGREES 52 MINUTES 03 SECONDS WEST, A DISTANCE OF 179.09 FEET; THENCE NORTH 19 DEGREES 28 MINUTES 27 SECONDS WEST, A DISTANCE OF 21.99 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 26 SECONDS WEST, A DISTANCE OF 37.08 FEET TO THE END OF SAID INGRESS/EGRESS EASEMENT.

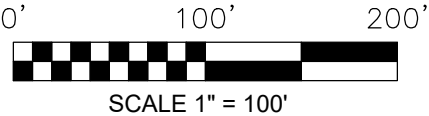
THE UNDERSIGNED, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF INDIANA, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT AND INCLUDED LEGAL DESCRIPTIONS WERE PREPARED UNDER HIS DIRECT SUPERVISION, AND WAS EXECUTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INDIANA SURVEY STANDARDS AS DEFINED IN TITLE 865, ARTICLE 1, RULE 12 OF THE INDIANA ADMINISTRATIVE CODE.
THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE AND CORRECT TITLE SEARCH AND/OR EXAMINATION MIGHT DISCLOSE.
SUBJECT TO THE ABOVE RESERVATION, I HEREBY CERTIFY THAT THE SURVEY WORK PERFORMED ON THE PROJECT SHOWN HEREIN WAS PERFORMED EITHER BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND THAT ALL INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LEGEND

- 5/8" REBAR W/CAP INSCRIBED "S.P. RECTOR LS21000239" (SET)
- PIPE (FOUND)
- REBAR W/CAP (FOUND)
- STONE (FOUND)
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- (M) - MEASURED DIMENSION
- (R) - RECORD DIMENSION
- SUBJECT TRACT LINE
- COMMENCING CALL
- 20' EASEMENT CENTERLINE
- ADJOINING TRACT LINE
- NEW TRACT 1
- NEW TRACT 2



BEARINGS ARE BASED ON INDIANA STATE PLANE COORDINATES (WEST ZONE, NAD83, US FEET)



Kimberly Sue Richardson & Ron L. Hardesty, Co-Trustees of the Hardesty Family Trust, owners of the real estate shown and described herein, do hereby certify, lay off and plat Tracts numbered One (1) and Two (2).

In accordance with this plat and certificate, this plat shall be known as Hardesty Minor Subdivision Plat.

Witness our hands and seal this ___ day of _____, 2020.

Kimberly Sue Richardson

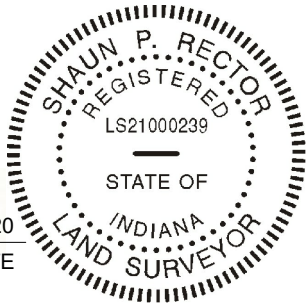
Ron L. Hardesty

Notary Public (Signature)

Notary Public (Printed Name)

My Commission Expires: _____

My County of Residence: _____



SHAUN P. RECTOR
INDIANA PS NO. 21000239
12/16/2020
DATE

I AFFIRM UNDER PENALTIES OF PERJURY THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

DRAWN BY: KDF
CHECKED BY: SPR
DATE: 10/14-2020
SCALE: 1" = 100'
JOB NO.: JP093020HARD



TRICO Surveying & Mapping, Inc.

441 West Gourley Pike, Bloomington, In 47404

Phone: 812-330-7030 Fax: 812-330-7035 Web: www.tricosurveying.com

HARDESTY MINOR SUBDIVISION PLAT
RON HARDESTY

PART OF SECTION 11, TOWNSHIP 9 NORTH, RANGE 2 WEST, RICHLAND TOWNSHIP, MONROE COUNTY, INDIANA

RECORD DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST, IN MONROE COUNTY, INDIANA, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT THE INTERSECTION OF THE WEST SECTION LINE OF SAID SECTION ELEVEN (11) AND THE NORTH LINE OF THE RIGHT-OF-WAY OF STATE ROAD NUMBER 46, SAID POINT OF INTERSECTION BEING ESTABLISHED BY A MARKER OF THE STATE HIGHWAY COMMISSION, THENCE SOUTH FIFTY-FIVE (55) DEGREES EAST ALONG AND WITH SAID NORTH LINE OF SAID RIGHT-OF-WAY FOUR HUNDRED AND NINETY-EIGHT (498) FEET TO THE PLACE OF BEGINNING; THENCE NORTH TWO (02) DEGREES WEST AND PARALLEL WITH SAID WEST LINE OF SAID SECTION ELEVEN (11), SIX HUNDRED SIXTY (660) FEET TO A POINT; THENCE SOUTH FIFTY-FIVE (55) DEGREES EAST THREE HUNDRED THIRTY-TWO (332) FEET TO A POINT; THENCE SOUTH TWO (02) DEGREES EAST AND PARALLEL WITH SAID WEST LINE OF SAID SECTION ELEVEN (11), SIX HUNDRED SIXTY (660) FEET TO A POINT IN THE NORTH LINE OF THE RIGHT-OF-WAY OF STATE ROAD NO. 46; THENCE NORTH FIFTY-FIVE (55) DEGREES WEST ALONG AND WITH SAID NORTH LINE OF SAID RIGHT-OF-WAY THREE HUNDRED THIRTY-TWO (332) FEET TO THE PLACE OF BEGINNING; CONTAINING FOUR (4) ACRES, MORE OR LESS.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE CONVEYED TO THE STATE OF INDIANA UNDER AGREED JUDGMENT AND FINDING IN CAUSE NO. 53C06-9711-CP-01593, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

A PART OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 9 NORTH, RANGE 2 WEST, MONROE COUNTY, INDIANA DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE NORTH 1 DEGREE 52 MINUTES 01 SECOND WEST 581.28 FEET ALONG THE WEST LINE OF SAID SECTION TO THE NORTHEASTERN BOUNDARY OF S.R. 46, WHICH BOUNDARY IS 50.00 FEET NORTHEAST OF AND PARALLEL WITH THE CENTERLINE OF SAID S.R. 46; THENCE ALONG THE BOUNDARY OF SAID S.R. 46 SOUTHEASTERLY 471.07 FEET ALONG AN ARC TO THE LEFT AND HAVING A RADIUS OF 11,409.16 FEET AND SUBTENDED BY A LONG CHORD HAVING A BEARING OF SOUTH 53 DEGREES 46 MINUTES 18 SECONDS EAST AND A LENGTH OF 471.03 FEET; THENCE SOUTH 54 DEGREES 57 MINUTES 16 SECONDS EAST 33.80 FEET ALONG THE BOUNDARY OF SAID S.R. 46 TO THE WEST LINE OF THE OWNER'S LAND AND THE POINT OF BEGINNING OF THIS DESCRIPTION: THENCE NORTH 1 DEGREE 52 MINUTES 01 SECOND WEST 18.76 FEET ALONG SAID WEST LINE; THENCE SOUTH 54 DEGREES 57 MINUTES 16 SECONDS EAST 331.62 FEET TO THE EAST LINE OF THE OWNER'S LAND; THENCE SOUTH 1 DEGREE 52 MINUTES 01 SECOND EAST 18.76 FEET ALONG SAID EAST LINE TO THE NORTHEASTERLY BOUNDARY OF SAID S.R. 46; THENCE NORTH 54 DEGREES 57 MINUTES 16 SECONDS WEST 331.62 FEET (332 FEET BY DEED RECORD 414, PAGE 96) ALONG THE BOUNDARY OF SAID S.R. 46 TO THE POINT OF BEGINNING AND CONTAINING 0.114 ACRES, MORE OR LESS.

