

AGENDA
ELLETTSVILLE PLAN COMMISSION
Town Hall
1150 W. Guy McCown Drive
Ellettsville, Indiana
Thursday, April 4, 2024 - 6:00 P.M.

Pledge of Allegiance

Roll Call

Approval of Minutes – March 7, 2024

Monthly Conflict of Interest Statement

Old Business

New Business

Voluntary Annexation of 317 E. Main Street, Ellettsville (.50 Acres); Petitioner: Lindsey Norris; Case No. PC 24-12

Voluntary Annexation of 313 E. Main Street, Ellettsville (.50 Acres); Petitioner: Lindsey Norris; Case No. PC 24-17

Voluntary Annexation of 6140 N. Starnes Road and Starnes Road, Ellettsville (two parcels totaling 143 Acres); Petitioner: Umbaugh Farms LLP; Case No. PC 24-15

Preliminary Plat Pre-Approval for 115 Lots (151 Acres) in Phase 1 of the Proposed Harmon Farms Subdivision (7633 W. State Road 46); Petitioner: Chris Smith; Case No. PC 24-14

Planning Department Update

Town Council Work Session: Monday, April 22, 2024, 7:00 p.m., or after the Town Council meeting, at Town Hall

Next Meeting – May 2, 2024

Privilege of the Floor – Non-Agenda Items

Plan Commission Comments

Adjournment

Planning Commission meetings are wheelchair accessible. The accessible entrance is located on the east side of the building. Accessible visitor parking spaces are located on the north side of the building. The Town further assures every effort will be made to ensure nondiscrimination in all of its programs and activities, whether those programs and activities are federally funded or not. Close captioning of the public meetings is broadcast on Community Access Television Series.

The Town of Ellettsville is inviting you to a scheduled Zoom meeting.

Topic: Plan Commission

Time: Apr 4, 2024 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/83673071482?pwd=REtQdE9UODZjMHFPTmlMdnZjT0VQQT09>

Meeting ID: 836 7307 1482

Passcode: 532508

One tap mobile

+13092053325,,83673071482#,,,,*532508# US

+13126266799,,83673071482#,,,,*532508# US (Chicago)

Dial by your location

- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 931 3860 US
- +1 929 205 6099 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US

Meeting ID: 836 7307 1482

Passcode: 532508

March 7, 2024

The Ellettsville, Indiana, Plan Commission met in regular session on Thursday, March 7, 2024, at Town Hall. David Drake called the meeting to order at 6:00 p.m. and Dan Swafford led the Pledge of Allegiance.

Roll Call: Members participating were: David Drake, President; Dan Swafford, Vice President; Steve Hale; Pamela Samples and Ryan Skaggs. Denise Line, Planning Director, Mike Burns, Assistant Planner, and Darla Brown, Town Attorney, were also present. Zach Michael and Pat Wesolowski were absent.

Approval of the Minutes

David Drake entertained a motion to approve the minutes for the regular meeting on February 1, 2024. Steve Hale made a motion to approve the minutes for February 1, 2024. Dan Swafford seconded the motion. Motion carried.+

New Business

Development Plan Approval for a Car Wash located at 4200 N. Kemp Road; Petitioner: Jay Strauss; Case No. PC 24-08

Denise Line, Planning Director, explained the .82-acre subject property is located at 4200 N Kemp Road and is zoned C-3 General Business. The car wash is 7430 square feet and would be accessed from Kemp Road. During tech review the petitioner was asked to voluntarily add landscaping and buffering along the State Road 46. The petitioner responded that is a question for planning. Grading was done on the site without a grading permit. Staff recommends that the plan commission approve the Development Plan with the following conditions being met prior to building permit approval. Written approval from Ellettsville Utilities that the water requirements can be met; submit a grading permit application for approval and issuance of a grading permit; landscape buffer along West State Road 46; drawings of physical address to be placed on building; and provide information on the type of check valve to be used on the project.

Ken Blackwell, Developer of Ellis Ridge, explained that he did not know that his existing grading permit was not valid and stopped work when he was notified by Denise.

Jay Strauss, Petitioner, described the type of building and the equipment that would be used. He is agreeable to landscape buffering along State Road 46 and the other conditions outlined by Denise. He stated that he will install a fence on the east side to block headlights to the homes to the east.

Nick Brehl, Local Resident, expressed his concern about noise and headlights from the business and the proposed buffering is not adequate.

Mark Dobbs, Local Resident, explained his concern about the added traffic and if there are any plans for an addition road to the east,

David Drake made a motion to approve the Development Plan with the five conditions stated by Denise and an additional condition that a six feet privacy fence be installed on the east side property line for 40-60 feet. Steve Hale seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried.

Preliminary Plat Approval for Seventeen (17) Single-Family Residential Lots (8.29 Acres) in the Prominence Fields, Phase 3, Subdivision (N. Loudon Road); Petitioner: Valu-Built Construction; Case No. PC 24-11

Denise Line, Planning Director, explained the subject property is located north of West Upland Drive and parallel to North Loudon Road to the west. The property is zoned R-1 Single Family Residential and will be accessed from N. Zoiey Way. Lots will meet the size requirements granted by the Board of Zoning Appeals on December 13, 2023 which allowed a reduction of the lot width to 50 feet and a lot size to 8,500 square feet. Staff recommends that the plan commission approve the Preliminary Plat.

AJ Willis, Engineer, Bynum Fanyo & Associates explained this case is about continuing the subdivision with another phase and there will three water quality detention ponds. Sewer connection will be to the existing two phases of Prominence Fields.

Ryan Skaggs made a motion to approve the Preliminary Platt. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

Development Plan Approval for a Maintenance and Office Building located at 901 N. Guy McCown Drive; Petitioner: Town of Ellettsville Department of Public Works; Case No. PC 24-09

Denise Line, Planning Director, explained the subject property consists of 4.6 acres and is zoned C-3 Neighborhood Commercial. The building is approximately 24,000 square feet in size. It will be accessed from West Guy McCown Drive. Staff recommends that the plan commission approve the Development Plan.

AJ Willis, Engineer, Bynum Fanyo & Associates explained that the curve was widened to allow truck access. When drive reaches building it will be split to separate truck and car traffic. The building features office space as well as six garage bays. There is a fenced in area for storage. The goal for completion is Christmas of this year.

Jeff Schunn, local resident, stated his concern with the large trucks exiting from W Guy McCown Drive on State Road 46 given the speed of the traffic on State Road 46.

Kip Headdy, Street Commissioner, explained that his crews leave in the morning and come back in the afternoon so traffic should not be a concern.

Steve Hale made a motion to approve the Development Plan. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

Development Plan Approval for a Student Activity Center at Edgewood High School (601 S. Edgewood Drive); Petitioner: Bledsoe Riggert Cooper & James; Case No. PC 24-06

Denise Line, Planning Director, explained the building will be 23,000 square feet located on 1.4 acres and zoned R-1 Single Family Residential. A parking lot will be added and there is also some remodeling and demolition. The project will be accessed from South Edgewood Drive and West Edgewood Drive. Staff recommends that the plan commission approve the Development Plan.

Bill Riggert, Riggert Bledsoe Cooper James Engineering, explained the addition will go out into the west parking lot. A new parking lot will be added too the west side at the practice football field.

Misha Beljayer, Representative for Petitioner, explained that this addition is not for added enrollment. It will free up space to for the cafeteria and kitchen area.

Jerry Sanders, Superintendent RB&B School, explained that the current auxiliary gym is not large enough to for spectators and is a safety concern. This addition will provide a larger space for sporting events.

Roger Floyd, Local Resident, expressed this concern about a barrier between this addition and the homes in his neighborhood.

Steve Hale made a motion to approve the Development Plan. Dan Swafford seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

Development Plan Approval for an Early Childhood Center for Richland-Bean Blossom Community School Corporation (7710 W. Reeves Road); Petitioner: Bledsoe Riggert Cooper & James; Case No. PC 24-07

Denise Line, Planning Director, explained this building would be 33,094 square feet and is on a 5.5-acre lot. The property is zoned R-1 Single Family Residential and accessed from West Reeves Road. Criteria D was not met on this project, which addresses capacity of adjacent streets to ensure they can safely and efficiently accommodate the additional traffic generated by the development. There are many complaints now about the heavy traffic on Reeves Road. Included in the original packet was a design for an emergency access road that was not approved by the Fire Department. Earlier today an amended emergency road design was agreed by the fire department and the school.

Jerry Sanders, Superintendent RB&B School, explained this project would not require all the students to arrive at the same time. The new pre-school will have a minimal impact on the current traffic issues. The school will continue to do its best to keep traffic on the school property instead of the road. The possible expansion of Sycamore Street will also help with traffic.

Kevin Patton, Ellettsville Fire Chief, explained the concern was there was no access to the rear of this building for fire equipment. During tech review the engineering firm came with a design for a green roadway. The concern is that these are hard to maintain in the winter. We asked if this could be a blacktop road to the parking lot. However, the school plans call for a new building in this location which means it would have to be removed in the future. The agreement we came up with was a partial road that would allow for access to this new building.

Steve Hale made a motion to approve the Development Plan. Pamela Samples seconded the motion. Roll call vote: David Drake-yes; Dan Swafford-yes; Steve Hale-yes; Pamela Samples-yes and Ryan Skaggs-yes. Motion Carried

Planning Department Updates

Denise Line, Planning Director, advised next month's meeting is on April 4, 2024 and there will be new business.

Plan Commission Comments

Privilege of the Floor

Adjournment

David Drake adjourned the meeting at 7:30 p.m.

David Drake, President

Dan Swafford, Vice President

Ryan Skaggs

Steve Hale

Pamela Samples

Zach Michael

Pat Wesolowski

Mike Burns, Secretary



Town of Ellettsville

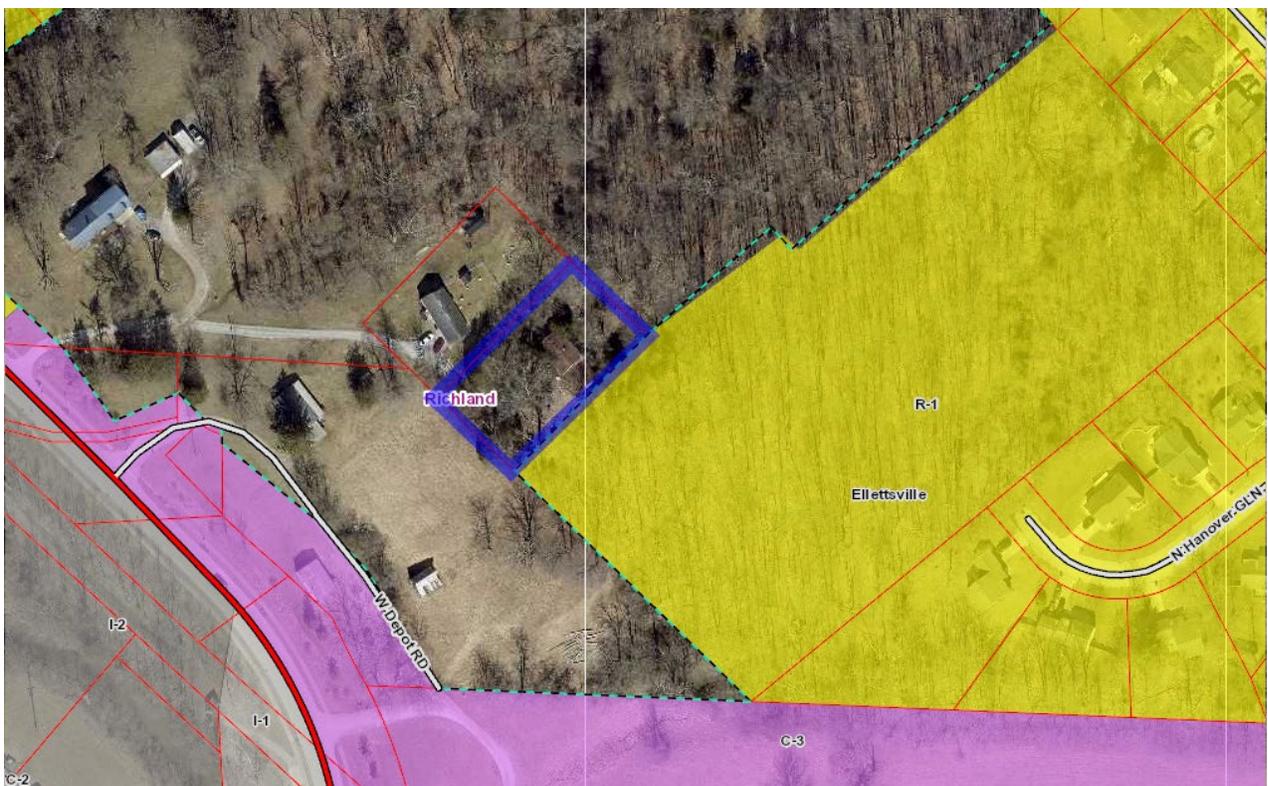
Department of Planning & Development

PC 24-12 – Voluntary Annexation Petition Staff Report

Petition

Case - PC 24-12 –Lindsey Norris Annexation. A request by Lindsey Norris, to voluntarily annex a parcel totaling approximately one-half (.50) acres of land. The subject parcel is located at 317 E. Main Street.

Surrounding Zoning Districts & Uses



Zoning District	Property Use
North: AG/RR: Agricultural/Rural Reserve (County)	Vacant Land
South: AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential
East: R-1; Single Family Residential	Vacant Land
West: AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential

Considerations

The petitioner is requesting to annex one (1) parcel totaling approximately one-half (.50) acres of land, located at 317 E. Main Street.

1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:

- a. Consent of 100% of the property owners within the area to be annexed.
 - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
2. The proposed annexation area is 32% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
 3. The properties are currently zoned IP, Institutional Public, by Monroe County and is recommended to be designated as Residential-1, Single Family Residential upon annexation.
 4. The property will be located in Council Ward 3.
 5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
 6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

Plan Commission Action

The Plan Commission action shall be in the form of a *favorable, unfavorable, or no recommendation* to Town Council, which takes final action on the annexation petition.

Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of R-1, Single Family Residential, upon annexation.

Submitted by Denise Line
Director, Ellettsville Planning
April 4, 2024



Staff Photos



(313 E. Main Street &
317 E. Main Street
share a driveway.)





Town of Ellettsville

Department of Planning & Development

FISCAL PLAN

Norris Annexation

Project Description

Location: 317 E. Main Street

Size: +/- .50 acres

Number of Parcels: 1

Current Zoning (Monroe County): IP; Institutional/Public

Proposed Zoning: R-1; Single Family Residential

State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed is thirty-two percent (32%) contiguous to the boundaries of the municipality;

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

1. The cost estimates for planned services to be furnished to the property to be annexed;
2. The method or methods of financing the planned services;
3. The organization and extension of services;
4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
6. The estimated effect on taxpayers in the Town of Ellettsville;
7. The effect of annexation on the Town of Ellettsville finances;
8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

Contiguity

The property to be annexed by the Town of Ellettsville has a total border of 615.44 feet and is contiguous along 197.67 feet. The total percentage contiguous is 32%, meeting contiguity requirements of Indiana Code and will be zoned Residential-1; Single Family Residential.

Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

Organization and Extension of Services

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

Financial Recommendations

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

1. Real Property Tax
 - a. The net assessed valuations of the parcel as of April 6, 2023, is \$83,000 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
2. Personal Property Tax
 - a. There will likely not be personal property taxes associated with development of this parcel.
3. Local Income Tax (LIT)
 - a. On July 1st of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the

proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.

4. Water/Sewer
 - a. There are no expected cost increases to the Town to provide these services.

Effect of Annexation

1. Estimated Effect on Taxpayers in Ellettsville
 - a. The estimated tax rate would drop from 0.5673 to 0.6071 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
 - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.004 would amount to approximately \$8.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
 - c. The annexation will not require any increase in expenditures.
 - d. The annexation of this parcel should have no noticeable effects on service levels.
 - e. The annexation will have minimal to no effect on annual debt service payments.
2. Estimated Effect on Municipal Finances
 - a. The estimated levy increase due to the annexation is \$400.47. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$1,601.88 over this time period compared to the growth rate without annexation.
 - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
3. Estimated Effect on Other Political Subdivisions
 - a. There is no outstanding Monroe County debt tied to income taxes to consider.
 - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
 - c. Richland Township currently has \$38,475 of outstanding debt to be paid in full by end of calendar year 2024.
 - i. Ellettsville would be required to repay a total of \$4.88 to cover the amount lost from annexation. (See appendix for yearly totals)
 - d. There is a tax rate totaling 0.14430 for Richland Township Fire that would result in approximately \$107 per year that would be lost due to annexation.
 - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
 - e. The circuit breaker does not come into effect for this annexation.

Parcels to be Annexed

1. Parcel ID No. 53-04-10-100-003.001-011
 - a. Property Owner – Lindsey & Joshua Norris
 - b. Property Address – 317 E. Main Street
 - c. Assessed Value (2023) - \$83,000

Other Considerations

1. The property is currently zoned IP; Institutional/Public by Monroe County and all will be designated as Residential-1; Single Family Residential
2. All of the properties will be assigned to Council Ward 3.

Summary

The purpose of this annexation is to bring one (1) parcel into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of Residential-1; Single Family Residential.

Legal Description

A part of the Northeast Quarter of Section Ten (10), Township Nine (9) North, Range Two (2) West in Monroe County, Indiana, more specifically described as follows, to-wit: Commencing at the southeast corner of said Northeast Quarter of Section Ten (10) and proceeding in a Westerly direction along the south line of said Northeast Quarter a distance of one thousand three hundred forty (1340) feet to a point; thence North 45 degrees 45 minutes West a distance of three hundred fifty-four (354) feet to a stake, which is the Point of Beginning; thence at right angles in a Northeasterly direction a distance of one hundred ninety-eight (198) feet to a stake; thence at right angles in a Northwesterly direction a distance of one hundred ten (110) feet to a stake; thence at right angles in a Southwesterly direction a distance of one hundred ninety-eight (198) feet to a stake; thence at right angles a distance of one hundred ten (110) feet to the point of beginning; the parcel containing a calculated area of twenty-one thousand seven hundred eighty (21,780) square feet, more or less.

Also an easement for ingress and egress over a center line bounded and described as follows: Beginning at a point at right angles to and twenty (20) feet Northeast of the southwest corner of the tract herein conveyed; thence running in a Northwesterly direction to a point where the center line of said easement coincides with a line running South 86 degrees 30 minutes East along the southeast side of Kenneth E. Kettery and Jane Kettery, husband and wife, property; and running on said line South 86 degrees 30 minutes East for a distance of five hundred forty-six (546) feet to the center line of the County Road, it being stipulated that the grantees herein shall have the right to maintain said road for a distance of twenty (20) feet on each side of said center line and said easement for ingress and egress shall be a covenant running with the land, and shall run in favor of the grantees herein and their successors in title. The easement granted to the grantees herein is subject to equal rights, as granted by another easement to Frederick Deford and Phyllis L. Deford, husband and wife.