SURVEYOR'S REPORT

SCOPE OF PROJECT: THIS RETRACEMENT AND SUBDIVISION SURVEY WAS REQUESTED BY RON HARDESTY TO IDENTIFY THE BOUNDARIES OF HIS PROPERTY AND SPLIT APPROXIMATELY 0.9 ACRES INCLUDING THE RESTAURANT FROM THE REMAINDER OF THE PROPERTY.

IN ACCORDANCE WITH INDIANA SURVEY STANDARDS AS DEFINED IN THE INDIANA ADMINISTRATIVE CODE (865 IAC 1-12 "RULE 12"), THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES IN THE LOCATIONS OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS A RESULT OF:

- A.) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS
- B.) EXISTING DEEDS AND PLATS OF RECORD
- C.) OCCUPATION OR POSSESSION LINES
- D.) THEORY OF LOCATION
- E.) THE RELATIVE POSITIONAL ACCURACY OF MEASUREMENTS

THERE MAY BE UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES.

A.) REBAR WERE FOUND MARKING THE SOUTHWEST AND NORTHWEST CORNERS OF THE SUBJECT TRACT. THE NORTHEAST CORNER OF THE SUBJECT TRACT WAS MARKED BY A PINCHED PIPE. A STONE WAS FOUND MARKING THE SOUTHWEST CORNER OF SECTION 11.

B.) THE MOST CURRENT DEED FOR THE SUBJECT TRACT CAN BE FOUND ON FILE IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA, AND IS DESCRIBED IN INSTRUMENT NUMBER 2004011707.

C.) THE SUBJECT TRACT LIES WITHIN MATURE WOODS ON THE NORTH AND AN OPEN TOWN LOT ON THE SOUTH. EVIDENCE OF A FENCE LINE RUNS ALONG THE NORTHERN BOUNDARY LINE. THE SUBJECT TRACT IS BOUNDED ON THE SOUTH BY STATE ROAD 46 AND ITS RIGHT OF WAY.

D.) THE WEST AND NORTH LINES OF THE SUBJECT TRACT WERE DETERMINED BY HOLDING THE REBAR AT THE SOUTHWEST AND NORTHWEST CORNERS OF THE SUBJECT TRACT, AND HOLDING THE PINCHED PIPE FOUND AT THE NORTHEAST CORNER OF THE SUBJECT TRACT. THE SOUTHEAST CORNER OF THE SUBJECT TRACT WAS DETERMINED BY CREATING A LINE PARALLEL TO THE WEST LINE OF THE SUBJECT (AS THE EAST AND WEST LINES ARE DEFINED AS BEING PARALLEL IN SUBJECT TRACT DEED) AND COMPARING THAT WITH THE PLOTTED EXCEPTION TO THE SUBJECT TRACT FOR THE EXPANSION OF THE RIGHT OF WAY FOR STATE ROAD 46. THE RECORD DESCRIPTION FOR THE EXCEPTION WAS ROTATED TO MATCH THE FOUND MONUMENTS. THE CREATED EAST LINE MATCHED THE ROTATED DESCRIPTION OF THE EXCEPTION WITHIN TOLERANCE, AND THE NORTHEAST CORNER OF THE ROTATED EXCEPTION DESCRIPTION WAS HELD AS THE SOUTHEAST CORNER OF THE SUBJECT TRACT.

E.) THE RELATIVE POSITIONAL ACCURACY OF THE LINES AND CORNERS OF THIS SURVEY DUE TO MEASUREMENTS ARE WITHIN THE SPECIFICATIONS FOR A SUBURBAN SURVEY, WHICH IS A MAXIMUM OF 0.13 FEET (40 MILLIMETERS) PLUS 100 PARTS PER MILLION.

SURVEY DATA UTILIZED FROM THE FOLLOWING SOURCES:

COPIES OF THE SURVEYS, PLATS, AND INFORMATION REFERENCED EITHER IN THIS REPORT OR ON THE ATTACHED PLAT, WERE OBTAINED FROM FILES AND INFORMATION AT

THE FOLLOWING OFFICES:

MONROE COUNTY RECORDER'S OFFICE, MONROE COUNTY SURVEYOR'S OFFICE, AND MONROE COUNTY GIS

These parcels were created through the Minor Subdivision procedure and approved by the Ellettsville Plan Commission on

(date).

Denise Line, Secretary
Ellettsville Plan Commission

Terry Baker, President
Ellettsville Plan Commission

These parcels were created through the Minor Subdivision procedure and approved by the Ellettsville Town Council on

(date).

Sandra C. Hash, Clerk-Treasurer
Ellettsville Town Council

Dan Swafford, President
Ellettsville Town Council

THE UNDERSIGNED, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF INDIANA, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT AND INCLUDED LEGAL DESCRIPTIONS WERE PREPARED UNDER HIS DIRECT SUPERVISION, AND WAS EXECUTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INDIANA SURVEY STANDARDS AS DEFINED IN TITLE 865, ARTICLE 1, RULE 12 OF THE INDIANA ADMINISTRATIVE CODE.

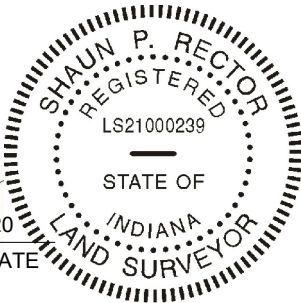
THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE AND CORRECT TITLE SEARCH AND/OR EXAMINATION MIGHT DISCLOSE.

SUBJECT TO THE ABOVE RESERVATION, I HEREBY CERTIFY THAT THE SURVEY WORK PERFORMED ON THE PROJECT SHOWN HEREIN WAS PERFORMED EITHER BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND THAT ALL INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SHAUN P. RECTOR
INDIANA PS NO. 21000239

12/16/2020

DATE



I AFFIRM UNDER PENALTIES OF PERJURY THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.