Appendix - Fire Levies & Township Debt

	2024 Certified Levy	2024 Certified Net Assessed Valuation	2024 Certified Gross Tax Rate
Richland Township			
FIRE	\$ 736,950	\$653,903,847	0.112700
CUMULATIVE FIRE (Township)	\$ 206,634	\$653,903,847	0.031600
Total Fire Tax Rate			0.14430
		NAV (Less Annexed Parcels)	Adjusted Tax Rate
Richland Township	Levy		
FIRE	\$ 662,831	\$ 653,820,847	0.101378
CUMULATIVE FIRE (Township)	\$ 179,789	\$ 653,820,847	0.027498
Adjusted Total Fire Tax Rate			0.12888
Adjusted Total Fire Tax Rate Increase			-0.01542

Richland Township - Outstanding Debt

Year	Principal	Interest	Total Outstanding Debt
2024	\$38,000	\$475	\$38,475
TOTAL	\$38,000	\$475	\$38,475
Debt Repayment Assessment - After Annexation			
Annexation Assessed Value	\$ 83,000		
Total Township Assessed Value	\$ 653,903,847		
Annex Factor	0.0001269		
2024 Debt Repayment	\$4.88	(annex factor * outstanding debt)	
Total Debt Repayment Due to Annexation	\$4.88		



Town of Ellettsville

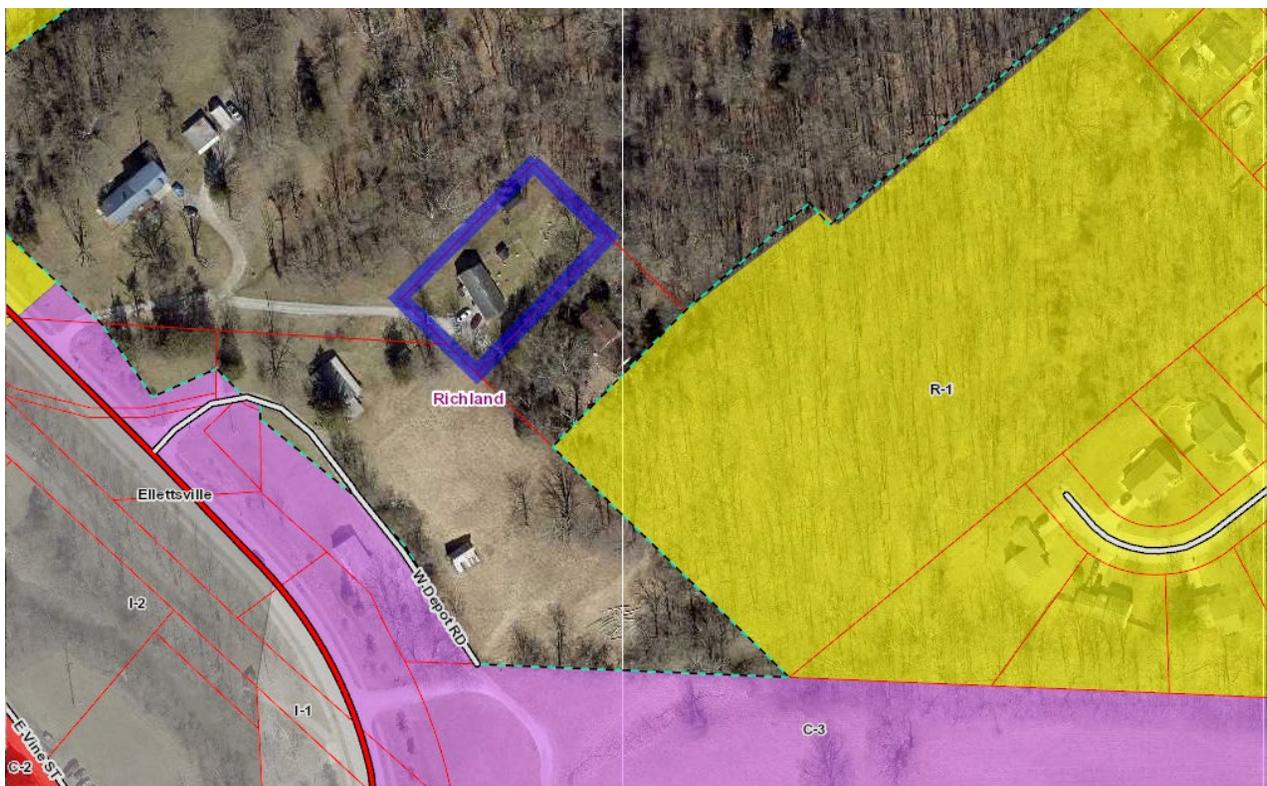
Department of Planning & Development

PC 24-17 – Voluntary Annexation Petition Staff Report

Petition

Case - PC 24-17 –Lindsey Norris Annexation. A request by Lindsey Norris, to voluntarily annex a parcel totaling approximately one-half (.50) acres of land. The subject parcel is located at 313 E. Main Street.

Surrounding Zoning Districts & Uses



Zoning District	Property Use
North: AG/RR: Agricultural/Rural Reserve (County)	Vacant Land
South: AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential
East: Formerly IP; Institutional Public (County) (Adjacent property is being annexed into Ellettsville and will be R-1; Single Family Residential)	Vacant Land
West: AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential

Considerations

The petitioner is requesting to annex one (1) parcel totaling approximately one-half (.50) acres of land, located at 313 E. Main Street.

1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
 - a. Consent of 100% of the property owners within the area to be annexed.
 - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
2. The proposed annexation area is 32% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
3. The properties are currently zoned AG/RR, Agricultural/Rural Reserve, by Monroe County and is recommended to be designated as Residential-1, Single Family Residential upon annexation.
4. The property will be located in Council Ward 3.
5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

Plan Commission Action

The Plan Commission action shall be in the form of a *favorable, unfavorable, or no recommendation* to Town Council, which takes final action on the annexation petition.

Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of R-1, Single Family Residential, upon annexation.

Submitted by Denise Line
Director, Ellettsville Planning
April 4, 202



Staff Photos





Town of Ellettsville

Department of Planning & Development

FISCAL PLAN

Norris Annexation No. 2

Project Description

Location: 313 E. Main Street

Size: +/- .50 acres

Number of Parcels: 1

Current Zoning (Monroe County): AG/RR; Agricultural/Rural Reserve

Proposed Zoning: R-1; Single Family Residential

State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed is thirty-two percent (32%) contiguous to the boundaries of the municipality;

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

1. The cost estimates for planned services to be furnished to the property to be annexed;
2. The method or methods of financing the planned services;
3. The organization and extension of services;
4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
6. The estimated effect on taxpayers in the Town of Ellettsville;
7. The effect of annexation on the Town of Ellettsville finances;
8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and
9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

Contiguity

The property to be annexed by the Town of Ellettsville has a total border of 615.09 feet and is contiguous along 197.39 feet. The total percentage contiguous is 32%, meeting contiguity requirements of Indiana Code and will be zoned Residential 1; Single Family Residential.

Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

Organization and Extension of Services

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

Financial Recommendations

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

1. Real Property Tax

- a. The net assessed valuations of the parcel as of April 6, 2023, is \$91,400 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.

2. Personal Property Tax

- a. There will likely not be personal property taxes associated with development of this parcel.

3. Local Income Tax (LIT)

- a. On July 1st of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the

proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.

4. Water/Sewer
 - a. There are no expected cost increases to the Town to provide these services.

Effect of Annexation

1. Estimated Effect on Taxpayers in Ellettsville
 - a. The estimated tax rate would drop from 0.5673 to 0.6071 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
 - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.004 would amount to approximately \$8.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
 - c. The annexation will not require any increase in expenditures.
 - d. The annexation of this parcel should have no noticeable effects on service levels.
 - e. The annexation will have minimal to no effect on annual debt service payments.
2. Estimated Effect on Municipal Finances
 - a. The estimated levy increase due to the annexation is \$441. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$1,881.09 over this time period compared to the growth rate without annexation.
 - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
3. Estimated Effect on Other Political Subdivisions
 - a. There is no outstanding Monroe County debt tied to income taxes to consider.
 - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
 - c. Richland Township currently has \$38,475 of outstanding debt to be paid in full by end of calendar year 2024.
 - i. Ellettsville would be required to repay a total of \$4.88 to cover the amount lost from annexation. (See appendix for yearly totals)
 - d. There is a tax rate totaling 0.14430 for Richland Township Fire that would result in approximately \$107 per year that would be lost due to annexation.
 - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
 - e. The circuit breaker does not come into effect for this annexation.

Parcels to be Annexed

1. Parcel ID No. 53-04-10-100-004.001-011
 - a. Property Owner – Lindsey & Joshua Norris
 - b. Property Address – 313 E. Main Street
 - c. Assessed Value (2023) - \$91,400

Other Considerations

1. The property is currently zoned AG/RR Agricultural/Rural Reserve by Monroe County and all will be designated as Residential-1; Single Family Residential
2. All of the properties will be assigned to Council Ward 3.

Summary

The purpose of this annexation is to bring one (1) parcel into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of Residential-1; Single Family Residential.

Legal Description

A part of the Northeast Quarter of Section Ten (10), Township Nine (9) North, Range Two (2) West, Monroe County, Indiana, as described in Deed Book 332, page 368 in the Office of the Recorder of Monroe County, Indiana, and more particularly described by a survey dated September 22, 1989, as follows:

Beginning at the Southeast Corner of the said Northeast Quarter, thence West 1340 feet, thence North forty-five (45) Degrees, Forth-five (45) Minutes West 464 feet to the point of beginning; thence continuing North Forty-five (45) Degrees, Forty-five (45) Minutes West 110.0 feet, thence North Forty-four (44) Degrees, Forty-five (45) Minutes East 110.0 feet, thence South Forty-four (44) Degrees, Fifteen (15) Minutes West 198.0 feet to the point of beginning.

Containing .50 acres, more or less.

ALSO: an easement for ingress and egress being 40 feet wide and being 20 feet on both sides of the under-described centerline:

Beginning at the Southeast corner of said Northeast Quarter, thence West 1340 fee, thence North Forty-five (45) Degrees, Forty-five (45) Minutes West 484 feet to the point of beginning of said centerline: thence South Eighty-seven (87) Degrees, Thirty-one (31) Minutes, Twenty-eight (28) Seconds West 546 feet to the centerline of a county road.



Appendix - Fire Levies & Township Debt

	2024 Certified Levy	2024 Certified Net Assessed Valuation	2024 Certified Gross Tax Rate
Richland Township			
FIRE	\$ 736,950	\$653,903,847	0.112700
CUMULATIVE FIRE (Township)	\$ 206,634	\$653,903,847	0.031600
Total Fire Tax Rate			0.14430
		NAV (Less Annexed Parcels)	Adjusted Tax Rate
Richland Township	Levy		
FIRE	\$ 662,831	\$ 653,812,447	0.101379
CUMULATIVE FIRE (Township)	\$ 179,789	\$ 653,812,447	0.027499
Adjusted Total Fire Tax Rate			0.12888
Adjusted Total Fire Tax Rate Increase			-0.01542

Richland Township - Outstanding Debt

Year	Principal	Interest	Total Outstanding Debt
2024	\$38,000	\$475	\$38,475
TOTAL	\$38,000	\$475	\$38,475

Debt Repayment Assessment - After Annexation

Annexation Assessed Value	\$ 91,400
Total Township Assessed Value	\$ 653,903,847
Annex Factor	0.0001398

2024 Debt Repayment \$5.38 (annex factor * outstanding debt)

Total Debt Repayment Due to Annexation \$5.38



Town of Ellettsville

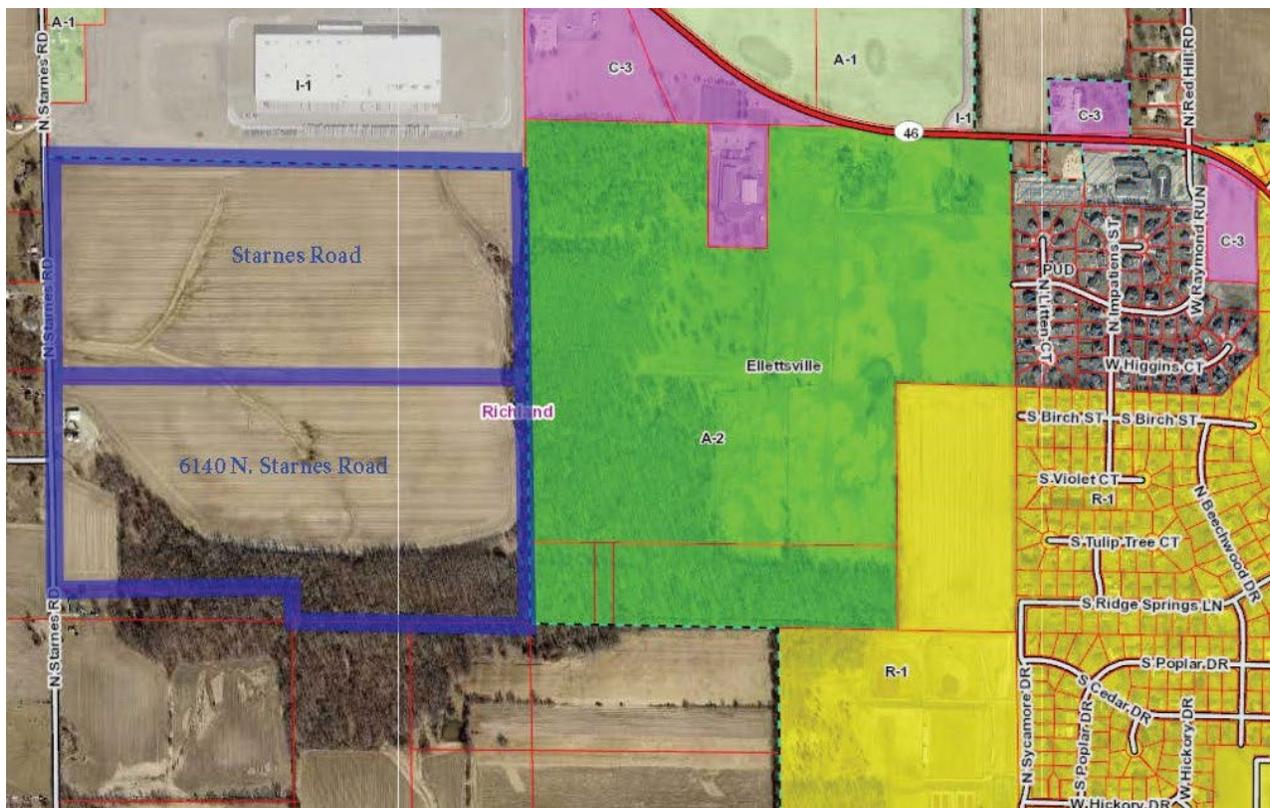
Department of Planning & Development

PC 24-15 – Voluntary Annexation Petition Staff Report

Petition

Case - PC 24-15 Umberger Farms LLP Annexation. A request by Umberger Farms LLP, to voluntarily annex two (2) parcels totaling approximately 148 acres of land. The subject parcels are located at 6140 N. Starnes Road and N. Starnes Road.

Surrounding Zoning Districts & Uses



	Zoning District	Property Use
North:	I-1: Light Industrial (Ellettsville)	Commercial Warehouse
South:	AG/RR: Agriculture/Rural Reserve (County)	Agriculture/Residential (County)
East:	C-3; General Business	Mixed-Use Village Center
West:	AG/RR: Agriculture/Rural Reserve (County)	Single Family Residential, Vacant Land & Agricultural Land

Considerations

The petitioner is requesting to annex two (2) parcels totaling approximately 143 acres of land, located at 6140 N. Starnes Road and N. Starnes Road.

1. Indiana Code requirements (IC 36-4-3-5.1) for super voluntary annexation are:
 - a. Consent of 100% of the property owners within the area to be annexed.
 - b. At least one-eighth (1/8 or 12.5%) of the aggregate external boundary of the proposed annexation area must be contiguous with the existing city limits. A strip of land less than one hundred fifty (150) feet wide is not considered contiguous. (IC 36-4-3-1.5)
2. The proposed annexation area is 49.68% contiguous to the Town of Ellettsville and 100% of the property owners are parties to the petition.
3. The properties are currently zoned AG/RR, Agricultural Reserve, by Monroe County and is recommended to be designated as A-1, Agricultural, upon annexation.
4. The properties will be located in Council Ward 1.
5. The property is serviced by water. The annexation should not require any capital projects to extend services and any cost for extension of utilities is borne by the developer.
6. The Town will provide police, fire, EMS and other governmental services immediately upon annexation.

Plan Commission Action

The Plan Commission action shall be in the form of a *favorable, unfavorable, or no recommendation* to Town Council, which takes final action on the annexation petition.

Staff Recommendation

Staff recommends a *favorable recommendation* be forwarded to Town Council, with a recommended zoning of A-1, Agricultural, upon annexation.

Submitted by Denise Line
Director, Ellettsville Planning
April 4, 2024



Staff Photos





Town of Ellettsville

Department of Planning & Development

FISCAL PLAN

Umbarger Farms Annexation

Project Description

Location: 6140 N. Starnes Road

Starnes Road

Size: +/- 143 acres

Number of Parcels: 2

Current Zoning (Monroe County): AG/RR; Agricultural/Rural Reserve

Proposed Zoning: A-1; Agricultural

State Law Requirements

When pursuing an annexation, a municipality must comply with State law, as established in the statutes at I.C. 36-4-3 et seq., as amended. I.C. 36-4-3-1.5 sets forth the requirements for contiguity:

1. The aggregate external boundaries of the territory sought to be annexed are fifteen percent (15%) contiguous to the boundaries of the municipality;
 - a. A strip of land less than 150 wide does not count towards contiguity.

Additionally, Indiana Statute (IC 36-4-3-3.1) requires the Town of Ellettsville, the annexing municipality, to develop and adopt by resolution, a fiscal plan for extension of municipal services to the annexed area.

In the preparation of the annexation fiscal plan, as required by Indiana Code, the Town of Ellettsville has determined and compared the cost of providing non-capital and capital services to the annexation area, with the potential tax revenue generated by the developed parcel. The fiscal plan shall identify the following:

1. The cost estimates for planned services to be furnished to the property to be annexed;
2. The method or methods of financing the planned services;
3. The organization and extension of services;
4. That planned services of a non-capital nature, including police protection, fire protection, street and road maintenance, and other non-capital services normally provided within the corporate boundaries will be provided within one (1) year after the effective date of annexation;
5. Those services requiring capital improvements, including street construction, sewer facilities, water facilities, and stormwater drainage facilities, will be provided within three (3) years after the effective date of the annexation;
6. The estimated effect on taxpayers in the Town of Ellettsville;
7. The effect of annexation on the Town of Ellettsville finances;
8. The effect of annexation on other political subdivisions and taxpayers that are not part of the annexation; and

9. A list of all properties, property owners, parcel identification numbers and most recent assessed values for each parcel.

Contiguity

The property to be annexed by the Town of Ellettsville has a total border of 10,202 feet and is contiguous along 5,068 feet. The total percentage contiguous is 49.68%, meeting contiguity requirements of Indiana Code and will be zoned Agriculture 1; Agricultural.

Cost of Services Provided by the Town of Ellettsville to the Annexed Property

This report has been created for the purpose of estimating the potential fiscal impact of new development and annexations to the Town of Ellettsville. It is not intended to serve a specific budgetary purpose, but rather express estimated costs and benefits based on a set of level-of-service related assumptions.

Organization and Extension of Services

The Town of Ellettsville is committed to providing capital and non-capital services to the land proposed for annexation in the same manner as areas currently within Town limits, regardless of similarity. Non-capital services will be provided within one year of the completion of the annexation. Capital improvements, if any, will be provided within three years of the completion of the annexation. Any monetary figures presented here are merely estimates, subject to change. Many variables, including the rate and extent of future development, future property assessments, and fluctuations in the cost of providing various services are expected to have an influence.

1. Non-Capital Improvements:

The Town of Ellettsville Departments of Planning, Utilities, Stormwater, Police, Fire, EMS, Clerk/Treasurer, and Street will assume and retain immediate responsibility. There are little to no actual anticipated costs with the extension of these services and each of these services will be readily available within the one (1) year requirement.

2. Capital Improvements:

Capital improvements are those such as water, sanitary sewer, storm sewer and street maintenance projects that would be required for further development. Each of these utilities are currently located on or near the property and will not require any capital projects. Any new development of the property requiring utilities will be the responsibility of the developer. Other utilities such as natural gas, electric, cable, and telephone services are provided by private companies.

Financial Recommendations

The purpose of this section is to review and discuss the potential revenues for funding the increased costs for providing services to the annexation area.

1. Real Property Tax
 - a. The net assessed valuations of the parcels as of May 10, 2022, is \$265,600 will have very little impact the tax rate throughout town, and will have little effect on revenue. See 'Effect of Annexation' section for further information.
2. Personal Property Tax
 - a. There will likely not be personal property taxes associated with development of this parcel.

3. Local Income Tax (LIT)
 - a. On July 1st of each year, the Indiana Department of Revenue certifies a distribution of the Local Income Tax (LIT) for Monroe County. LIT is distributed based upon the proportionate share of the Town's budget levy in relation to the civil taxing units and school corporations within the county and is dependent on a number of variables including the budget levies of other taxing units in Monroe County and the estimated county income tax collection. The estimated LIT revenues to the Town attributable to the annexation cannot be determined.
4. Water/Sewer
 - a. There are no expected cost increases to the Town to provide these services.

Effect of Annexation

1. Estimated Effect on Taxpayers in Ellettsville
 - a. The estimated tax rate would increase from 0.5673 to 0.6169 in the year 2024, and would be expected to remain relatively similar for the next four (4) years.
 - b. The estimated change in tax levy per taxpayer will be minimal. The tax rate drop of 0.004 would amount to approximately \$16.00 per year for a \$200,000 home. The amount over four (4) years would be negligible.
 - c. The annexation will not require any increase in expenditures.
 - d. The annexation of this parcel should have no noticeable effects on service levels.
 - e. The annexation will have minimal to no effect on annual debt service payments.
2. Estimated Effect on Municipal Finances
 - a. The estimated levy increase due to the annexation is \$1,281.52. Estimated levy increases contributed to this annexation and a constant growth rate of 4.3% over the next four (4) years would be an increase of \$5,466.28 over this time period compared to the growth rate without annexation.
 - b. Any lowering of the tax levy will result in a slight reduction in the number of properties reaching the tax caps, and increase receivable revenue for the Town.
3. Estimated Effect on Other Political Subdivisions
 - a. There is no outstanding Monroe County debt tied to income taxes to consider.
 - b. The annexation will not be taking possession of any Monroe County infrastructure currently with outstanding debt.
 - c. Richland Township currently has \$38,475 of outstanding debt spread across three years to consider.
 - i. Ellettsville would be required to repay a total of \$1,393.78 over those five years to cover the amount lost from annexation. (See appendix for yearly totals)
 - d. There is a tax rate totaling 0.014430 for Richland Township fire that would result in approximately \$107 per year that would be lost due to annexation.
 - i. The resulting change in the tax rate for Richland Township fire related services could rise to 0.14430, resulting in a negligible increase to Richland Township residents in unincorporated areas of Monroe County.
 - e. The circuit breaker does not come into effect for this annexation.

Parcels to be Annexed

1. Parcel ID No. 53-04-05-400-004.000-011
 - a. Property Owner – Umbarger Farms LLP
 - b. Property Address – N. Starnes Road
 - c. Assessed Value (2023) - \$122,400

2. Parcel ID No. 53-04-05-400-003.000-011
 - a. Property Owner – Umbarger Farms LLP
 - b. Property Address – 6140 N. Starnes Road
 - c. Assessed Value (2022) - \$143,200

Other Considerations

1. The properties are currently zoned AG/RR; Agricultural/Rural Reserve by Monroe County and all will be designated as R-1; Single Family Residential
2. All of the properties will be assigned to Council Ward 1.

Summary

The purpose of this annexation is to bring two (2) parcels into the jurisdiction of the Town of Ellettsville. The fiscal plan for this property shows little impact on Town revenue, and the costs associated with this annexation are negligible. Overall, there should be a small, positive effect on Town finances. The effects on taxpayers outside of Ellettsville will be minimal. Therefore, Staff recommends that the Plan Commission send a favorable recommendation to Town Council for annexation with a recommended zoning of A-1; Agricultural.

Legal Description

Parcel No. 53-04-05-400-004.000-011

The Northwest Quarter of the Southeast Quarter of Section 5, Township 9 North, Range 2 West, containing 37 acres, more or less.

Parcel No. 53-04-05-400-003.000-011

The Northeast Quarter of the Southeast Quarter and the South Half of the Southeast Quarter of Section 5, Township 9 North, Range 2 West, containing 111 acres, more or less.



Appendix - Fire Levies & Township Debt

	2024 Certified Levy	2024 Certified Net Assessed Valuation	2024 Certified Gross Tax Rate
Richland Township			
FIRE	\$ 736,950	\$653,903,847	0.112700
CUMULATIVE FIRE (Township)	\$ 206,634	\$653,903,847	0.031600
Total Fire Tax Rate			0.14430
		NAV (Less Annexed Parcels)	Adjusted Tax Rate
Richland Township	Levy		
FIRE	\$ 662,831	\$ 653,638,247	0.101406
CUMULATIVE FIRE (Township)	\$ 179,789	\$ 653,638,247	0.027506
Adjusted Total Fire Tax Rate			0.12891
Adjusted Total Fire Tax Rate Increase			-0.01539

Richland Township - Outstanding Debt

Year	Principal	Interest	Total Outstanding Debt
2024	\$38,000	\$475	\$38,475
TOTAL	\$38,000	\$475	\$38,475
Debt Repayment Assessment - After Annexation			
Annexation Assessed Value	\$ 265,600		
Total Township Assessed Value	\$ 653,903,847		
Annex Factor	0.0004062		
2024 Debt Repayment	\$15.63	(annex factor * outstanding debt)	
Total Debt Repayment Due to Annexation	\$15.63		



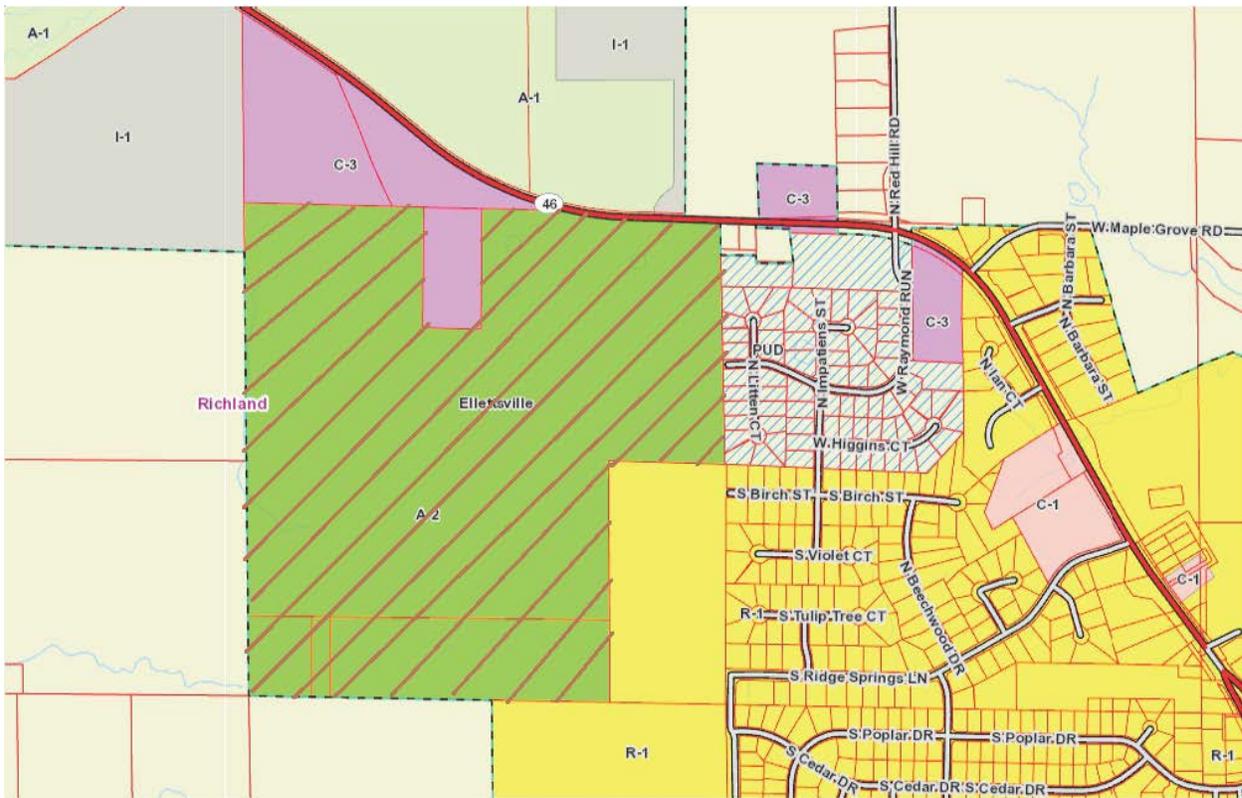
Town of Ellettsville

Department of Planning & Development

PC 24-14 – Harmon Farms, Phase 1 Staff Report

Petition

Case - PC 24-14 – Harmon Farms, Phase 1. A request by Chris Smith for consideration of pre-approval of the preliminary plat for the proposed Harmon Farms, Phase 1, subdivision. The subject property is located at 7633 W. State Road 46.



Zoning District	Property Use
North: C-3; General Commercial, A-1; Agricultural and I-1; Light Industrial	Religious Institution/Lifeway Baptist Church and Agricultural/Vacant Land/Smithville Communications and Industrial/Smithville Communications
South: R-1; Single Family Residential and AG/RR; Agricultural/Business-Industrial Overlay (County)	Agricultural/Richland Bean-Blossom Community School Corporation and Public Land/Well’s Water Park (Town of Ellettsville)
East: PUD; Planned Unit Development and R-1; Single Family	Litten Estates Subdivision
West: I-1; Light Industrial and AG/RR; Agricultural/Business-Industrial Overlay (County)	Light Industrial/KeHe and Agricultural

Considerations

1. The applicant is requesting preliminary plat pre-approval of approximately 151 lots totaling 115 acres in Phase 1 of the Harmon Farms Subdivision. Please note, Harmon Farms has not yet been designated as a subdivision.
2. The parcel is zoned Commercial-3; General Business.
3. The subdivision will have a temporary construction entrance accessed from W. State Road 46.
4. New infrastructure will be constructed to Town requirements.
5. The Tech Review Committee met on March 19th at Town Hall. Comments received from Town Departments are attached. All items have been or will be addressed by the date of the meeting.
6. A letter of credit will be required to cover any outstanding items from Tech Review and for erosion control.

Notes

The Petitioner is requesting pre-approval of the preliminary plat for Phase 1 of the Harman Farms subdivision.

The request for pre-approval is to allow the issuance of a grading permit so the Petitioner can begin infrastructure and rough-in streets and a multi-use path. Before the grading permit can be issued, Petitioner is to provide an INDOT permit for a temporary construction entrance at W. State Road 46. Grading of Phase 1 will include a connection on Harman Farms to Sycamore Drive. Petitioner will begin grading for this connection on his parcel only.

As a side note, Petitioner will construct the entire connection to Sycamore Drive from Harmon Farms to the school and will return to the Plan Commission for approval as well as going through tech review. Construction of the Sycamore Drive connection on property owned by the Richland-Bean Blossom Community School Corporation will require approval from the Parks Board, an easement for the use of park land and Plan Commission approval.

Lots will not be sold, structures cannot be constructed and building permits will not be issued. There are items on the preliminary plat that are not in compliance with Town Code. Therefore, Petitioner will be seeking variances from the Board of Zoning Appeals. Before the Petitioner can seek formal approval of the preliminary plat, approval of variances from the Board of Zoning Appeals and a traffic study will have to be provided. All easements are to be shown on the preliminary plat when Petitioner seeks formal approval from the Plan Commission.

Plan Commission Action

The Plan Commission action on the preliminary plat pre-approval can be in the form of approval, approval with conditions, denial or to continue the hearing. The Plan Commission has the final say in these matters.

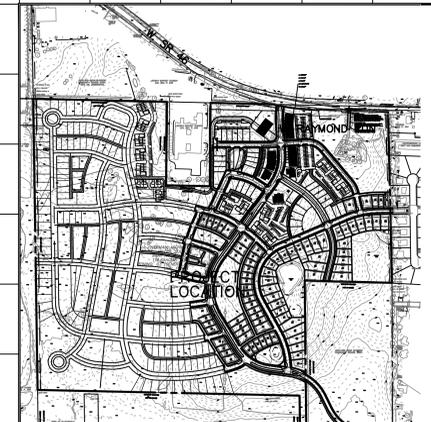
Staff Recommendation

It is of Staff opinion that the proposed pre-approval of the preliminary will provide what is needed for the Petitioner to begin grading. Therefore, Staff requests pre approval of the preliminary plat with the following conditions are to be met before grading begins:

1. Approval and issuance of a grading permit. All required documentation shall be included with the grading permit as well as an erosion control bond; and
2. Provide a copy of the temporary construction entrance permit from INDOT.

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429



LOCATION MAP
NOT TO SCALE

INDEX

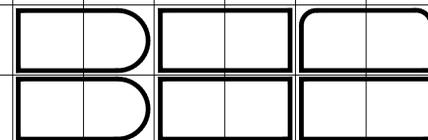
SHEET NO.	DESCRIPTION
C101	GENERAL NOTES AND LEGENDS
C201	OVERALL SITE PLAN
C301 - C305	ENLARGED SITE PLAN
C401 - C405	ENLARGED GRADING, DRAINAGE, & UTILITY PLAN
C501 - C502	LANDSCAPE PLAN
C601	TYPICAL ROAD CROSS SECTIONS
C602	SITE AND UTILITY DETAILS
C603	DRAINAGE DETAILS
C701 - C704	STORMWATER POLLUTION PREVENTION PLAN, INFORMATION AND DETAILS
C801 - C817	ROADWAY GRADING PLAN & PROFILE



DIAL '811' BEFORE YOU DIG
PER INDIANA STATE LAW IC8-1-26.
IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

UTILITY CONTACT INFORMATION

GAS	SEWER AND WATER	ELECTRIC
CENTERPOINT ENERGY 4001 PROGRESS WAY SELETSBURG, IN 47172 JOEL BOSER (812)948-4902	TOWN OF ELLETTSVILLE UTILITIES 1150 W. GUY MCCORMY DRIVE ELLETTSVILLE, IN 47429 JEFF FARMER (812)327-1958	SOUTH CENTRAL INDIANA REMC 300 MARTIN AVENUE MARTINSVILLE, INDIANA 46151 TOM SCHOOLCRAFT (795)342-3344
TELEPHONE	CABLE TELEVISION	UNDERGROUND UTILITY LOCATION
SMITHVILLE 1600 W. TEMPERANCE STREET ELLETTSVILLE, IN 47429 (812)876-2211	COMCAST 2450 SOUTH HENDERSON STREET BLOOMINGTON, IN 47404 50011 TEMPLETON (812)355-7822	INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5544



BYNUM FANYO & ASSOCIATES, INC.

architecture
civil engineering
planning

528 north walnut st. bloomington, indiana 47404 (812) 332-8030

OWNER/DEVELOPER
CHRIS SMITH
3695 S. SARE ROAD
BLOOMINGTON, IN 47401

THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, TOWN OF SPENCER SEWER & BEAN BLOSSOM PATRICKSBURG WATER CORP. STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS



certified by:
JEFFREY S. FANYO, P.E.
IND. REG. NO. 60018283

revisions



revisions:

SCALE: 1"=100'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
**HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: OVERALL SITE LAYOUT

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C201
project no.: 402329

NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

HARMON, MICHAEL A. & JULIA L. MILLER
INST. NO. 2011-001787
118.65A(1)(M)
ZONING: C3 (GENERAL COMMERCIAL)
USE: F-1

SEE ENLARGED PLAN - SHEET C301

SEE ENLARGED PLAN - SHEET C303

SEE ENLARGED PLAN - SHEET C305

SEE ENLARGED PLAN - SHEET C302

SEE ENLARGED PLAN - SHEET C304



revisions:

 SCALE: 1"=100'

BEB
 BYNUM FANTO & ASSOCIATES, INC.
 528 north walnut street
 (812) 332-8030

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

bloomington, Indiana
 (812) 339-2990 (Fax)

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
 7366 W. STATE ROAD 46
 ELLETTTSVILLE, INDIANA 47429

title: OVERALL SITE LAYOUT
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C201
 project no.: 402329

NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



EXISTING LEGEND

EXISTING FENCE	---
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	---XXX---
FLOW LINE	→
EXISTING SANITARY SEWER AND MANHOLE	— S —
EXISTING STORM SEWER AND INLET	— S —
PROPERTY LINE	---

GENERAL LEGEND

---	PROPERTY LINE
---	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

SITE IMPROVEMENT LEGEND

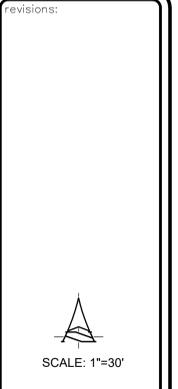
(A)	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A2)	PROPOSED 'HEAVY DUTY' ROAD BITUMINOUS PAVING
(C)	PROPOSED REINFORCED CONCRETE PAVING
(F)	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
(PP)	PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
(13)	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
(21)	PROPOSED PARKING MARKING, PAINTED, SOLID, WHITE, 4" WIDE
(21A)	PROPOSED ADA PARKING MARKING, PAINTED, SOLID, BLUE - REFER TO DETAIL
(R)	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP - REFER TO INDOT STANDARD DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
(R)	PROPOSED 'INDOT' SIDEWALK ACCESSIBLE RAMP - REFER TO INDOT STANDARD DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
(S)	PROPOSED STOP BAR PAVEMENT MARKING, THERMOPLASTIC, SOLID, WHITE, 24" WIDE, 10' LONG FROM CENTER LINE OF ROAD AS INDICATED, 4' SEPARATION FROM CROSSWALK MARKINGS
(S)	PROPOSED CROSSWALK PAVEMENT MARKING, THERMOPLASTIC, SOLID, 6" WIDE, WHITE, WIDTH TO MATCH SIDEWALK, SEE PLAN (CROSSWALK PER INDOT STANDARD 808.07)
(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

PARKING SPACE TABLE

ON-STREET PARKING SPACES - 150 SPACES
ON-STREET ADA PARKING SPACES - 11 SPACES
TOTAL ON-STREET PARKING SPACES - 161 SPACES

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: ENLARGED SITE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C301
project no: 402329



EXISTING LEGEND

EXISTING FENCE	— X — X — X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	— XXX —
FLOW LINE	—>>>—
EXISTING SANITARY SEWER AND MANHOLE	— S —
EXISTING STORM SEWER AND INLET	— SI —
PROPERTY LINE	— P —

GENERAL LEGEND

— P —	PROPERTY LINE
— P —	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
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E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A2)	PROPOSED 'HEAVY DUTY' ROAD BITUMINOUS PAVING
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(I)	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
(PP)	PROPOSED ROAD PAVEMENT PATCH - REFER TO DETAIL
(13)	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
(21)	PROPOSED PARKING MARKING, PAINTED, SOLID, WHITE, 4' WIDE
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(SR)	PROPOSED CROSSWALK PAVEMENT MARKING, THERMOPLASTIC, SOLID, 6" WIDE, WHITE, 10' LONG FROM CENTER LINE OF ROAD AS INDICATED, 4' SEPARATION FROM CROSSWALK MARKINGS
(R-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
Bloomington, Indiana
(812) 339-2990 (Fax)

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: ENLARGED SITE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C302
project no: 402329

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



EXISTING LEGEND

EXISTING FENCE	-X-X-X-
EXISTING WATER LINE	-W-
EXISTING OVERHEAD UTILITY LINES	-OHU-
EXISTING UNDERGROUND ELECTRIC LINES	-UGE-
EXISTING UNDERGROUND TELEPHONE LINES	-UGT-
EXISTING UNDERGROUND FIBER OPTIC LINES	-FO-
EXISTING GAS LINE	-GAS-
EXISTING SANITARY FORCEMAIN	-FM-
EXISTING CONTOUR	-XXX-
FLOW LINE	->>>-
EXISTING SANITARY SEWER AND MANHOLE	-SS&M-
EXISTING STORM SEWER AND INLET	-SSI-
PROPERTY LINE	- - - - -

GENERAL LEGEND

- - - - -	PROPERTY LINE
----	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(C)	PROPOSED 'HEAVY DUTY' ROAD BITUMINOUS PAVING
(C)	PROPOSED REINFORCED CONCRETE PAVING
(I)	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
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(13)	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
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(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

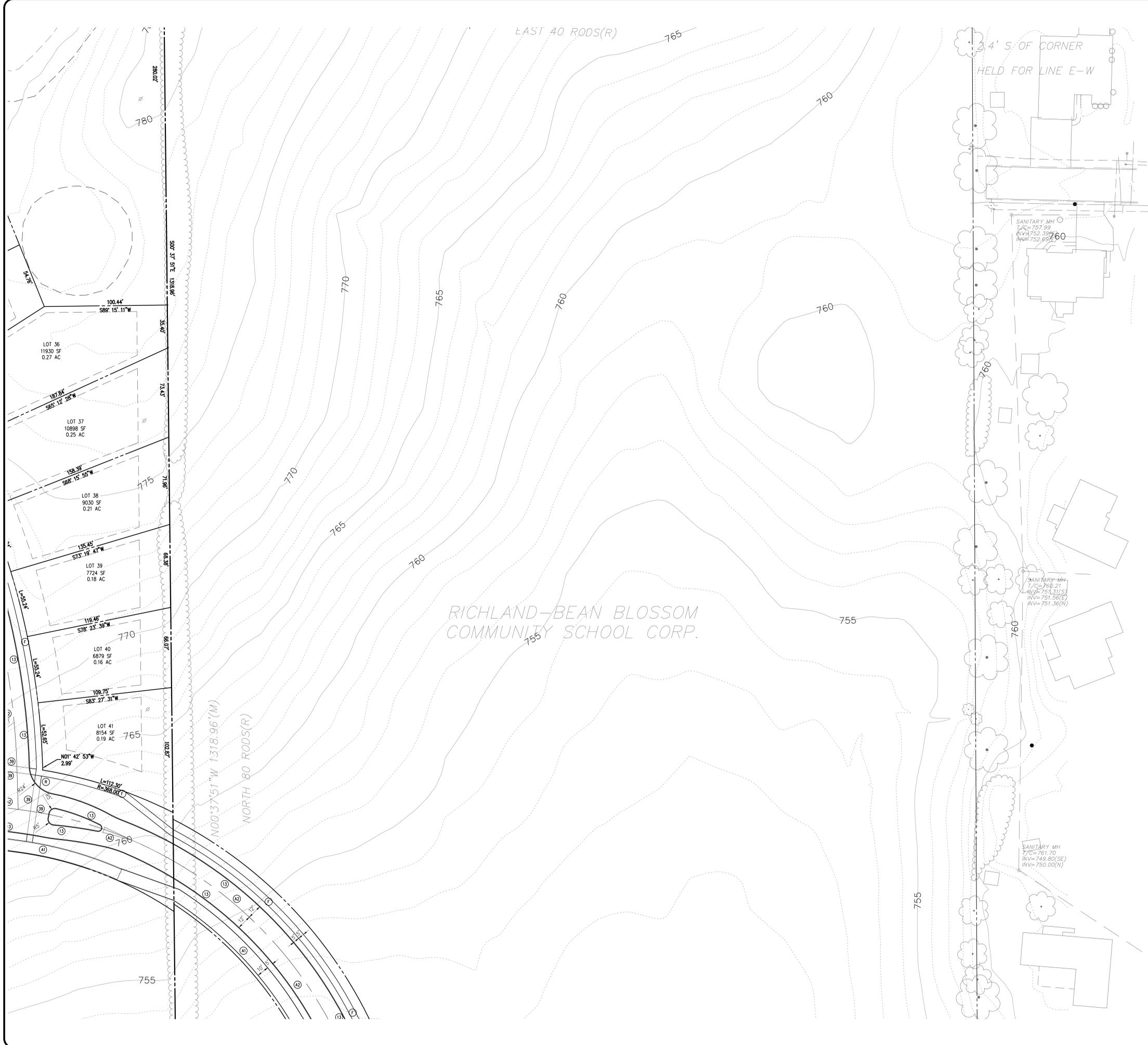
certified by:

**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**
7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: ENLARGED SITE

NOTE TO CONTRACTOR
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designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C303
project no.: 402329



EXISTING LEGEND

EXISTING FENCE	— X X X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	— XXX —
FLOW LINE	—>>>—
EXISTING SANITARY SEWER AND MANHOLE	— S—○—
EXISTING STORM SEWER AND INLET	— S—□—
PROPERTY LINE	— - - - —

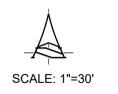
GENERAL LEGEND

— - - - —	PROPERTY LINE
— - - - —	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
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SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING
(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A1)	PROPOSED 'HEAVY DUTY' ROAD BITUMINOUS PAVING
(C)	PROPOSED REINFORCED CONCRETE PAVING
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(13)	PROPOSED 6 IN STANDING CURB - REFER TO DETAIL
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(R1-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

revisions:



ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

certified by:

**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**

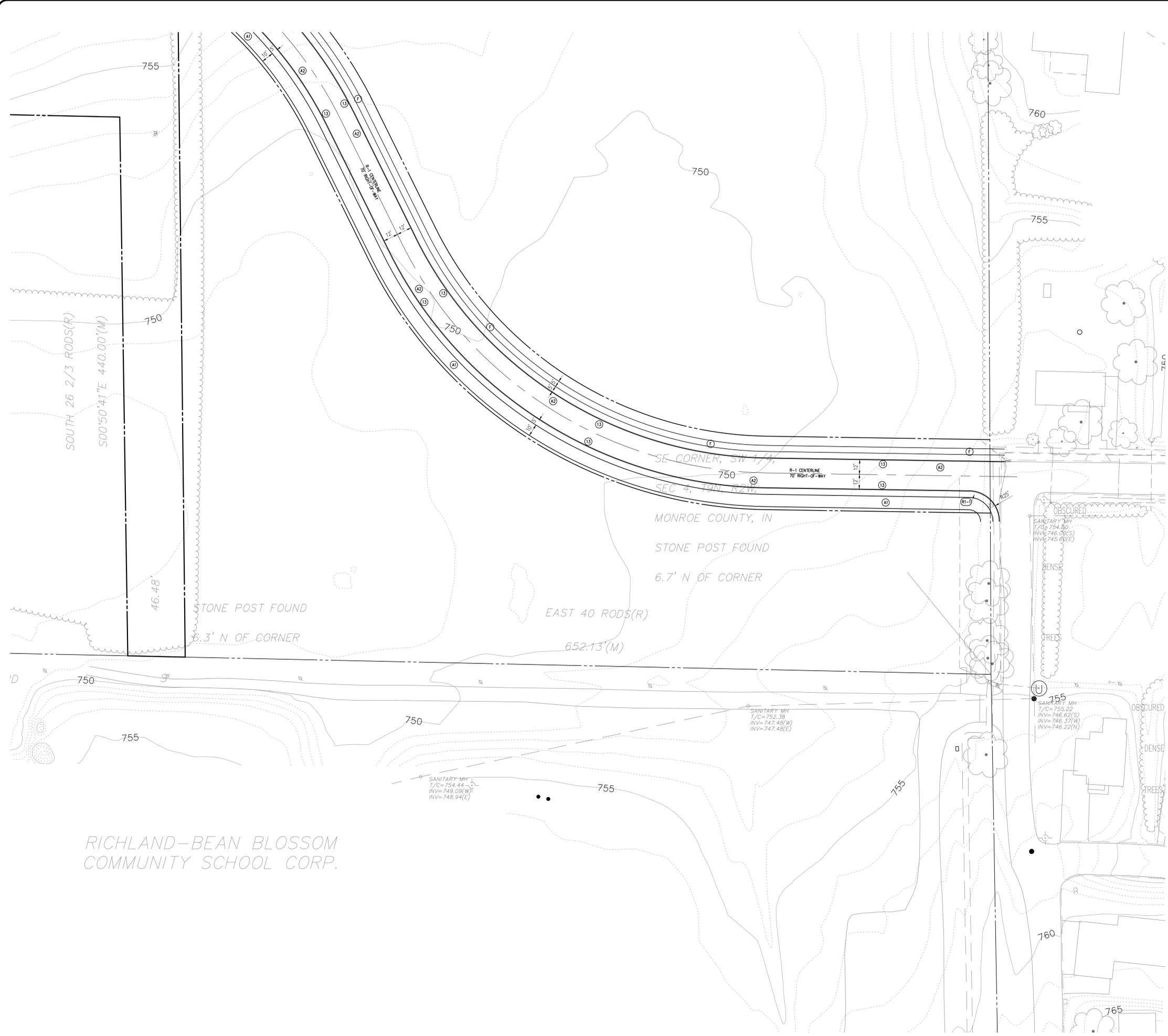
7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: ENLARGED SITE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C304
project no: 402329

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



EXISTING LEGEND

EXISTING FENCE	— X X X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	— XXX —
FLOW LINE	—>>>—
EXISTING SANITARY SEWER AND MANHOLE	— ○ —
EXISTING STORM SEWER AND INLET	— □ —
PROPERTY LINE	— - - - —

GENERAL LEGEND

— — — — —	PROPERTY LINE
— — — — —	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

SITE IMPROVEMENT LEGEND

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(A1)	PROPOSED 10' MULTI-USE PATH - REFER TO DETAIL
(A1)	PROPOSED 'HEAVY DUTY' ROAD BITUMINOUS PAVING
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(F)	PROPOSED CONCRETE SIDEWALK - REFER TO DETAIL
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(RT-1)	PROPOSED INDOT 30 IN. X 30 IN. ROAD STOP SIGN

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: ENLARGED SITE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C305
project no: 402329

NOTE TO CONTRACTOR
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RICHLAND-BEAN BLOSSOM
COMMUNITY SCHOOL CORP.



EXISTING LEGEND

EXISTING FENCE	— X — X — X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	— XXX —
FLOW LINE	—>>>—
EXISTING SANITARY SEWER AND MANHOLE	— S —
EXISTING STORM SEWER AND INLET	— S —
PROPERTY LINE	— — — —

GENERAL LEGEND

— — — —	PROPERTY LINE
— — — —	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
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G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGEND

PROPOSED PUBLIC WATER LINE MAIN, AWWA C900 — X" W —
 PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTING. CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT. 48" COVER MAIN.

PROPOSED PRIVATE DOMESTIC SERVICE LINE: FOR 2" HIGH OR LESS SERVICE LINES FROM THE "WS" TO THE METER SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR35 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE "WS" TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS. 48" COVER MAIN. REFER TO THE "T" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.

PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.

PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601.

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE - REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

PROPOSED ASTM D3034 SDR 35 PVC 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS, 24" COVER MAIN. REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS. LEAVING PROPOSED BUILDING AT 10% MIN. TO CONNECTION TO EXISTING SANITARY MAIN AS SHOWN ON THE PLAN - REFER TO CONNECTION DETAIL. BACKFILL DETAIL OF PROPOSED PIPING AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. NOTE: PROPOSED SANITARY MAIN SHALL BE MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE.

NOTE: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

GRADING/DRAINAGE LEGEND

EXISTING CONTOUR	— XXX —
PROPOSED CONTOUR	— (XX) —
PROPOSED INTENDED FLOWLINE DIRECTION	— FL —
PROPOSED SPOT GRADE ELEVATION	— XXX.XX —
TC=PROPOSED TOP OF CURB ELEVATION	— TC=XXX.XX —
EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	— EP=XXX.XX —
MINIMUM FINISH FLOOR ELEVATION	FF=XXX.XX
MINIMUM FINISH EARTH BUILDING PAD ELEVATION, LOWEST HOME CHAIR SPACE FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE	EP=XXX.XX
MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJUSTED TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	ME=XXX.XX
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	— U" C.O. —
PROPOSED DUAL WALL TYPE "S" HOPE PERFORATED STORM PIPE UNDERDRAIN WITH 50%X 50% SPACED 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS, REFER TO POND DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.	— U" C.O. —
STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILLATION AND FOR GROWING GRASSES. SEE SHEET C602 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILS ON SHEET C602. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	— U" C.O. —

NOTE TO CONTRACTOR

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revisions:

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

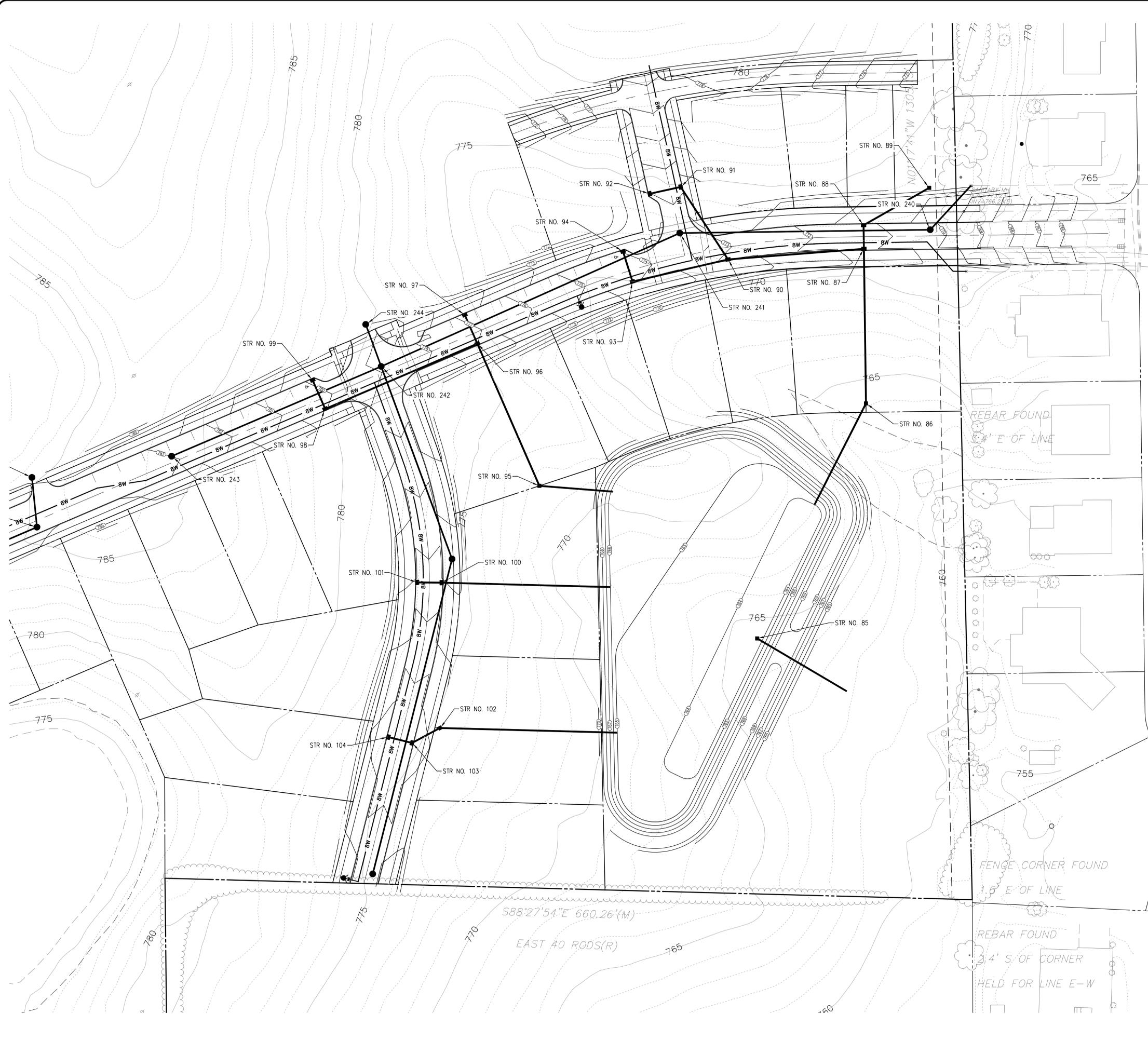
B&B
 BYNUM FAYNOT & ASSOCIATES, INC.
 528 north walnut street
 (812) 332-8030

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
 7466 W. STATE ROAD 46
 ELLETTSVILLE, INDIANA 47429

title: GRADING, DRAINAGE, & UTILITY PLAN

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C401
 project no: 402329



EXISTING LEGEND

EXISTING FENCE	---
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX
FLOW LINE	---
EXISTING SANITARY SEWER AND MANHOLE	---
EXISTING STORM SEWER AND INLET	---
PROPERTY LINE	---

GENERAL LEGEND

---	PROPERTY LINE
---	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGEND

PROPOSED PUBLIC WATER LINE MAIN, AWWA C900 12" W PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING. EXISTING WATER MAIN SHALL BE PRESENT TO REMAIN UNDISTURBED. CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT. 48" COVER MIN.

PROPOSED DOMESTIC SERVICE LINE: FOR 1/2" OR LESS SERVICE LINES FROM THE "MS" TO THE METER SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 P4710, ASTM D2737, CTS SDRP P250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE "MS" TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS. 48" COVER MIN. REFER TO THE "P" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.

PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.

PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C501

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE - REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

PROPOSED ASTM D3034 SDR 35 PVC 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS. 24" COVER MIN. REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS. LEAVING PROPOSED BUILDING AT 1.0E MIN. TO CONNECTION TO EXISTING SANITARY MAIN AS SHOWN ON THE PLAN - REFER TO CONNECTION DETAIL, BACKFILL DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. NOTE: PROPOSED SANITARY MAIN SHALL BE CONSTRUCTED AS A PART OF THIS PROJECT IS TO BE PUBLIC AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE.

NOTE: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

GRADING/DRAINAGE LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INTENDED FLOWLINE DIRECTION
XXX.XX	PROPOSED SPOT GRADE ELEVATION
TC=XXX.XX	PROPOSED TOP OF CURB ELEVATION
EP=XXX.XX	PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
FF=XXX.XX	MINIMUM FINISH FLOOR ELEVATION
FP=XXX.XX	MINIMUM FINISH EARTH BUILDING PAD ELEVATION, LOWEST HONE CHAMBER FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB
EP=XXX.XX	FINISH EDGE OF PAVEMENT AT GRADE
MEG=XXX.XX	MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJUSTMENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES
---	PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS
---	PROPOSED DUAL WALL TYPE "S" HOPE PERFORATED STORM PIPE UNDERDRAIN WITH 50XK SANDPAD AT 1.0E MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C502. REFER TO PLAN FOR LOCATIONS, REFER TO POND DETAILS ON SHEET C502 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.
---	STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C502 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C502. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEBB
BYNUM FAYNOTO & ASSOCIATES, INC.
528 north walnut street
Bloomington, Indiana
(812) 339-2990 (Fax)
(812) 332-8030

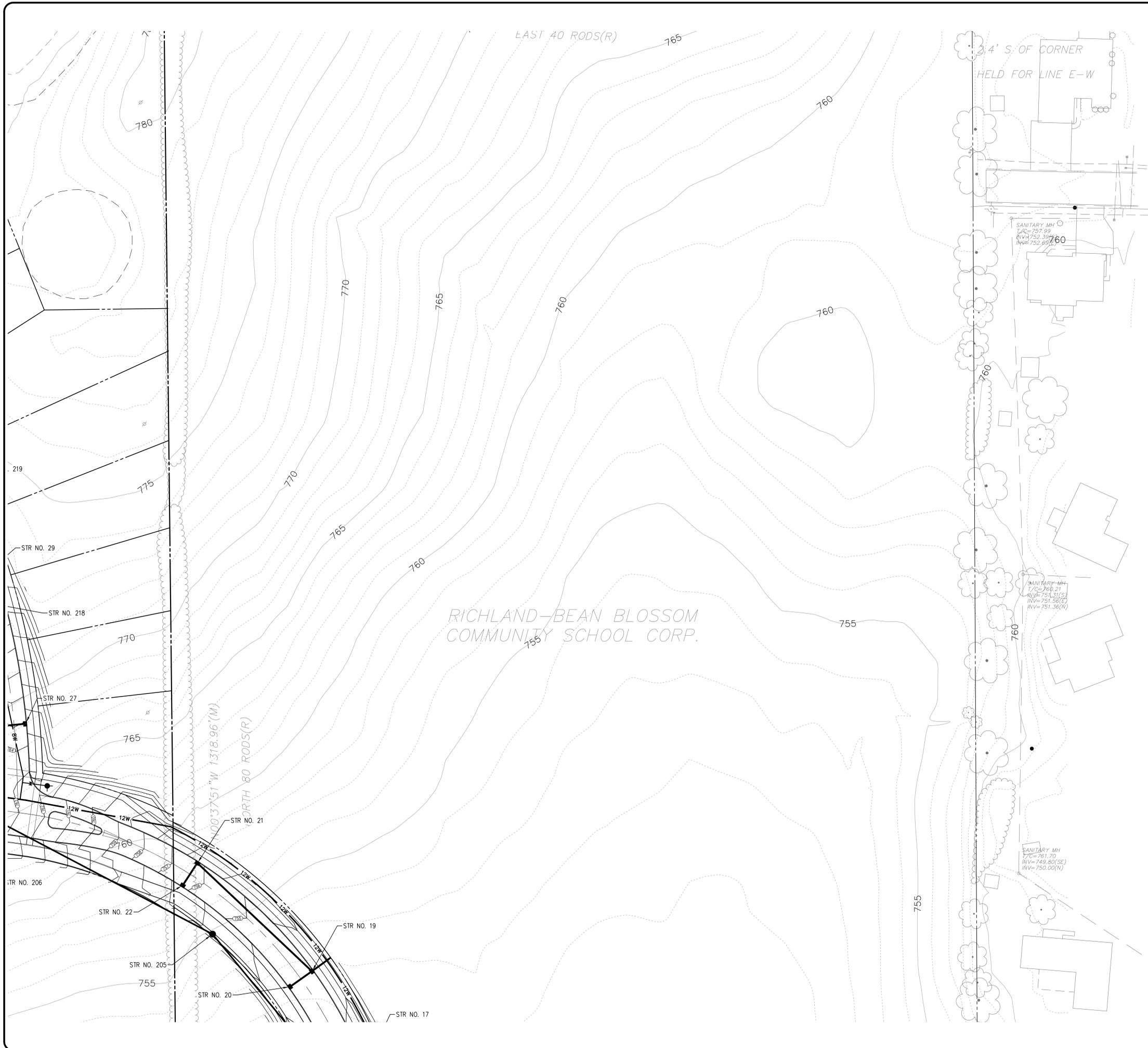
certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C402
project no.: 402329

title: GRADING, DRAINAGE, & UTILITY PLAN



RICHLAND-BEAN BLOSSOM
COMMUNITY SCHOOL CORP.

EXISTING LEGEND

EXISTING FENCE	---
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX
FLOW LINE	---
EXISTING SANITARY SEWER AND MANHOLE	---
EXISTING STORM SEWER AND INLET	---
PROPERTY LINE	---

GENERAL LEGEND

---	PROPERTY LINE
---	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGEND

PROPOSED PUBLIC WATER LINE MAIN, AWWA C900 12" W PVC AND FITTINGS, REFER TO MECHANICAL JOINT RESTRAINT DETAIL. NOTE: PUBLIC WATER MAIN SHALL BE FULLY CONSTRUCTED AND TESTED AS SHOWN. TOWN OF ELLETTSVILLE UTILITIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO TAPPING EXISTING WATER MAIN AND SHALL BE PRESENT TO WITNESS PRESSURE TESTING. CONTRACTOR TO COORDINATE WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT, 48" COVER MAN.

PROPOSED PRIVATE DOMESTIC SERVICE LINE: FOR 2-INCH OR LESS SERVICE LINES FROM THE "MSL" TO THE METER SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 P4710, ASTM D2757, CTS SDR35 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE "MSL" TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS, 48" COVER MAN. REFER TO THE "P" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.

PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.

PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C501

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE - REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

PROPOSED ASTM D3034 SDR 35 PVC 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS, 24" COVER MAN. REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS. LEAVING PROPOSED BUILDING AT 10% MIN. TO CONNECTION TO EXISTING SANITARY MAIN AS SHOWN ON THE PLAN. REFER TO CONNECTION DETAIL, BACKFILL DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. NOTE: PROPOSED SANITARY MAIN SHALL BE A PART OF THIS PROJECT IS TO BE PUBLIC AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE.