Zoning District	Property Use
North: MR; Medium Density Residential (County)	Residential Subdivision (Woodgate)
South: C-3; General Commercial	Smith Pike Plaza
East: MR; Medium Density Residential (County)	Residential Subdivision (Highland Park)
West: R-1; Single Family Residential	Residential Subdivision (Spring Valley)

Considerations

1. The applicant is requesting preliminary plat approval for a total of forty-seven (47) lots. Thirty-eight (38) will be paired patio home lots, four (4) common area lots for the paired patio homes, three (3) commercial lots and two (2) future multi-family lots.
2. The lots are zoned C-3; General Commercial, paired patio homes are permitted by right in the C-3 zone.
3. No specific commercial uses have been identified, but will need to comply with the C-3 guidelines. Commercial developments will come back before Plan Commission for Development Plan approval.
4. The multi-family lots are planned to be rezoned as a PUD (pending future Plan Commission approval). This will be addressed in a future meeting.
 - a. In the event the multi-family is not approved, the lots would meet standards for commercial and/or single and two-family developments, and could be further subdivided.
5. The subdivision will be accessed from State Road 46 to the south and from W. Ashbrook Lane in Spring Valley to the west.
6. The lots will meet all size and dimensional requirements.
7. New infrastructure will be constructed to Town requirements.
8. The Tech Review Committee met on December 17th to review the infrastructure and overall layout. Comments from the meeting are attached. All items have been or will be addressed by the date of the meeting.
9. A letter of credit will be required to cover any outstanding items prior to recording of the final plat.

Plan Commission Action

The Plan Commission action on the preliminary plat can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

Staff Recommendation

It is of Staff opinion that the proposed plat will meet all required zoning and subdivision regulations and there are no significant concerns with the proposed plat. There is some concern about the amount of traffic that will be generated, although at this time, the only defined use is the paired patio homes. A traffic study has been completed by the applicant and included as a separate file from the meeting packet. The subdivision is in the best interest of the Town and the developer as it will create affordable housing opportunities as well as several commercial options. Therefore, Staff recommends that the Plan Commission approve the Ellis Ridge preliminary plat.

Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
December 18, 2020

Site Photos







Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

December 4, 2020

Kevin Tolloty
Town of Ellettsville Planning Department
1150 W Guy Crown Drive
Ellettsville, IN. 47429

Re: Ellis Ridge Preliminary Plat

Dear Eric,

On behalf of our client, Kenny Blackwell, we respectfully request to be placed on the Town of Ellettsville Plan Commission agenda for consideration of a Preliminary Plat for the Ellis Ridge Subdivision located at 3888 W SR 46. This petition would subdivide the 17.53 acre parcel into 47 total lots with 3 commercial lots, 2 multifamily lots, 38 lots for single-family homes and 4 lots for Common Area. Details of this request are discussed in the attached petitioner's statement and shown on the materials included with this petition.

Sincerely,

Katherine E. Stein, P.E.
Smith Design Group, Inc.

Petitioner's Statement

Project Location

The 17.53 acre vacant site is located at 3888 W SR 46. This development is immediately west of Highland Park Estates, south of The Arbors at Woodgate, and east of Spring Valley.

Project Description

Three commercial outlots are proposed on the southern portion of the site. The uses of the commercial lots have not been determined. Multifamily is proposed for two lots in the middle of the project. The multifamily development plan is not a part of this petition. The north portion of the project will consist of 38 paired patio homes that will be located on 4 large common area lots.

Topography

The site is former single family residence consisting of a vacant field with tree canopy coverage around the property boundaries. The site generally slopes from east to west.

Access

Access to the site is provided by a road stub on the northwest side from Ashbrook Lane and a new full access drive to SR 46 on the south side of the project. The access from SR 46 is within the INDOT Right of Way (ROW). INDOT required a traffic impact study be conducted for warranted lane improvements to allow a full access drive onto SR 46. Road access to Centennial Drive is not planned at this time, but a road stub and right of way dedication will occur with this subdivision.

Storm Water Management

There will be 3 detention ponds constructed for managing stormwater runoff from this development. One pond will be located on the southern portion of the site and will discharge to existing storm sewer along SR 46. The other two ponds will be located in the northern portion of the site. These ponds will discharge to an existing drainage swale that runs from Centennial Drive to the west side of the site and continues through the Spring Valley neighborhood. The detention ponds will store and release stormwater runoff to preconstruction rates.

Road Standards

Public Street Commercial Area

60' R/W width

16' pavement for two travel lanes

6" standing curb with 2' gutter both sides

5' concrete sidewalk with 4' tree plot, both sides

Public Street Multifamily Area

60' R/W width
13.50' pavement for two travel lanes
6" standing curb both sides
5' concrete sidewalk with 5' tree plot, both side

Public Street Single Family Area

60' R/W width
12' pavement for two travel lanes
2' roll curb both sides
5' concrete sidewalk with 5' tree plot, both sides

Public Alley Single Family Area

20' R/W width
14' pavement for one travel lanes
2' roll curb both sides

Utility Availability

Public sewer and water is available to this development. Both Sewer and water are within ROW along SR 46 and in the north portion of the site. As a part of this project a new water main will be installed along the main road to loop the two water mains. New sanitary sewer will also be extended throughout the development. Private utility lines including electric, phone and gas area also available.



Town of Ellettsville

Department of Planning & Development

Technical Review Meeting Notes

Ellis Ridge Subdivision

Project Description

Location: 3888 W. State Road 46

Size: 17.53 acres

Current Zoning: C-3; General Commercial

Planning Comments

1. A landscape plan will need to be reviewed prior to the Plan Commission meeting.
2. Street names will need to be provided for the cul-de-sac and the road connecting Ashbrook and SR 46.
 - a. Ellis Court cannot be used as there is already an Ellis Road in Monroe County.
3. All paired patio homes shall have a minimum of four (4) dedicated parking spaces.
 - a. This includes any spaces in a garage, driveway, or other dedicated off-street parking.
4. Alleys should remain as private roads.
5. Final plans shall be stamped by engineer.

Fire Department Comments

Indiana Fire Prevention Code:

503.1.2 Additional Access: The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access. (*Ashbrooke Lane from Spring Valley subdivision shall be connected to Ellis Ridge subdivision*)

In consideration of future development, the following shall be considered;

912.2 Location of Fire Department Connection: With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The servicing fire department shall be consulted before placing the fire department hose connections at specific locations.

C105 Distribution of Fire Hydrants: Additional hydrants may be required if the required fire flow for the Class 1 commercial buildings anticipated for Lots 1-5 are above 1,1750 gallons per minute.

**TABLE C105.1
NUMBER AND DISTRIBUTION OF FIRE HYDRANTS**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS^{a, b, c} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT^d
1,750 or less	1	500	250
2,000-2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers which cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.

Public Works Comments

1. Tracer wire should be used on all newly installed lines.
2. On page 24, the street sign detail shows in accordance with the City of Bloomington. Please change that to Town of Ellettsville (Town Ordinance 153.086)

ADA Accessibility Comments

No Comments

Engineering Comments

1. Typical sections show the sidewalk dimension as 5 feet but there is a note referring to 4 feet.
2. An INDOT driveway permit will be required.
3. Setbacks should double when the commercial sections are adjacent to the residential zoning. The rear yard setback would be increased to 40 feet instead of the 25 feet as shown. (152.190)
4. The GIS aerial photography shows a pond on the property. The existing contours and development plan do not indicate a pond on the property. Removal of the pond should be approved by the appropriate governmental agencies.
5. Water lines will need to be ductile iron pipe not C900.
6. Water lines should be located on the back side of the sidewalk and not under the pavement.
7. Please provide detail of the retaining walls.
8. The detention pond underdrains should be shown on the grading and drainage plans.
9. The sanitary sewer will be reviewed by the Eastern Richland Sewer Corporation.
10. Drainage calculations will need to be submitted. The detention pond in the southwest corner of the property is shown connecting to an existing structure from the Springs Valley subdivision. The existing structure has a 12-inch pipe and Str. 101 has an 18-inch outlet pipe connecting to that structure. In addition, the depth of the existing structure does not seem to be adequate to connect to Str. 101.

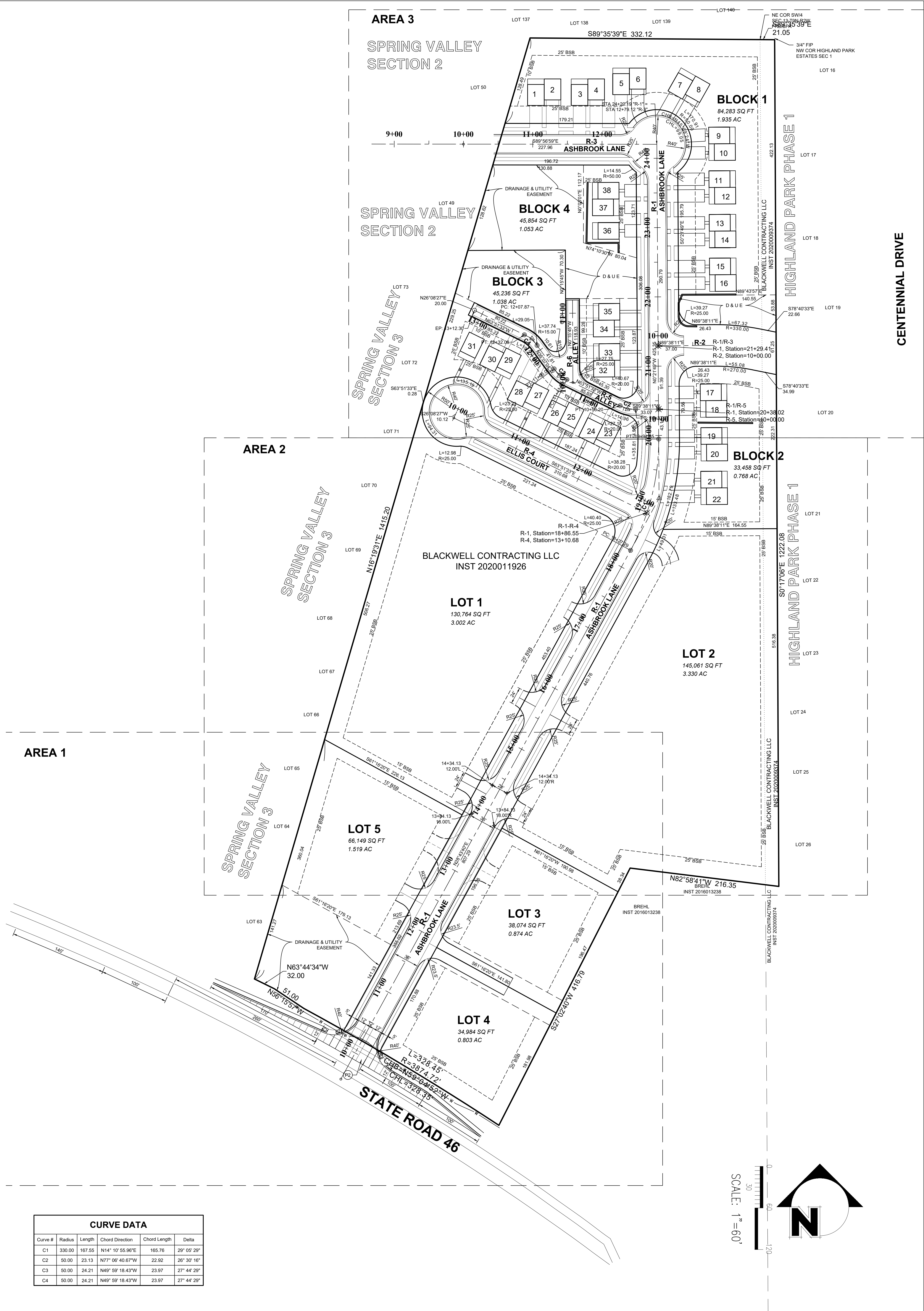
Police Department Comments

No Comments

Summary

The preliminary plat request is for the proposed Ellis Ridge mixed use subdivision. The Technical Review Committee met on December 17, 2020 to discuss the site plans. Those in attendance were Town Manager and Public Works Superintendent Mike Farmer, Town Engineer Rick Coppock, Assistant Planner and ADA Coordinator Denise Line, Fire Chief Mike Cornman, Street Foreman Kip Headdy, and Planning Director Kevin Tolloty. Also in attendance were Katie Stein, Architect, and Lana Allen on behalf of the developer. Comments have been received from Planning, Fire, Public Works, and Engineering. Any additional comments from the Technical Review meeting that are not listed above, shall still be taken into consideration. Plan Commission should approve the development plan after the above mentioned items have been addressed, but may also add conditions as they see fit.