NOTE: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

GRADING/DRAINAGE LEGEND

EXISTING CONTOUR	XXX
PROPOSED CONTOUR	---
PROPOSED INTENDED FLOWLINE DIRECTION	FLD
PROPOSED SPOT GRADE ELEVATION	XXX.XX
TC=PROPOSED TOP OF CURB ELEVATION	TC=XXX.XX
EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	EP=XXX.XX
MINIMUM FINISH FLOOR ELEVATION	FF=XXX.XX
MINIMUM FINISH EARTH BUILDING PAD ELEVATION, LOWEST HOME CHAIRS FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB	FP=XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE	EP=XXX.XX
MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJUSTED TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG=XXX.XX
PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS	---
PROPOSED DUAL WALL TYPE "S" HOPE PERFORATED STORM PIPE UNDERDRAIN WITH 50% SAND AT 10% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C502. REFER TO PLAN FOR LOCATIONS, REFER TO POND DETAILS ON SHEET C502 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.	---
STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C502 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C502. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS	---

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.

bloomington, Indiana
528 north walnut street
(812) 339-2990 (Fax)
(812) 332-8030

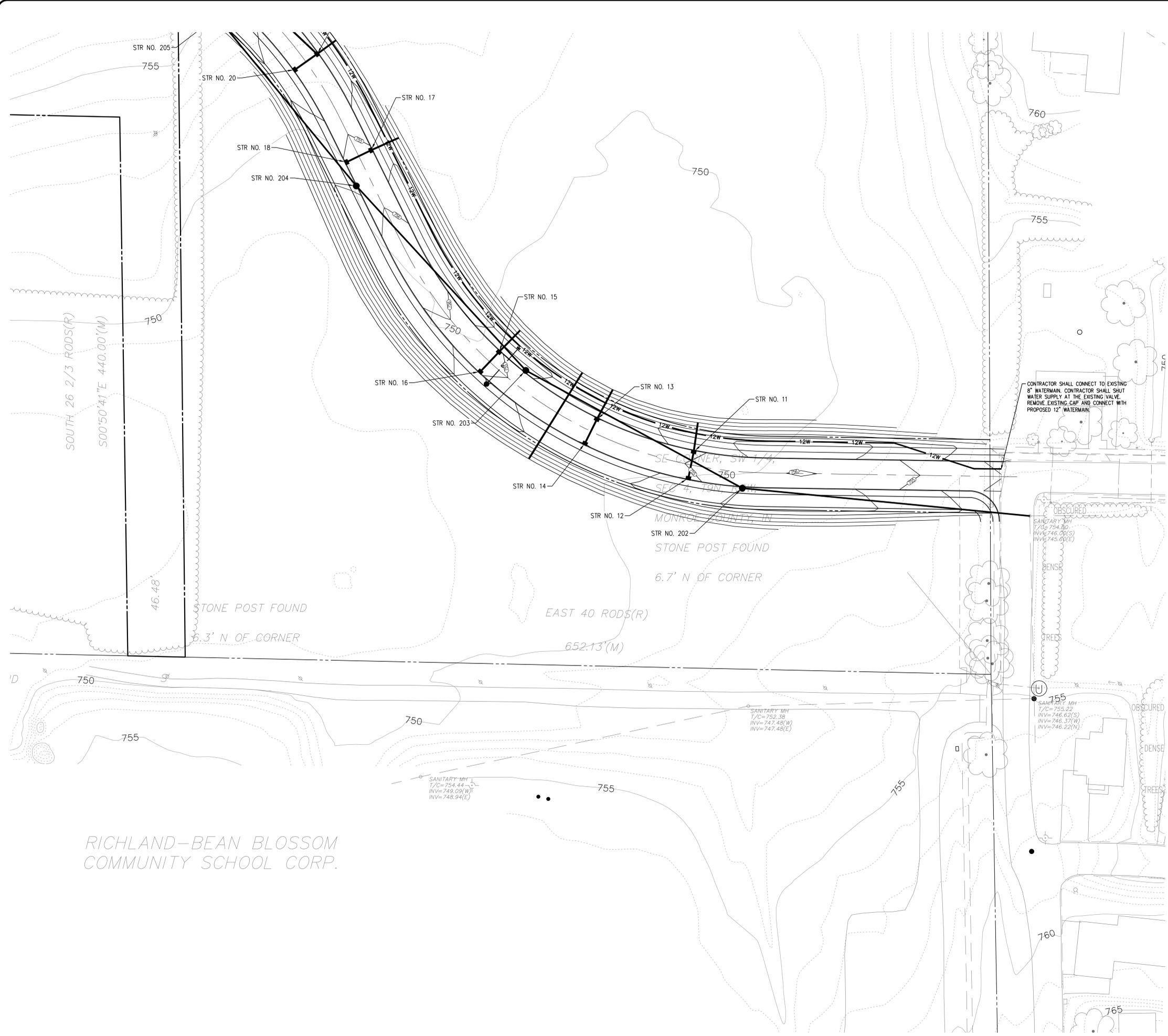
certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: GRADING, DRAINAGE, & UTILITY PLAN

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C404
project no: 402329



EXISTING LEGEND

EXISTING FENCE	---
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX
FLOW LINE	---
EXISTING SANITARY SEWER AND MANHOLE	---
EXISTING STORM SEWER AND INLET	---
PROPERTY LINE	---

GENERAL LEGEND

---	PROPERTY LINE
---	PROPERTY LINE
XXX/XXX	DEED BOOK AND PAGE
T.B.R.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

UTILITY LEGEND

PROPOSED PUBLIC WATER LINE MAIN, AWWA C900 12" W

FOR 2-INCH OR LESS SERVICE LINES FROM THE "MSL" TO THE METER SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR35 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE "MSL" TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS. 48" COVER MAN. REFER TO THE "P" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.

PROPOSED PRIVATE DOMESTIC SERVICE LINE: FOR 2-INCH OR LESS SERVICE LINES FROM THE "MSL" TO THE METER SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR35 PC250 (NSF 61). A SINGLE SERVICE LINE WILL BE USED FROM THE "MSL" TO THE METER OR DOUBLE METER. USE SDR-21 AND FITTINGS FOR DOMESTIC WATER SERVICE LINES FROM THE METER TO THE BUILDINGS. 48" COVER MAN. REFER TO THE "P" SERIES DRAWINGS FOR MORE INFORMATION AND FINAL SIZE DETERMINATION.

PROPOSED WATER VALVE - COORDINATE VALVE TYPE WITH EASTERN HEIGHTS UTILITIES, INC.

PROPOSED FIRE HYDRANT, REFER TO DETAILS ON SHEET C601

PROPOSED WATER MAIN AIR RELEASE VALVE AND STRUCTURE - REFER TO DETAIL. AIR RELEASE VALVE SHALL BE CONSTRUCTED AT ALL HIGHPOINTS IN WATERLINE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

SINGLE METER PIT WITH SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

DOUBLE METER PIT SERVICE LINE, COORDINATE SIZE, TYPE, AND LOCATION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT.

PROPOSED ASTM D3034 SDR 35 PVC 6" MIN. SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT, REFER TO DETAILS. 24" COVER MAN. REFER TO PLUMBING PLAN FOR PROPOSED INVERT ELEVATIONS. LEAVING PROPOSED BUILDING SLABS AT 1.0% MIN. TO CONNECTION TO EXISTING SANITARY MAIN AS SHOWN ON THE PLAN. REFER TO CONNECTION DETAIL, BACKFILL DETAIL OF PROPOSED PIPING, AND CLEANOUT DETAIL. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PARTS ARE ORDERED AND WORK HAS COMMENCED.

PROPOSED ASTM D3034 SDR 35 PVC SANITARY SEWER MAIN PIPING AND MANHOLES, REFER TO PROFILES, PLAN AND DETAILS. NOTE: PROPOSED SANITARY MAIN SHOWN AS A PART OF THIS PROJECT IS LOWER PUBLIC AND MAINTAINED BY TOWN OF ELLETTSVILLE UTILITIES AFTER CONSTRUCTION IS COMPLETE.

NOTE: ALL WATER, STORM, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITY SPECIFICATIONS.

NOTE: CONTRACTOR SHALL COORDINATE WATER, STORM, AND SANITARY SEWER CONSTRUCTION WITH TOWN OF ELLETTSVILLE UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. CONTACT: (812)327-8030

GRADING/DRAINAGE LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INTENDED FLOWLINE DIRECTION
XXX.XX	PROPOSED SPOT GRADE ELEVATION
TC=XXX.XX	TC=PROPOSED TOP OF CURB ELEVATION
EP=XXX.XX	EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
FF=XXX.XX	MINIMUM FINISH FLOOR ELEVATION
FP=XXX.XX	MINIMUM FINISH EARTH BUILDING PAD ELEVATION, LOWER THAN CHAMBER FLOOR ELEVATION OR LOWEST EARTH GRADE ELEVATION ADJACENT TO HOME CONCRETE FLOOR SLAB
EP=XXX.XX	FINISH EDGE OF PAVEMENT AT GRADE
MEG=XXX.XX	MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJUSTMENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES
---	PROPOSED STORM PIPE AND INLET/MANHOLE, REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER TOWN OF ELLETTSVILLE STANDARDS
---	PROPOSED DUAL WALL TYPE "S" HOPE PERFORATED STORM PIPE UNDERDRAIN WITH 50% SAND SUPPORT 1.0% MIN. TO OUTLET CONTROL STRUCTURE AS INDICATED ON SHEET C602. REFER TO PLAN FOR LOCATIONS, REFER TO POND DETAILS ON SHEET C602 FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL.
---	STORMWATER QUALITY POND SOIL MIXTURE LIMITS: THIS IS FOR FILTRATION AND FOR GROWING GRASSES. SEE SHEET C602 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE INCLUDING UNDERDRAINS FOR PONDS AS DETAILED ON SHEET C602. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL SHADED AREAS

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

SCALE: 1"=30'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

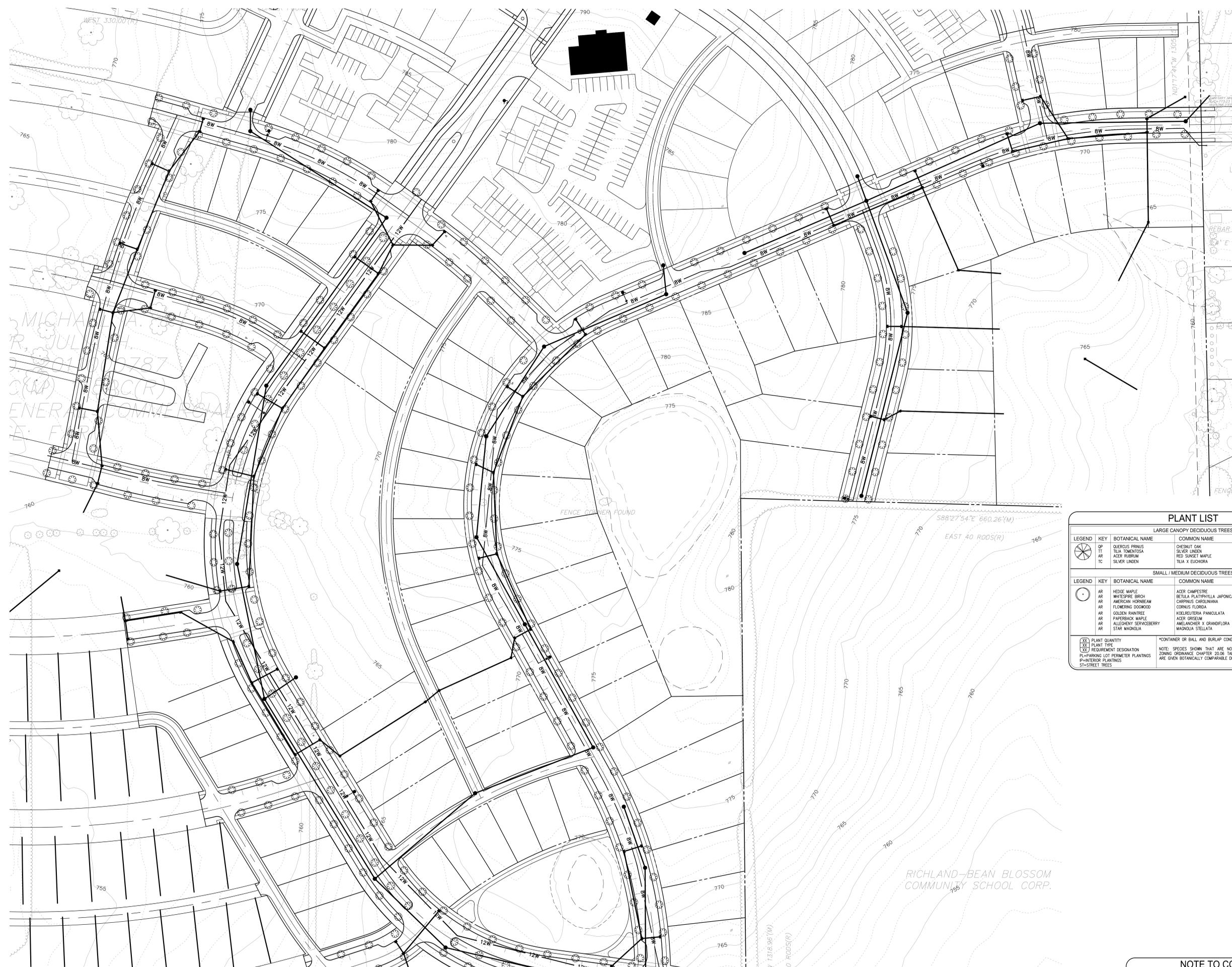
BEB
BYNUM FANTO & ASSOCIATES, INC.
Bloomington, Indiana
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C405
project no.: 402329

RICHLAND-BEAN BLOSSOM
COMMUNITY SCHOOL CORP.



revisions:

SCALE: 1"=50'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

bloomington, Indiana
(812) 339-2990 (Fax)

PLANT LIST					
LARGE CANOPY DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	OP	QUERCUS PRINUS	CHESNUT OAK	28	2" CAL. B & B
	TT	TIKA TOMENTOSA	SILVER LINDEN	28	2" CAL. B & B
	AR	ACER RUBRUM	RED SUNSET MAPLE	28	1" CAL. B & B
	TC	SILVER LINDEN	TIKA X EUCHORA	28	2" CAL. B & B
SMALL / MEDIUM DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	AR	HEIDE MAPLE	ACER CAMPESTRIS	28	2" CAL. B & B
	AR	WINTERBROOK	BETULA PLATYPHYLLA JAPONICA	28	2" CAL. B & B
	AR	AMERICAN HORSEBEAM	CARPINUS CAROLINIANA	28	2" CAL. B & B
	AR	FLOWERING DOGWOOD	CORNUS FLORIDA	29	2" CAL. B & B
	AR	GOLDEN RAIN TREE	KOELBUTERA PANICULATA	29	2" CAL. B & B
	AR	PAPERBACK MAPLE	ACER GRISEUM	29	2" CAL. B & B
	AR	ALLEGHENY SERVICEBERRY	AMELANCHIER X GRANDIFLORA	29	2" CAL. B & B
	AR	STAR MAGNOLIA	MAGNOLIA STELLATA	29	2" CAL. B & B

PLANT QUANTITY
 PLANT TYPE
 REQUIREMENT DESIGNATION
 PL=PARKING LOT PERIMETER PLANTINGS
 P=INTERIOR PLANTINGS
 ST=STREET TREES

*CONTAINER OR BALL AND BURLAP CONDITION ACCEPTABLE
 NOTE: SPECIES SHOWN THAT ARE NOT LISTED IN THE CITY OF BLOOMINGTON ZONING ORDINANCE CHAPTER 20.08 TABLES OF RECOMMENDED PLANT MATERIALS ARE GIVEN BOTANICALLY COMPARABLE DENSITY VALUES.

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTTSVILLE, INDIANA 47429

title: LANDSCAPE PLAN

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C501
project no.: 402329



PLANT LIST					
LARGE CANOPY DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
○	QP	QUERCUS PRINUS	CHESNUT OAK	28	2" CAL. B & B
○	TT	TILIA TOMENTOSA	SILVER LINDEN	28	2" CAL. B & B
○	AR	ACER RUBRUM	RED SUNSET MAPLE	28	2" CAL. B & B
○	TC	SILVER LINDEN	TILIA X EUCHORA	28	2" CAL. B & B
SMALL / MEDIUM DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
○	AR	HEDGE MAPLE	ACER CAMPESTRE	28	2" CAL. B & B
○	AR	WHITESPIRE BIRCH	BETULA PLATYPHYLLA JAPONICA	28	2" CAL. B & B
○	AR	AMERICAN HORNEBEAM	CARPINUS CAROLINIANA	28	2" CAL. B & B
○	AR	FLOWERING DOGWOOD	CORNUS FLORIDA	28	2" CAL. B & B
○	AR	GOLDEN RAINTREE	KOELREUTERIA PANICULATA	29	2" CAL. B & B
○	AR	PAPERBACK MAPLE	ACER GRiseum	29	2" CAL. B & B
○	AR	ALLEGHENY SERVICEBERRY	AMELANCHIER X GRANDIFLORA	29	2" CAL. B & B
○	AR	STAR MAGNOLIA	MAGNOLIA STELLATA	29	2" CAL. B & B

(X) PLANT QUANTITY
 (XX) PLANT TYPE
 (P) PLANNING LOT REINTEGRATION PLANTINGS
 (I) INTERIOR PLANTINGS
 (S) STREET TREES

*CONTAINER OR BALL AND BURLAP CONDITION ACCEPTABLE
 NOTE: SPECIES SHOWN THAT ARE NOT LISTED IN THE CITY OF BLOOMINGTON ZONING ORDINANCE, CHAPTER 20.06 TABLES OF RECOMMENDED PLANT MATERIALS ARE GIVEN BOTANICALLY COMPARABLE DENSITY VALUES.

revisions:

SCALE: 1"=50'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

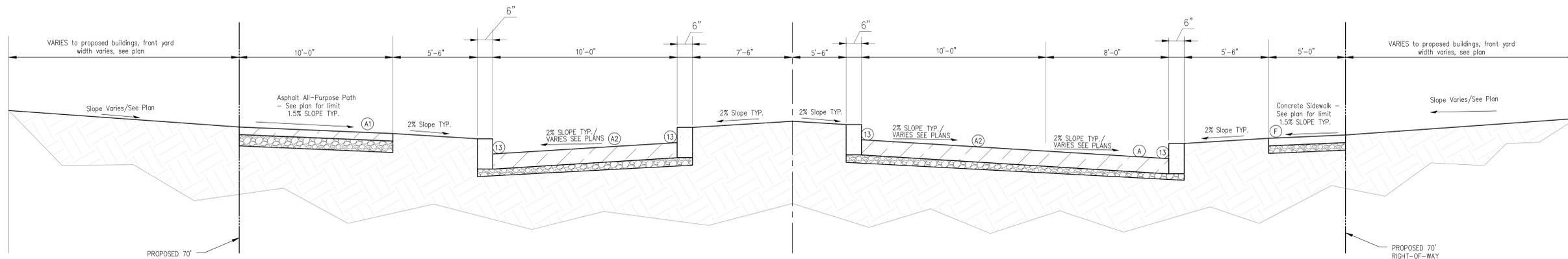
BEB
BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030
bloomington, indiana
(812) 339-2990 (Fax)

certified by:

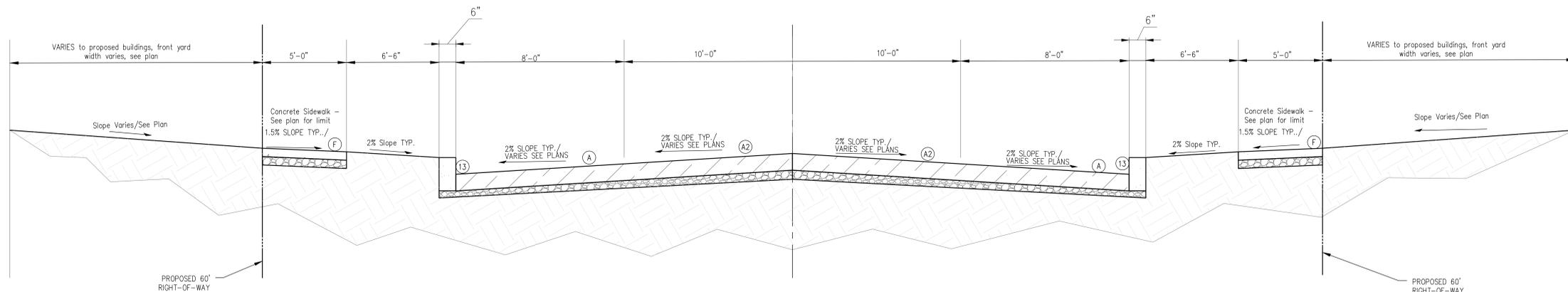
PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
 7366 W. STATE ROAD 46
 ELLETTSVILLE, INDIANA 47429

title: LANDSCAPE PLAN
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C502
 project no.: 402329

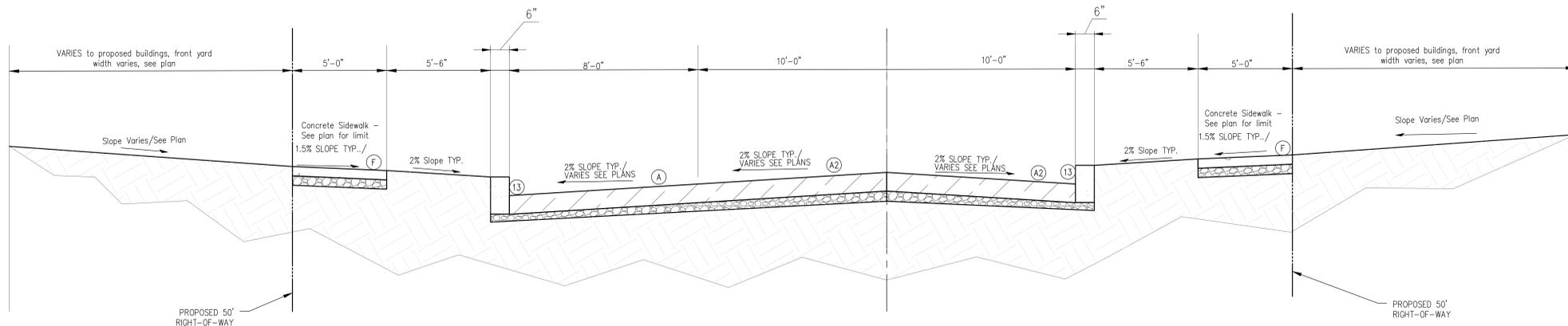
NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



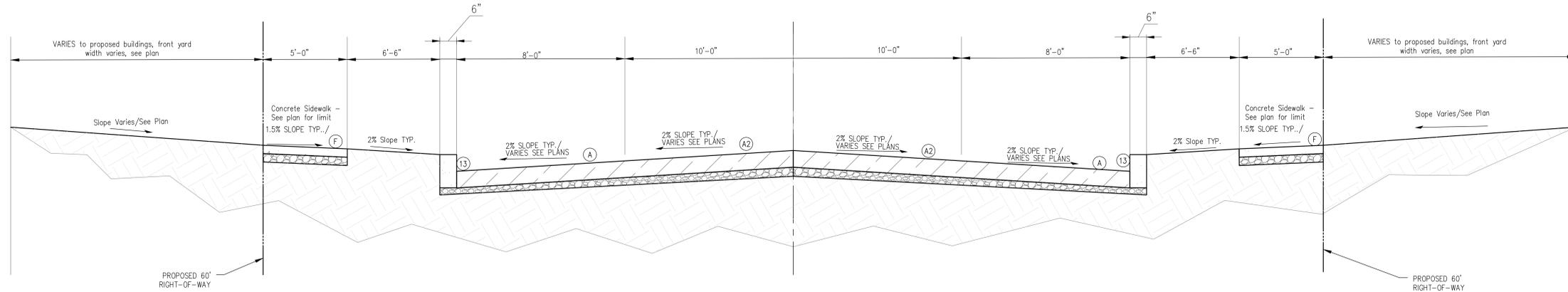
COLLECTOR WITH MEDIAN TYPICAL CROSS SECTION



LOCAL ROAD WITH PARALLEL PARKING BOTH SIDES TYPICAL CROSS SECTION



LOCAL ROAD WITH PARALLEL PARKING ON ONE SIDE TYPICAL CROSS SECTION



LOCAL ROAD WITH PARALLEL PARKING BOTH SIDES TYPICAL CROSS SECTION

revisions:

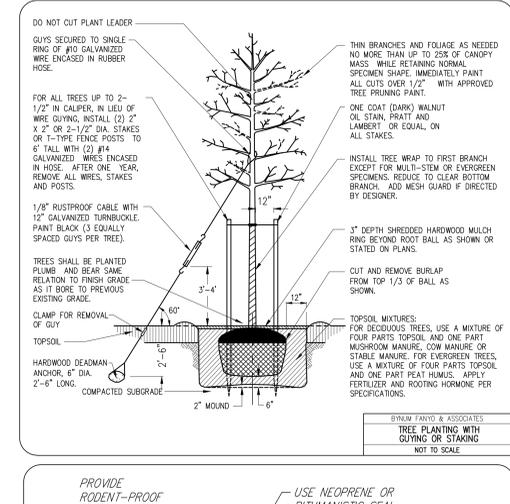
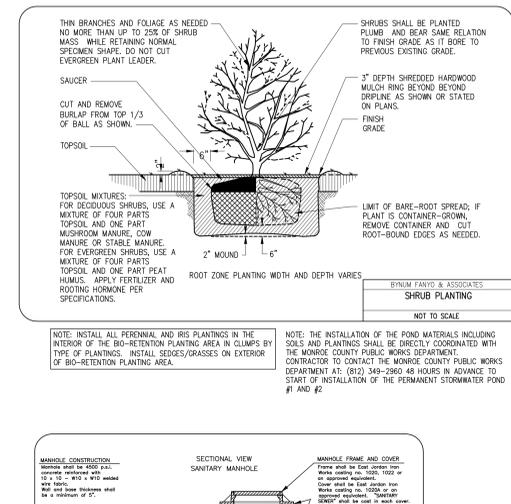
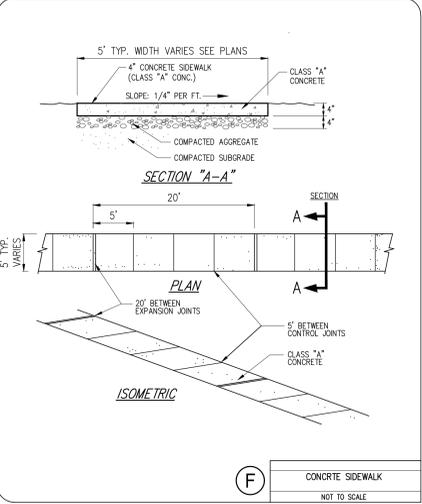
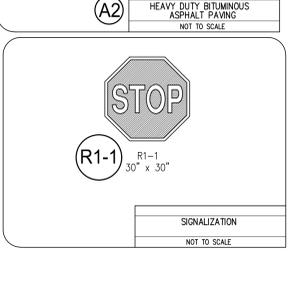
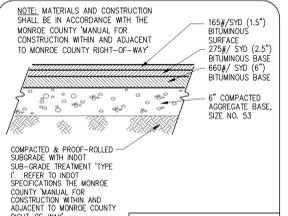
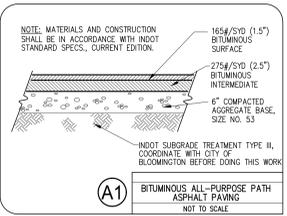
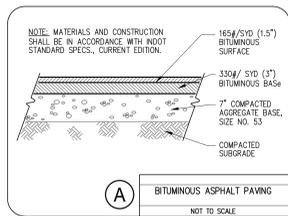
 SCALE: 1"=30'

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PROPOSED
 HARMON FARM PHASE 1
 PRELIMINARY PLAT PRE APPROVAL
 7366 W. STATE ROAD 46
 ELLETTSVILLE, INDIANA 47429

title: ROADWAY TYPICAL
 CROSS SECTIONS
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C601
 project no.: 402329



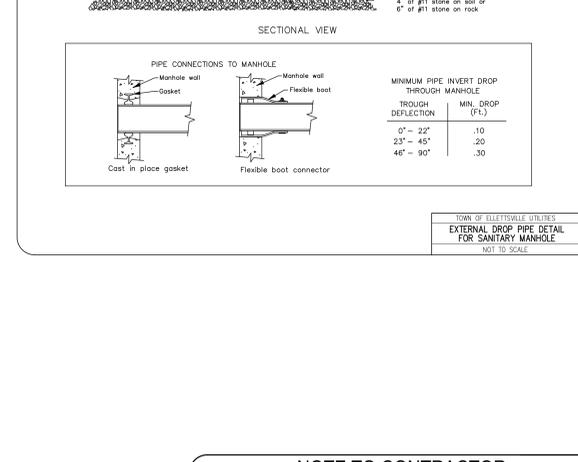
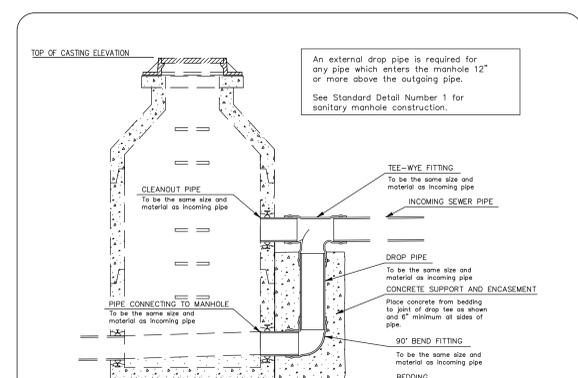
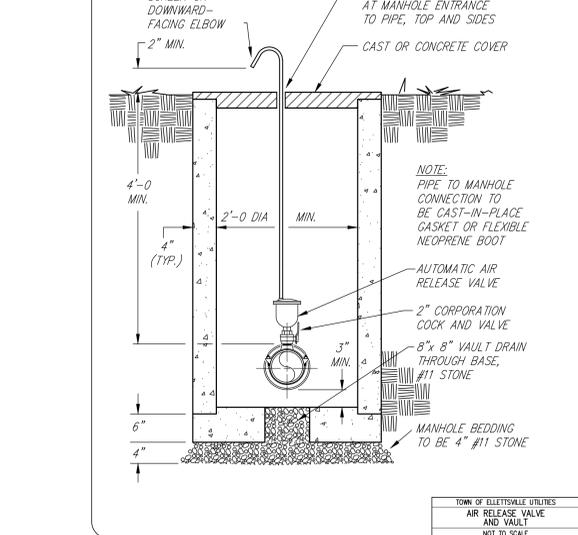
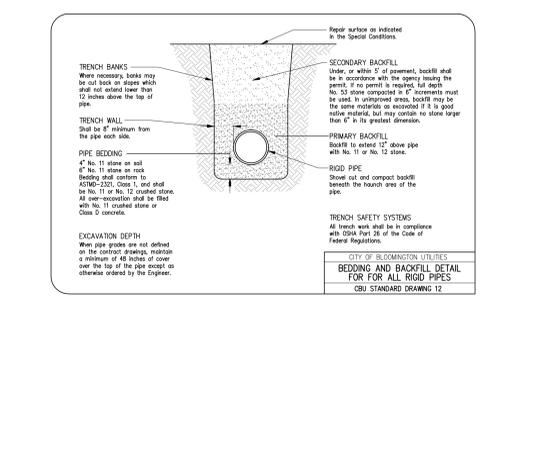
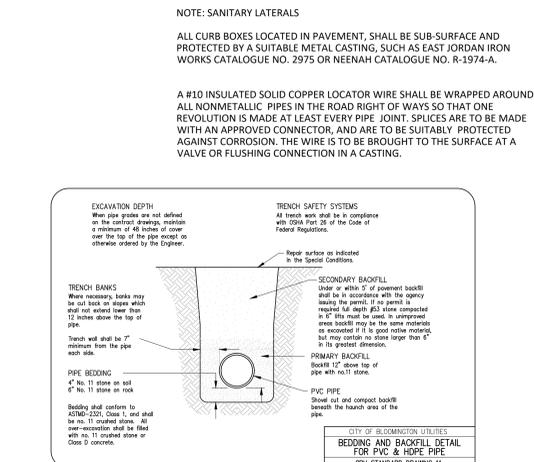
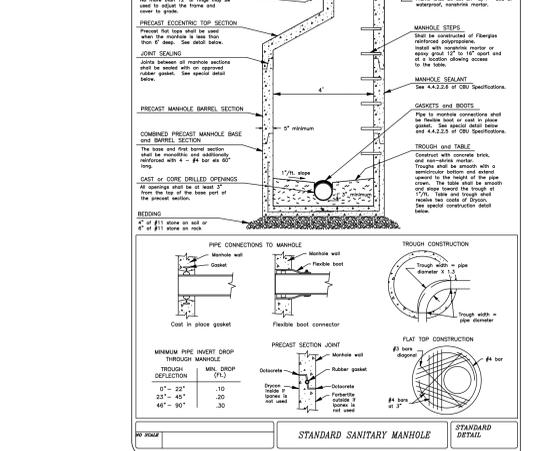
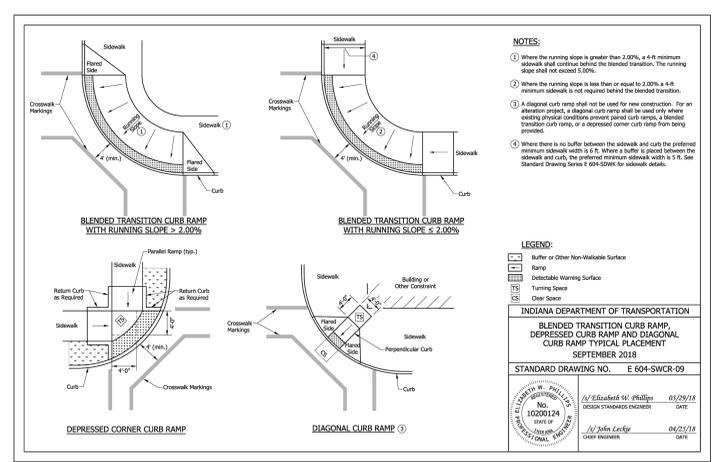
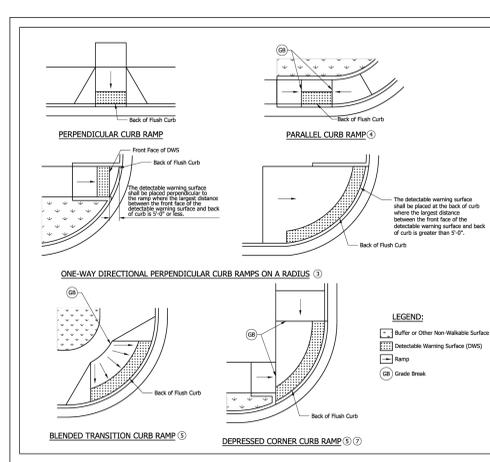
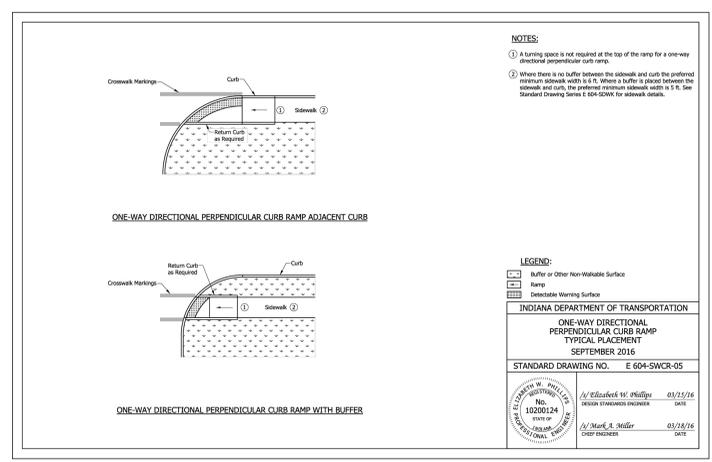
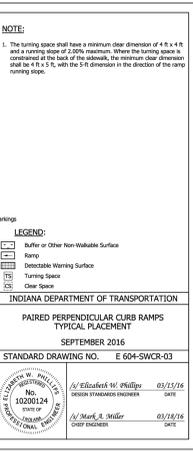
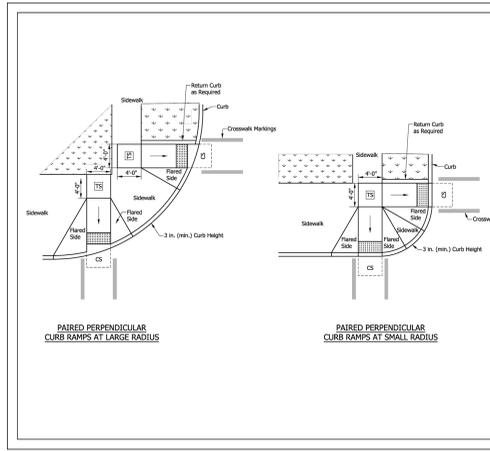
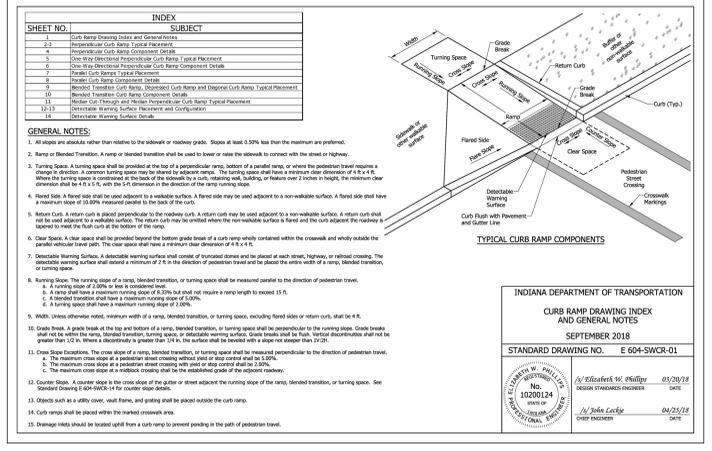
revisions:

SCALE: 1"=30'

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Bloomington, Indiana
(812) 339-2990 (Fax)