Submitted by Kevin Tolloty, AICP
 Director, Ellettsville Planning
 December 21, 2020



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OVERALL SITE PLAN

DATE
12/04/2020

SHEET
4 OF 25

JOB NUMBER
6069

DESIGNED
KES

DRAFTED
SPP

CHECKED

DATE

REVISIONS	BY	DATE

ELLIS-RIDGE SUBDIVISION

3888 W. STATE ROAD 46

ELLETTSVILLE, IN 47404

XX/XX/20XX

NOT FOR CONSTRUCTION

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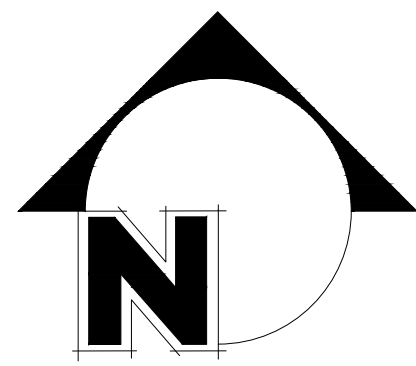
SMITH DESIGN GROUP

CIVIL ENGINEERING - LAND SURVEYING

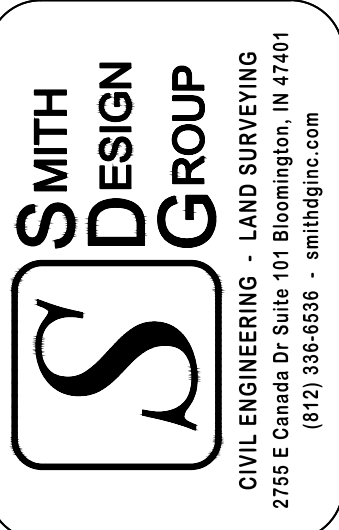
2755 E Canada Dr Suite 101 Bloomington, IN 47401

(812) 336-6536 • smithdgc.com

SPRING VALLEY
SECTION 3



0 25 50 100
SCALE: 1"=50'



NOT FOR
CONSTRUCTION

XX/XX/20XX

ELLIS-RIDGE SUBDIVISION
3888 W. STATE ROAD 46
ELLETTTSVILLE, IN 47404

SITE MATERIALS

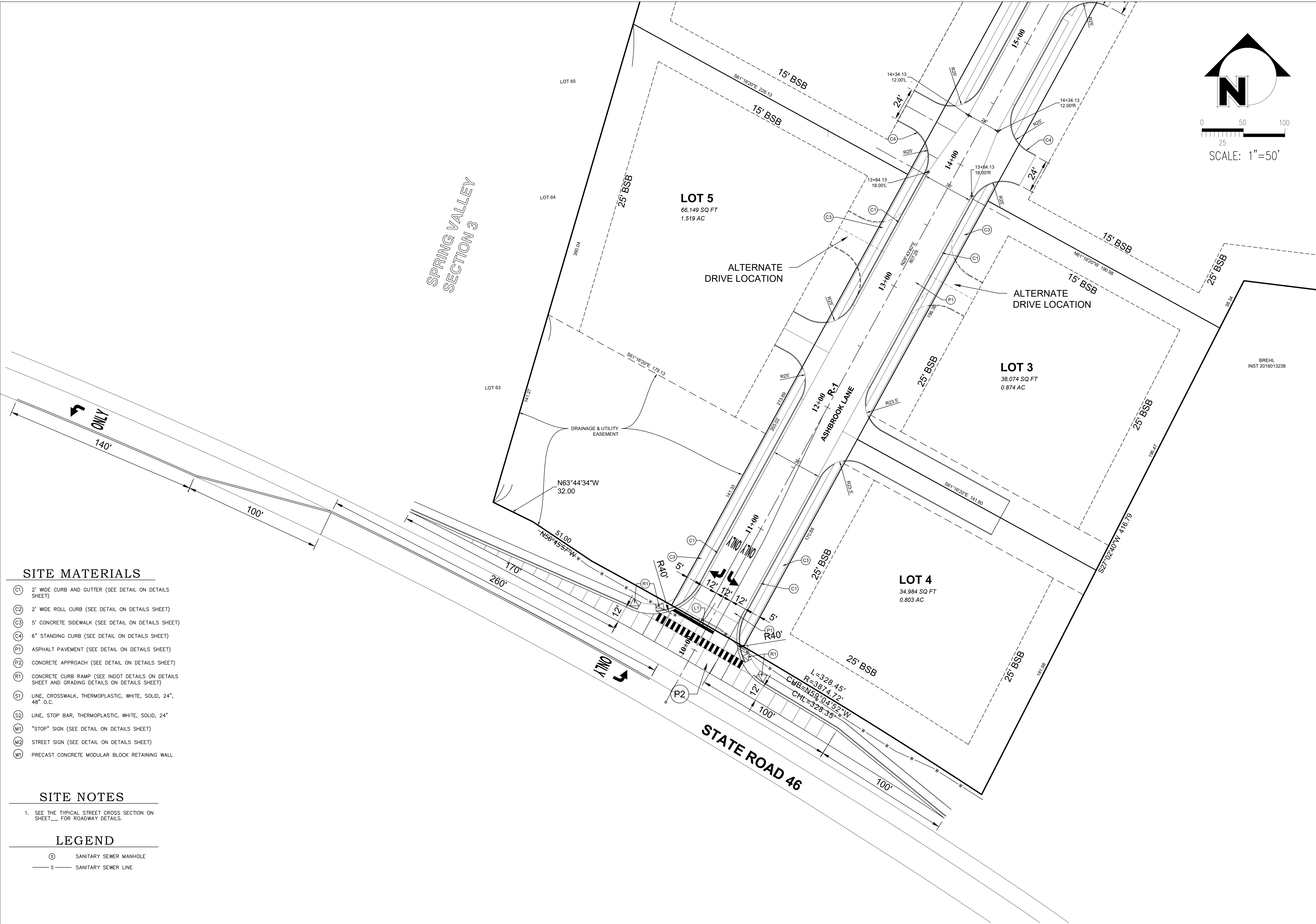
- (C1) 2' WIDE CURB AND GUTTER (SEE DETAIL ON DETAILS SHEET)
(C2) 2' WIDE ROLL CURB (SEE DETAIL ON DETAILS SHEET)
(C3) 5' CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)
(C4) 6" STANDING CURB (SEE DETAIL ON DETAILS SHEET)
(P1) ASPHALT PAVEMENT (SEE DETAIL ON DETAILS SHEET)
(P2) CONCRETE APPROACH (SEE DETAIL ON DETAILS SHEET)
(R1) CONCRETE CURB RAMP (SEE INDOT DETAILS ON DETAILS SHEET AND GRADING DETAILS ON DETAILS SHEET)
(S1) LINE, CROSSWALK, THERMOPLASTIC, WHITE, SOLID, 24", 48" O.C.
(S2) LINE, STOP BAR, THERMOPLASTIC, WHITE, SOLID, 24"
(M1) "STOP" SIGN (SEE DETAIL ON DETAILS SHEET)
(M2) STREET SIGN (SEE DETAIL ON DETAILS SHEET)
(W) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

SITE NOTES

1. SEE THE TYPICAL STREET CROSS SECTION ON SHEET___ FOR ROADWAY DETAILS.

LEGEND

- ③ SANITARY SEWER MANHOLE
— S — SANITARY SEWER LINE



REVISIONS	BY	DATE

DESIGNED	CHECKED	DATE
KES	SPP	
UNAPPROVED		

JOB NUMBER
6069
SHEET
5 OF 25
DATE
12/04/2020
SITE PLAN AREA 1

SITE MATERIALS

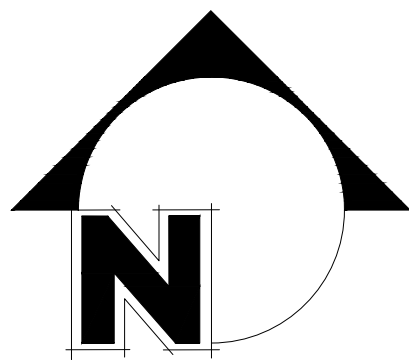
- (C1) 2' WIDE CURB AND GUTTER (SEE DETAIL ON DETAILS SHEET)
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- (M2) STREET SIGN (SEE DETAIL ON DETAILS SHEET)
- (W1) PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

SITE NOTES

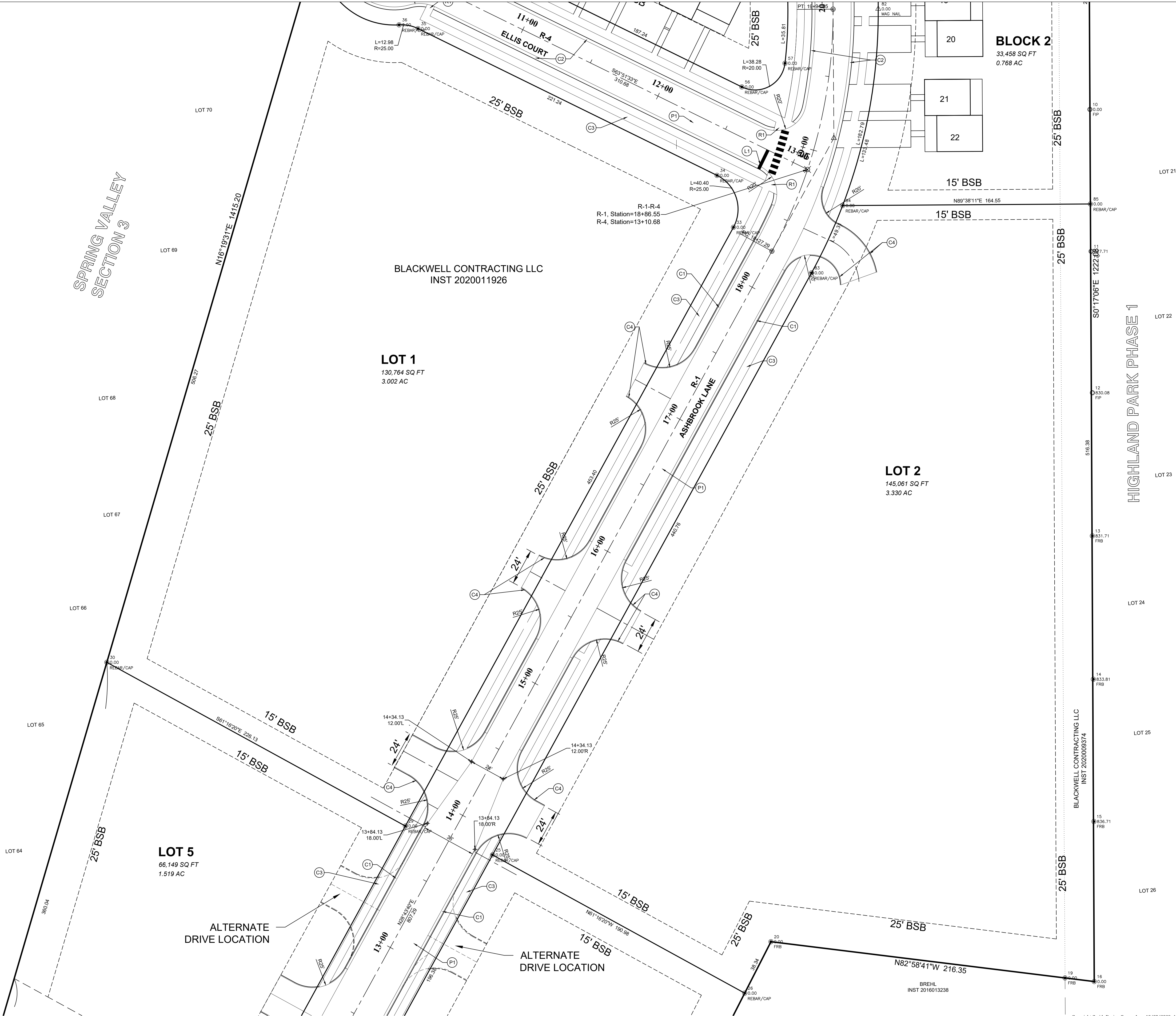
1. SEE THE TYPICAL STREET CROSS SECTION ON SHEET___ FOR ROADWAY DETAILS.

LEGEND

- (S) SANITARY SEWER MANHOLE
- S — SANITARY SEWER LINE



SCALE: 1"=30'



SMITH
DESIGN
GROUP

CIVIL ENGINEERING - LAND SURVEYING
2755 E Canada Dr Suite 101 Bloomington, IN 47401
(812) 336-6538 - smithgrp.com

NOT FOR
CONSTRUCTION

XX/XX/20XX

ELLIS-RIDGE SUBDIVISION
3888 W. STATE ROAD 46
ELLETTTSVILLE, IN 47404

REVISIONS	BY	DATE

DESIGNED	KES
DRAWN	DISAPPTED
CHECKED	SPP
DATE	

JOB NUMBER
6069

SHEET
6 OF 25

DATE
12/04/2020

SITE PLAN
AREA 2

SITE MATERIALS

- 2" WIDE CURB AND GUTTER (SEE DETAIL ON DETAILS SHEET)
- 2" WIDE ROLL CURB (SEE DETAIL ON DETAILS SHEET)
- 5' CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)
- 6" STANDING CURB (SEE DETAIL ON DETAILS SHEET)
- ASPHALT PAVEMENT (SEE DETAIL ON DETAILS SHEET)
- CONCRETE APPROACH (SEE DETAIL ON DETAILS SHEET)
- CONCRETE CURB RAMP (SEE INDOT DETAILS ON DETAILS SHEET AND GRADING DETAILS ON DETAILS SHEET)
- LINE, CROSSWALK, THERMOPLASTIC, WHITE, SOLID, 24", 48" O.C.
- LINE, STOP BAR, THERMOPLASTIC, WHITE, SOLID, 24"
- "STOP" SIGN (SEE DETAIL ON DETAILS SHEET)
- STREET SIGN (SEE DETAIL ON DETAILS SHEET)
- PRECAST CONCRETE MODULAR BLOCK RETAINING WALL

SITE NOTES

- SEE THE TYPICAL STREET CROSS SECTION ON SHEET ____ FOR ROADWAY DETAILS.

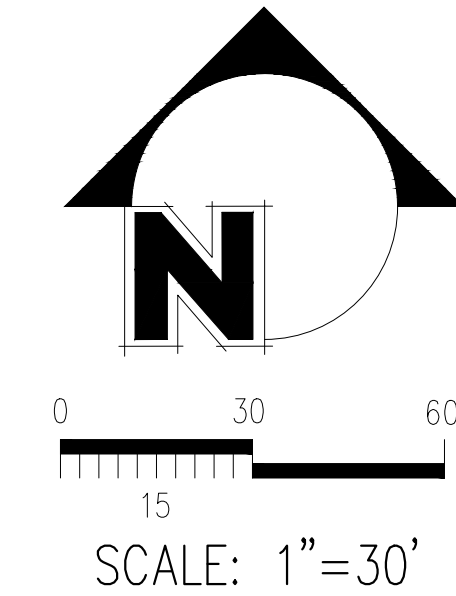
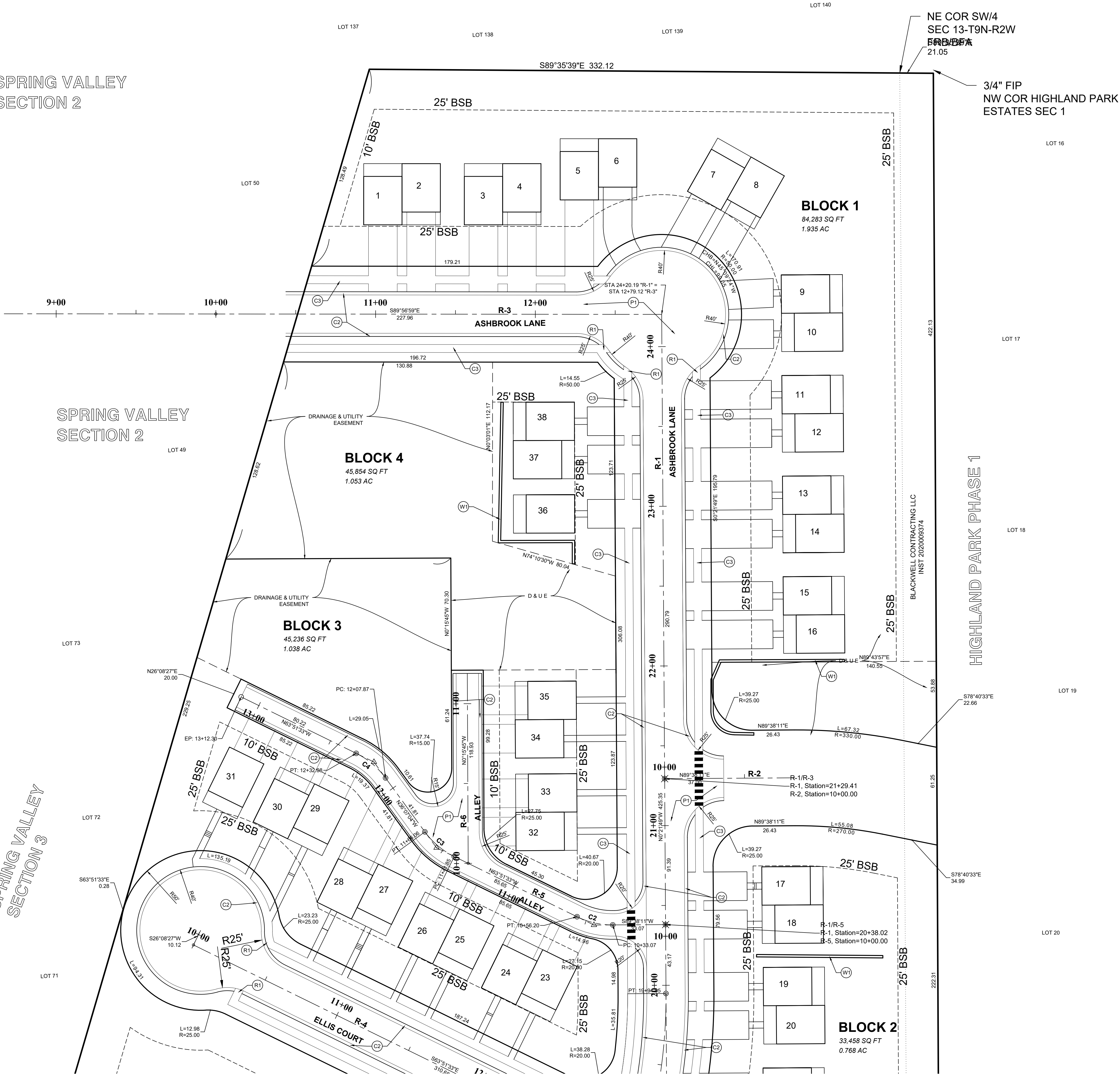
LEGEND

- Ⓢ SANITARY SEWER MANHOLE
- S — SANITARY SEWER LINE

SPRING VALLEY
SECTION 2

SPRING VALLEY
SECTION 2

SPRING VALLEY
SECTION 3



SMITH
DESIGN
GROUP

CIVIL ENGINEERING - LAND SURVEYING
2755 E Canada Dr Suite 101 Bloomington, IN 47401
(812) 336-6538 - smithgrp.com

NOT FOR
CONSTRUCTION

XX/XX/20XX

ELLIS-RIDGE SUBDIVISION
3888 W. STATE ROAD 46
ELLETTTSVILLE, IN 47404

REVISIONS	BY	DATE

DESIGNED	DRAWN	CHECKED	DATE
KES	SPP		
UNAPPROVED			

JOB NUMBER
6069

SHEET
7 OF 25

DATE
12/04/2020

SITE PLAN
AREA 3



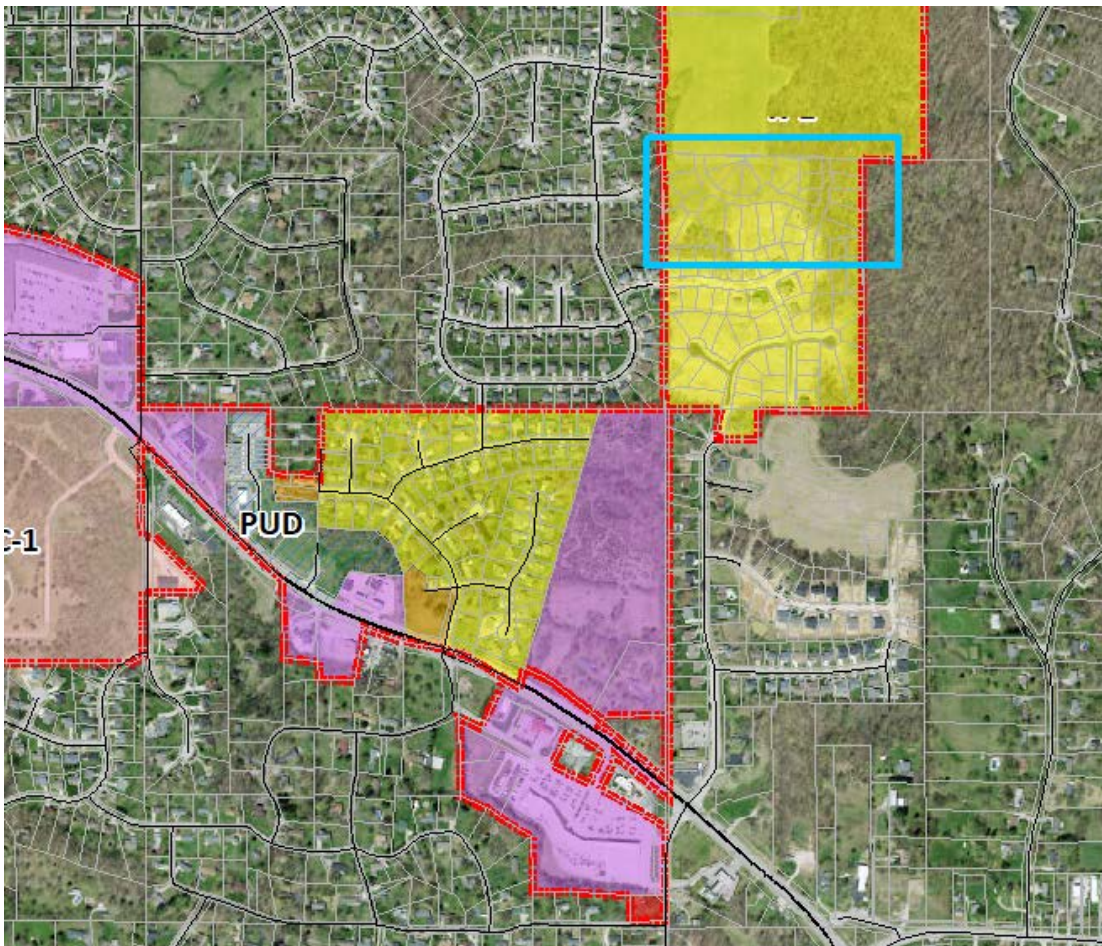
Town of Ellettsville

Department of Planning & Development

PC 21-03– Waiver Request Staff Report

Petition

Case - PC 21-03 – Centennial Park. A request by Centennial Park LLC, for a waiver from subdivision regulations for Centennial Park Phase III to allow additional building lots without a second permanent access point. The subject property is located at the east end of W. Ribbon Lane.



Zoning District		Property Use
North:	R-1; Single Family Residential	Undeveloped
South:	MR; Medium Density Residential (County)	Residential Subdivision (Highland Park)
East:	AG/RR; Agriculture/Rural Reserve (County)	Undeveloped
West:	MR; Medium Density Residential (County)	Residential Subdivision (Woodgate)

Considerations

1. The applicant is requesting a waiver from subdivision regulations to allow thirty-eight (38) additional homes without an additional permanent access.
2. Currently forty (40) of seventy-eight (78) lots have been built in Centennial Park, accounting for all of the lots in the original waiver request.
3. A temporary access has been constructed at the Centennial Drive connection and has been used (illegally) by delivery vehicles.
4. The connection is blocked by barricades, but those can be easily moved in the event of an emergency.
5. A permanent second connection should be available in the future, but that is currently out of the of the developer's control at this time.

Plan Commission Action

The Plan Commission action can be in the form of approval, approval with conditions, continuance or denial of the waiver request. The Plan Commission has the final say in these matters.

Staff Recommendation

Although the original waiver only allowed for the construction of forty (40) lots pending the construction of a second entrance, it has become increasing apparent that external factors are working toward the prevention of said second entrance. The purpose of having a second entrance is primarily for public safety, should there be any issue with the first entrance. In this particular situation, the secondary entrance is only a temporary gravel connection, not open to the public, but would be able to serve as an emergency access if needed. Therefore, Staff recommends that the Plan Commission approve the waiver request.

Submitted by Kevin Tolloty, AICP
Director, Ellettsville Planning
December 21, 2020



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E-mail: semery711@gmail.com

Ph.: (812) 327-6690

December 8, 2020

Ellettsville Plan Commission
1150 Guy McCown Dr.
Ellettsville, IN 47429

Re: Waiver request to build on final 38 lots in Centennial Park

Dear Commissioners:

Centennial Park LLC ("Centennial") has completed all infrastructure improvements for the final 38 lots in Centennial Park Subdivision except for sidewalks, street trees and final asphalt topcoat. The plat for these 38 lots has been recorded and the requested amount has been posted as bond for the remaining infrastructure. However, since the issue of a 2nd access point is still tied up in the courts, planning staff has determined that building permits cannot be issued. Centennial is requesting a waiver from Section 153.074(E)(2) of the Ellettsville Code to allow building permits to be issued on these remaining 38 platted lots in Centennial Subdivision.

As most of you know, the 50' ROW connecting the cul-de-sac at the north end of Centennial Drive to the south side of Centennial subdivision has been platted as a street in the Town of Ellettsville and bond has been posted for those improvements. By law, this 50' ROW is now owned by the Town of Ellettsville. Should emergency access to Centennial Subdivision be required, it is a simple 30 second task to remove some plastic barriers and any emergency vehicle can easily travel between the cul-de-sac and Centennial Park. In fact, since GPS maps now show the connection as an open public street, many service and delivery vehicles have been driving around the barricades and using the gravel, dedicated ROW for access to Centennial Park.

To reiterate, Centennial no longer has ownership or control over the 50' ROW and it is up to TDML LLC who platted lot 79 and the 50' connecting ROW, or the Town of Ellettsville, should TDML LLC fail to do the work, to make the improvements to the ROW that Ellettsville now owns. As a dedicated public ROW, this access will not ever be closed and, one way or the other, eventually improved with a street and sidewalk.

As to traffic concerns, there are 110 lots built or under development in Highland Park Estates which has only one way of ingress and egress, that being Centennial Drive connecting to SR 46. The traffic from the fully built out 78 lots in Centennial Park will be less than that which will be generated by the 110 lots in Highland Park Estates so traffic on Ribbon Ln. should not be of concern. It was never an issue during the construction of the existing 40 homes in Centennial

Park, so the construction of the final 38 homes also will not be of adverse impact to traffic on Ribbon Ln.

Demand for housing in Ellettsville and Monroe County is high. As many as 20 families are patiently waiting to purchase homes in Centennial Park. Emergency access through the dedicated ROW owned by Ellettsville is available and traffic through the existing improved access over Ribbon Ln. is not an issue. Therefore, Centennial respectfully requests that you grant it a waiver to proceed with sale and construction of homes on the remaining 38 platted lots in Centennial Subdivision.

Sincerely,


Steven K. Emery