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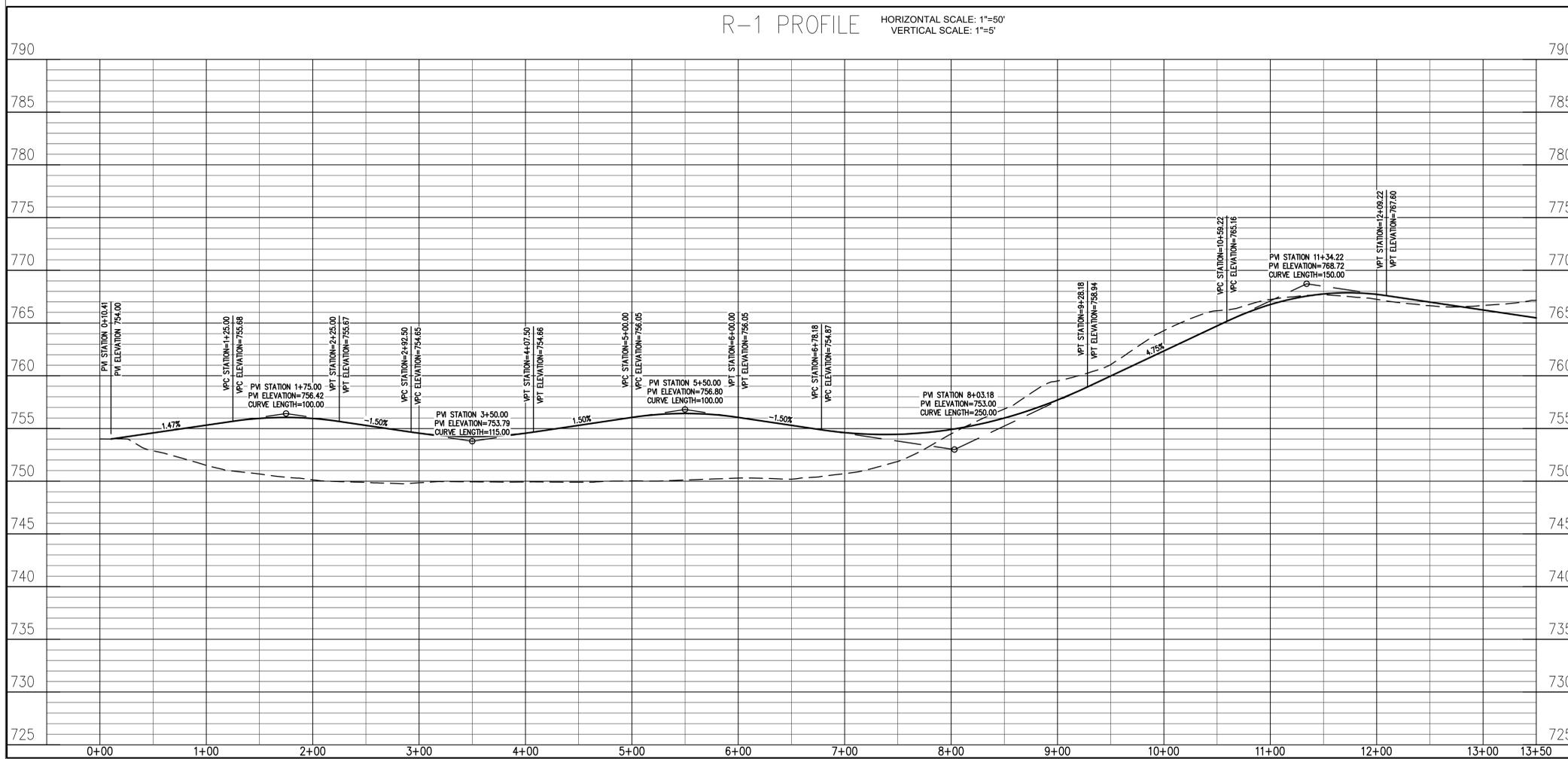
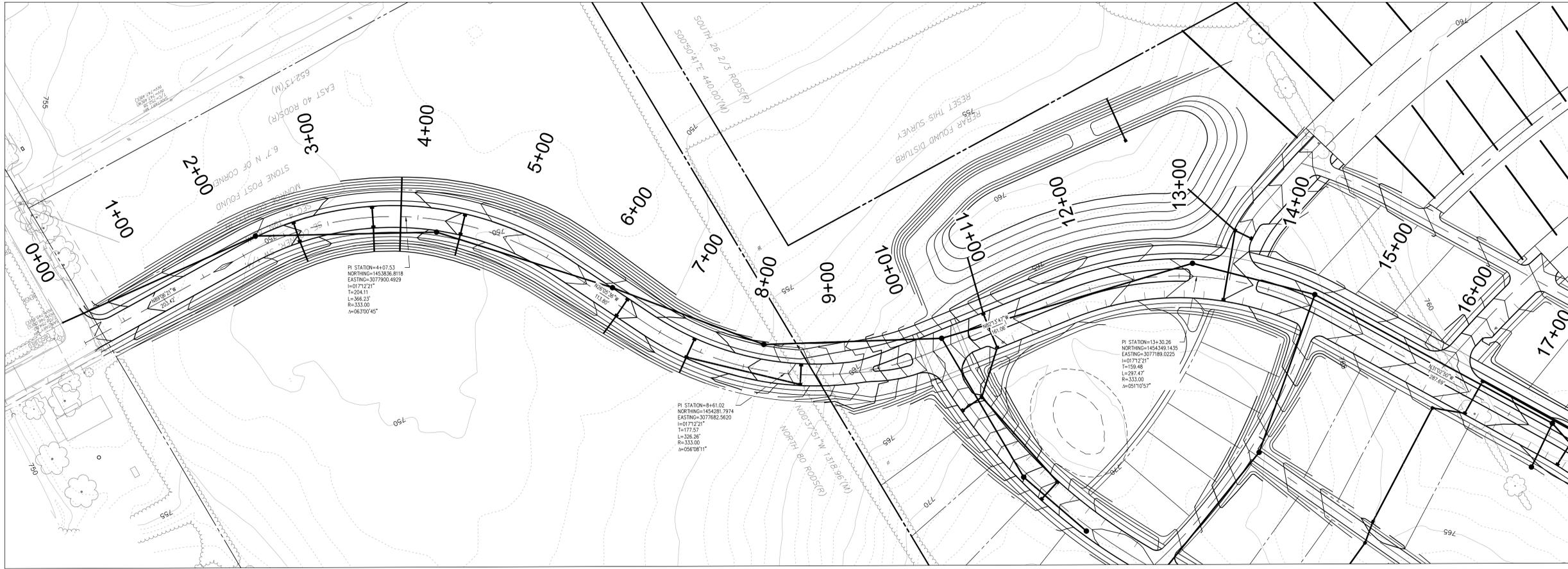
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certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C602
project no.: 402329



revisions:

SCALE: 1"=50'

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Bloomington, Indiana
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**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-1 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C801
project no.: 402329



revisions:

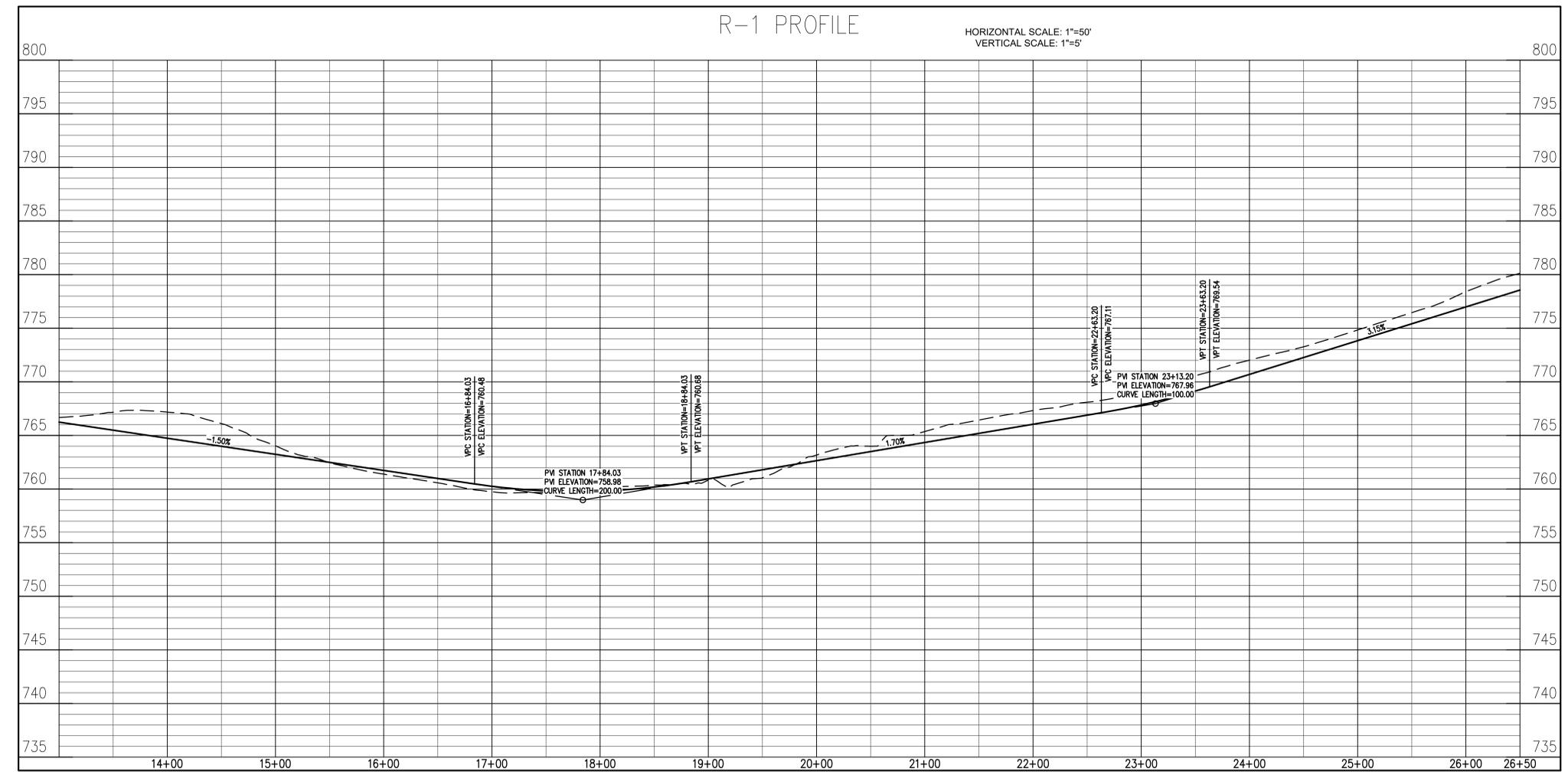
SCALE: 1"=50'

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BYNUM FANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030 (Fax)

R-1 PROFILE

HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'

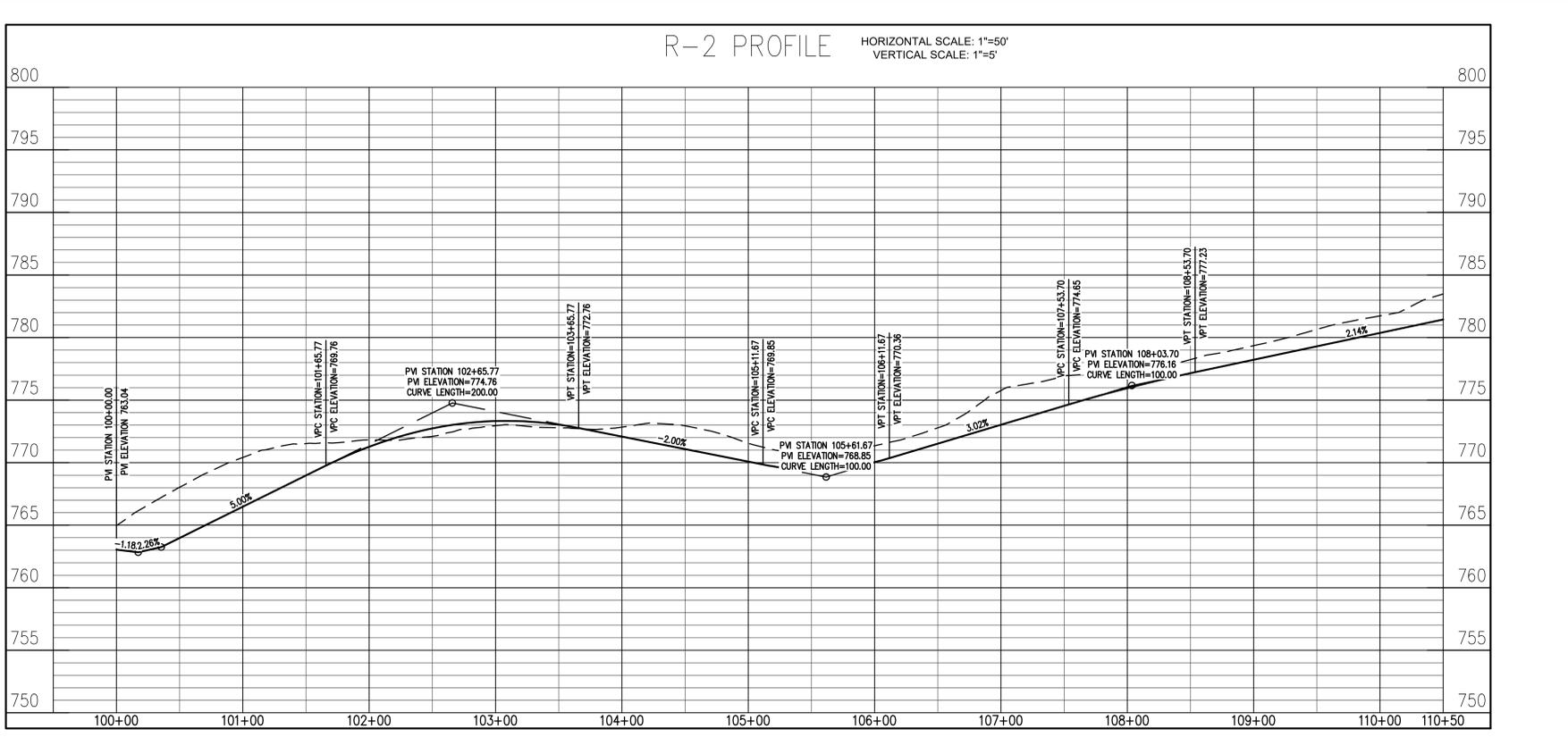


certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-1 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C802
project no.: 402329



revisions:

SCALE: 1"=50'

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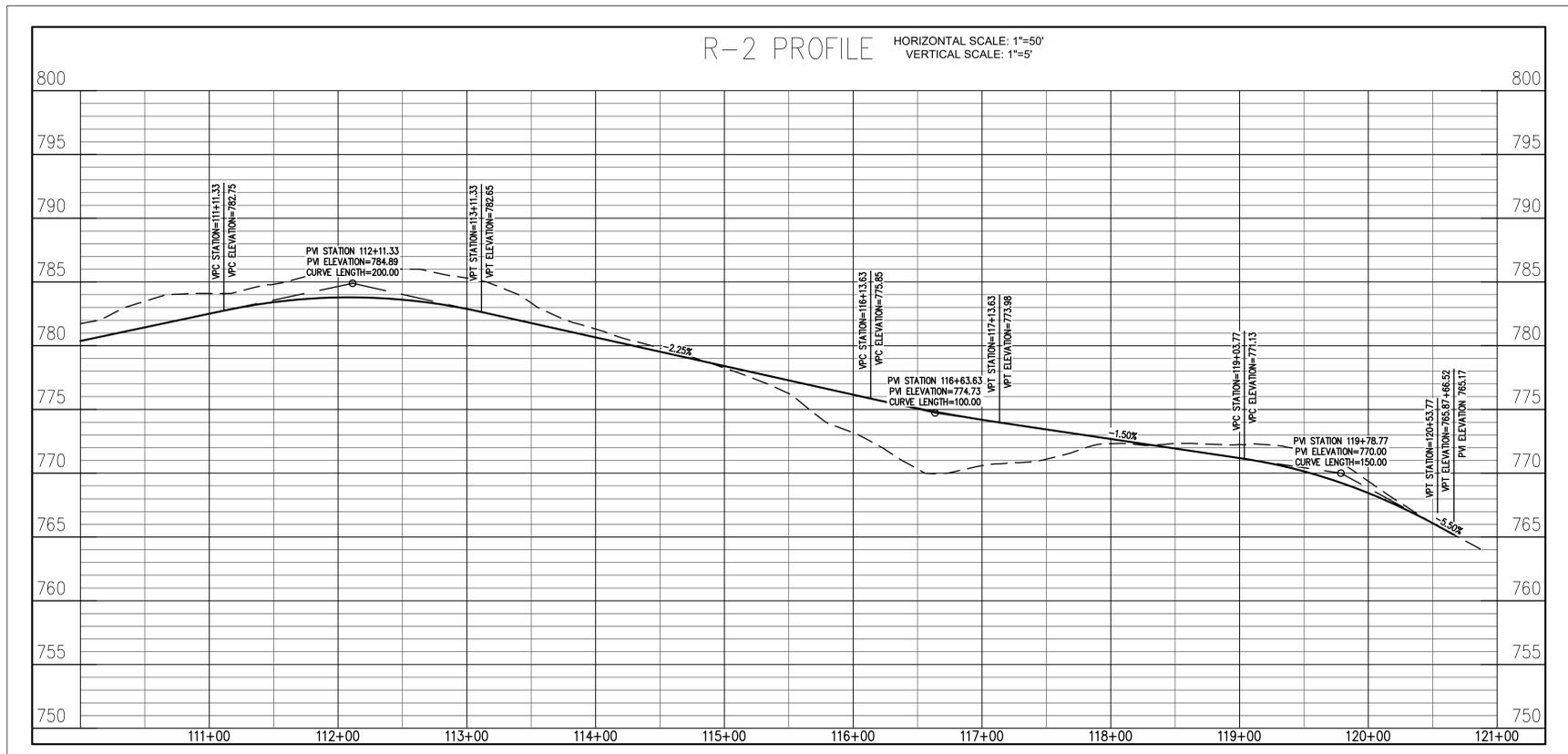
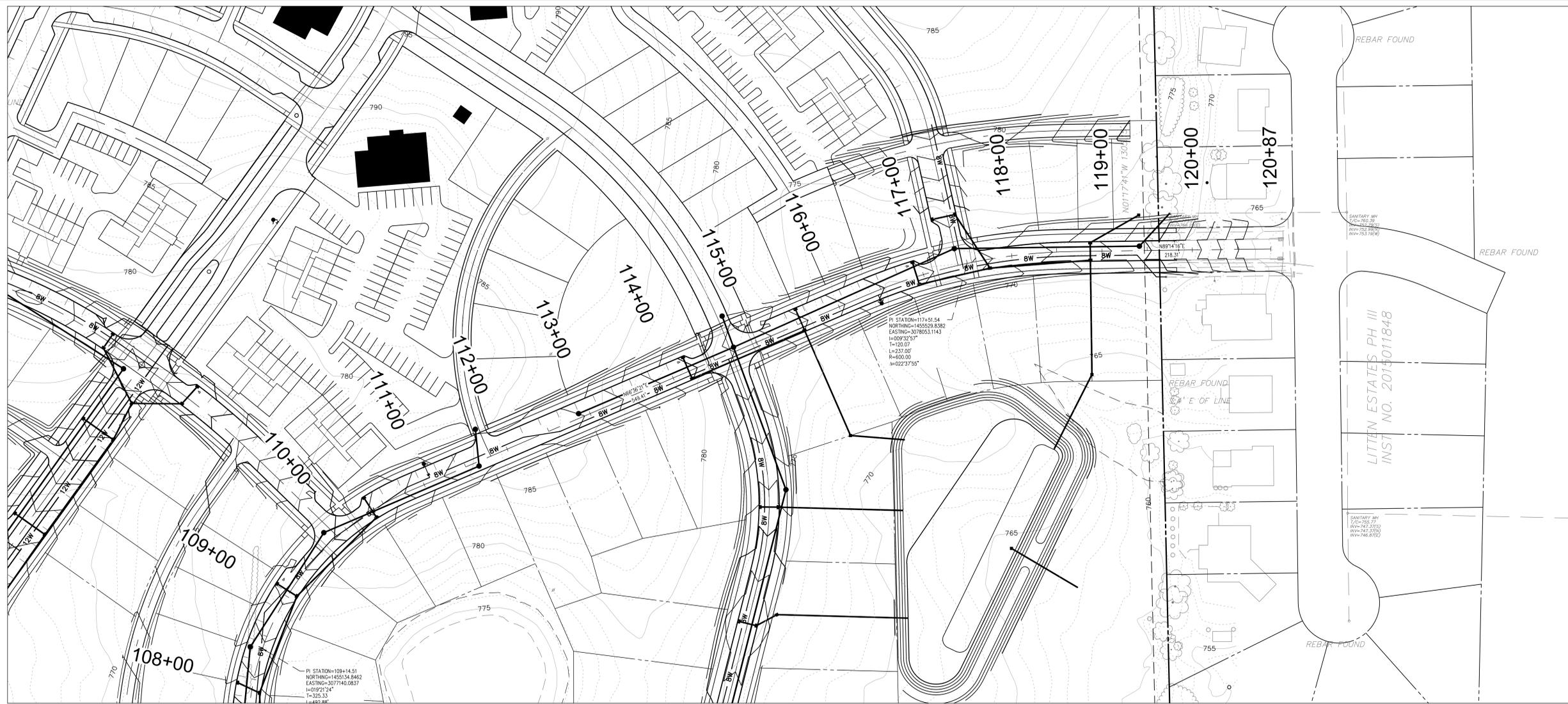
certified by:

**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**

7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-2 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C803
project no.: 402329



revisions:

SCALE: 1"=50'

ARCHITECTURE
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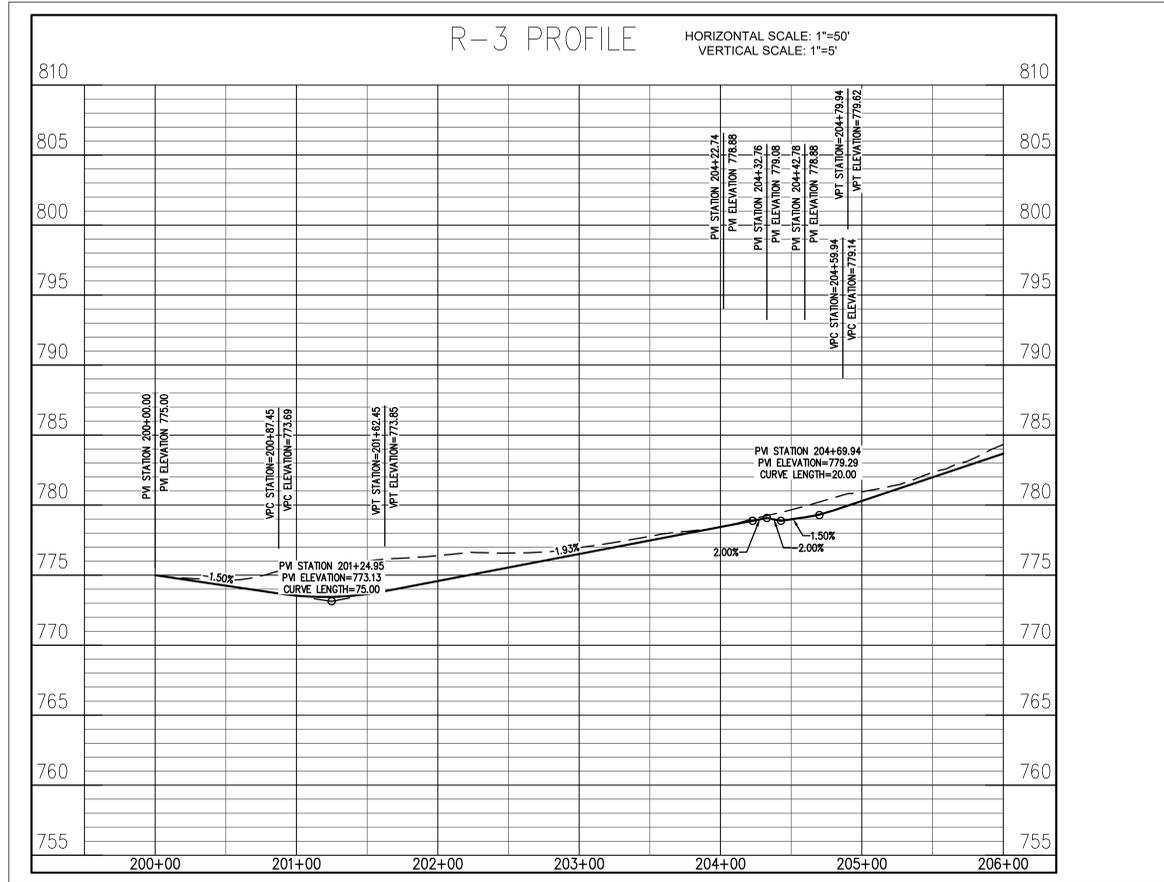
LITZEN ESTATES PH III
INST NO. 2013011848

certified by:

PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-2 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C804
project no.: 402329



revisions:

SCALE: 1"=50'

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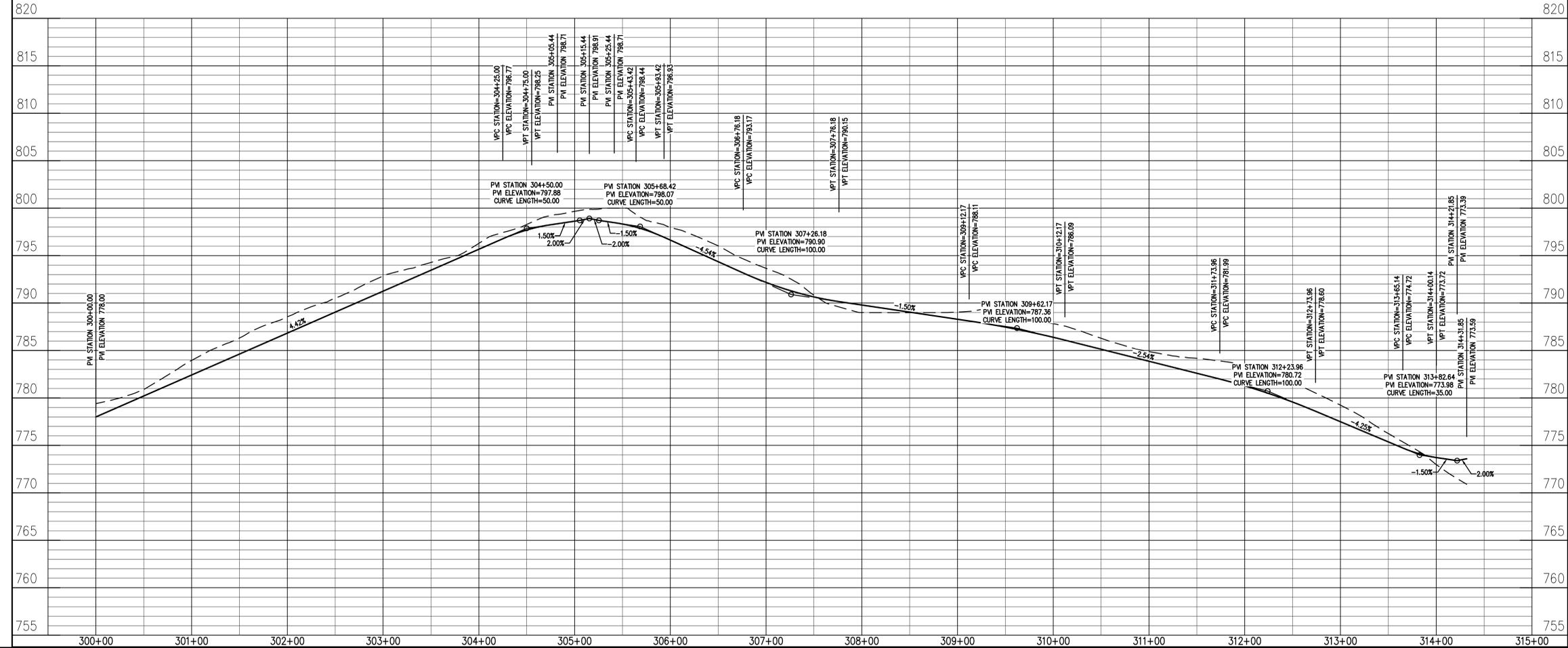
PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
 7366 W. STATE ROAD 46
 ELLETTSVILLE, INDIANA 47429

title: "R-3 GRADING"
 PLAN & PROFILE

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C805
 project no.: 402329



R-4 PROFILE HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



revisions:

SCALE: 1"=50'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

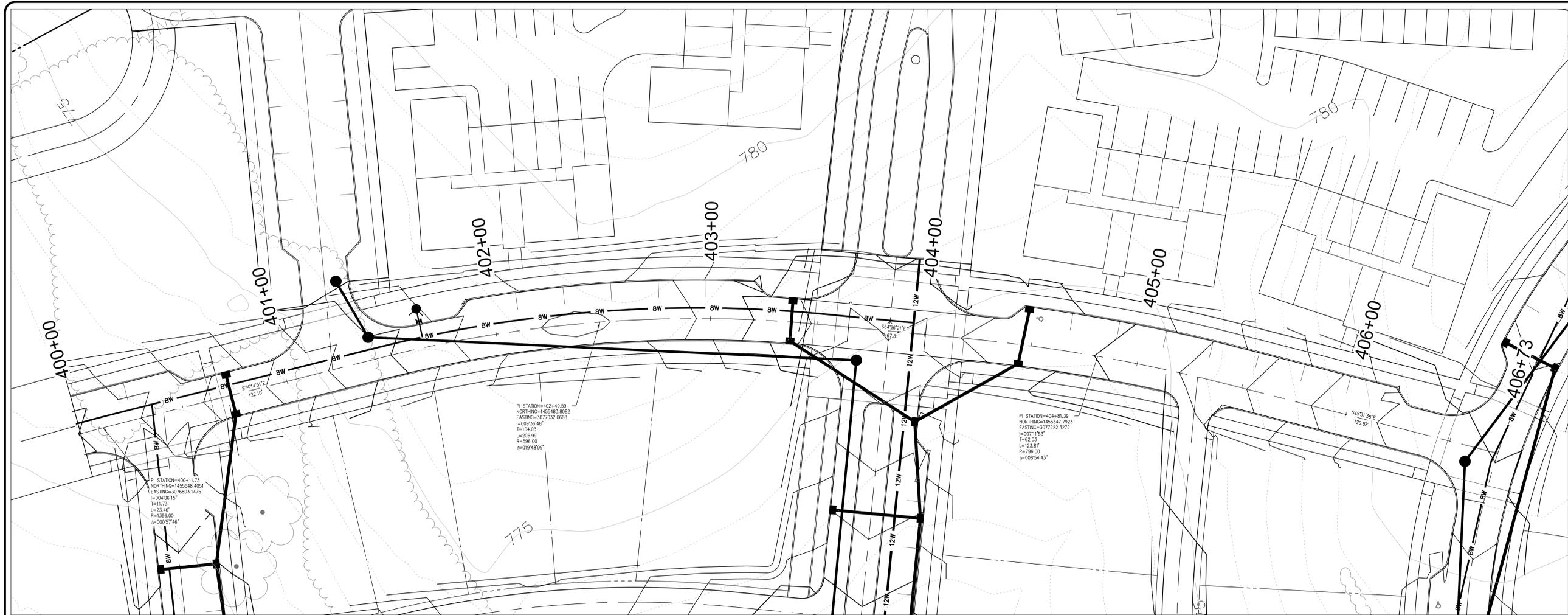
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PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-4 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C806
project no.: 402329



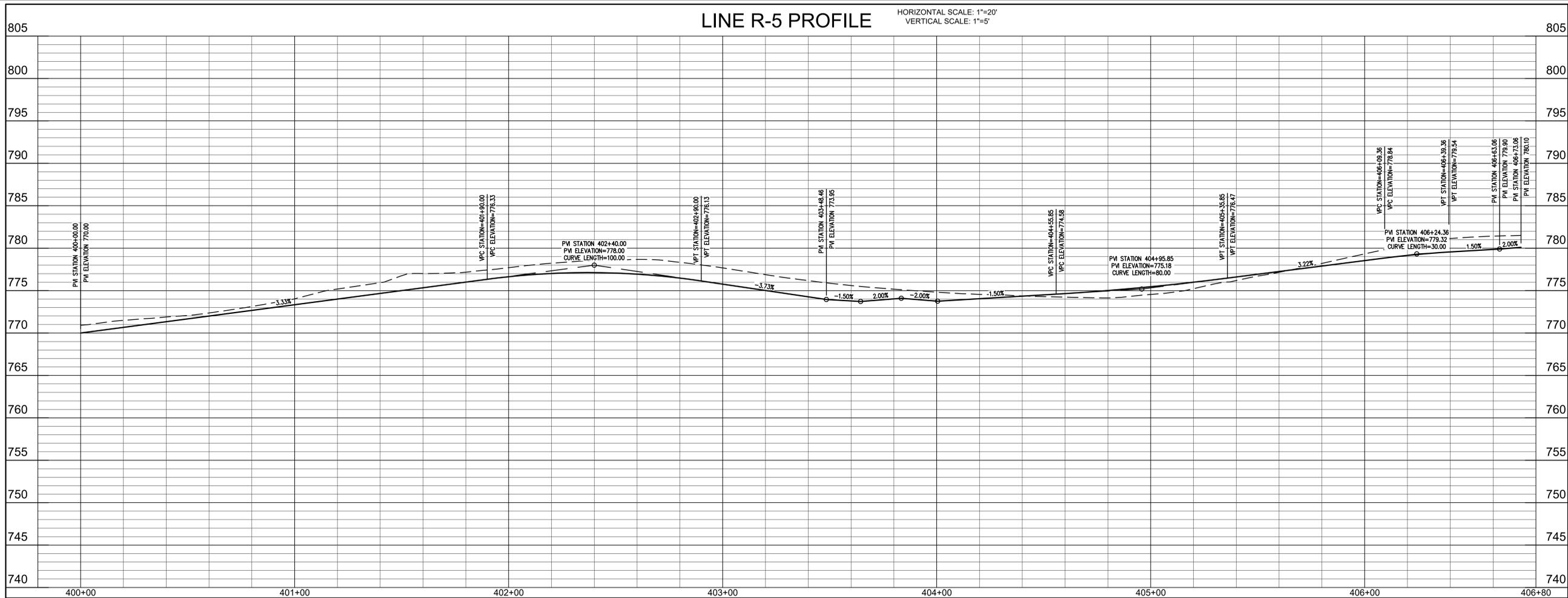
revisions:

SCALE: 1"=20'

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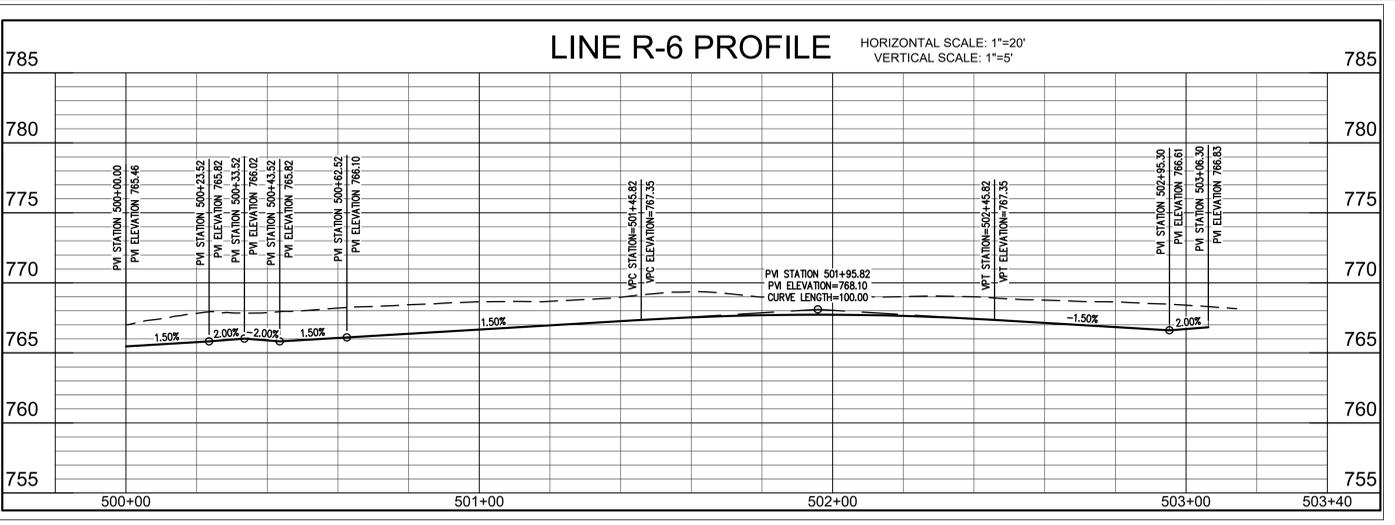
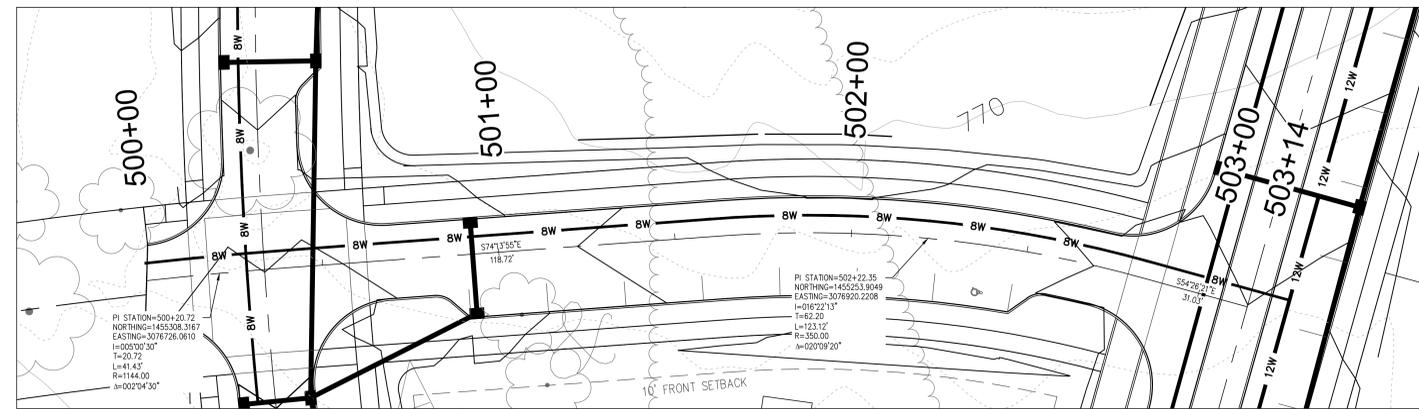
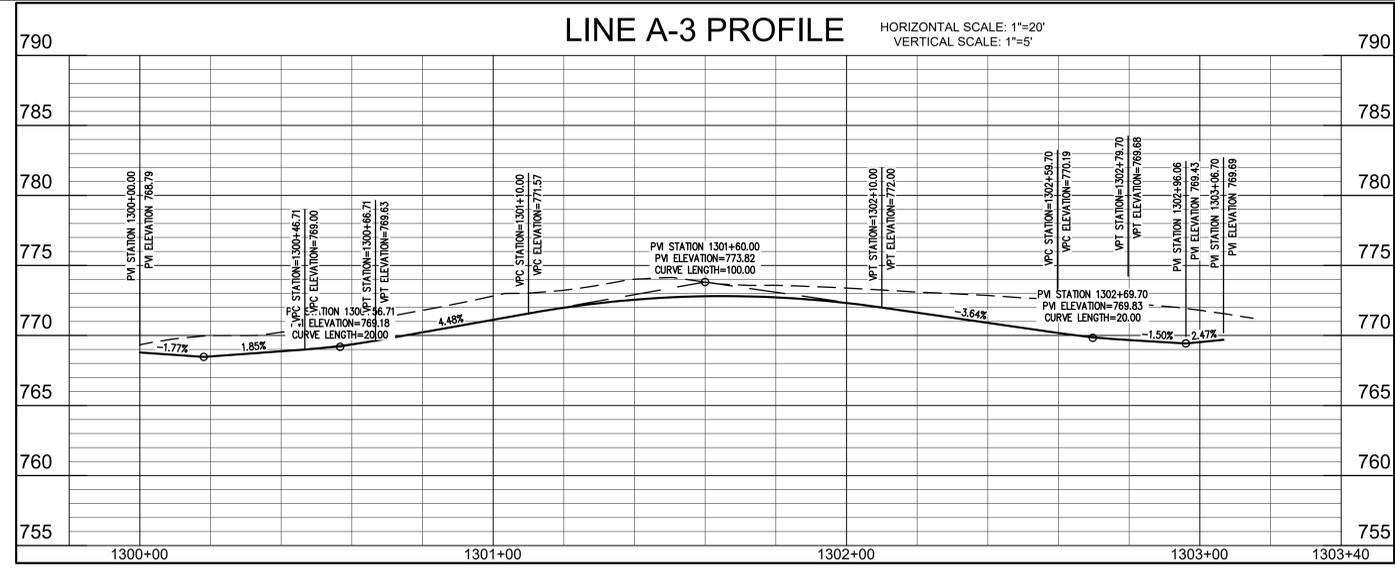
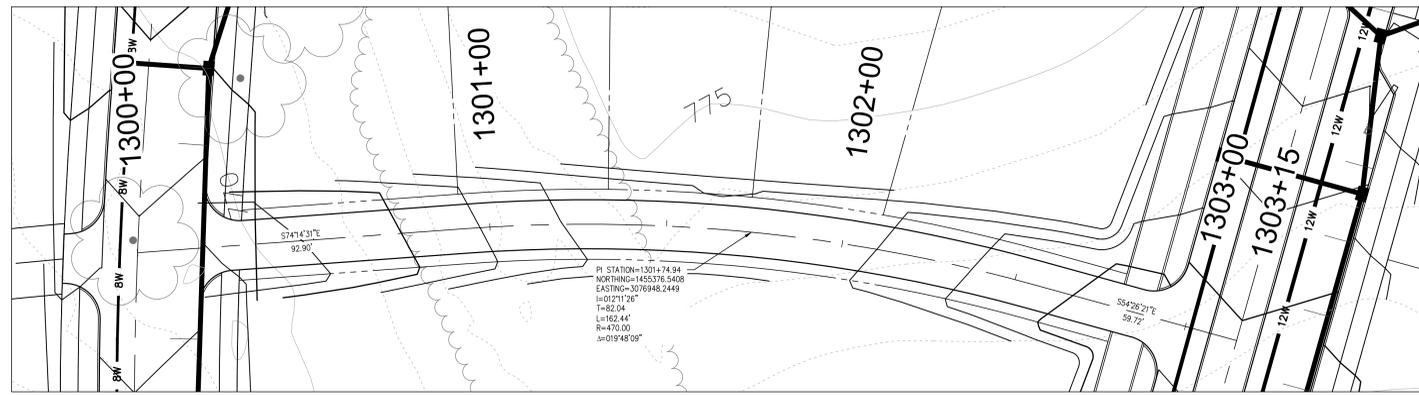


PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL

7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-5 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C807
project no.: 402329



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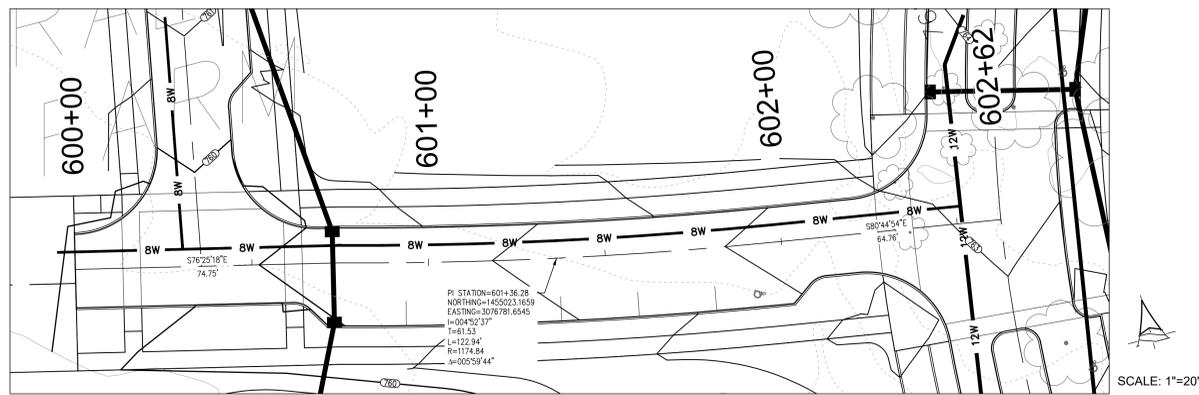
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**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**

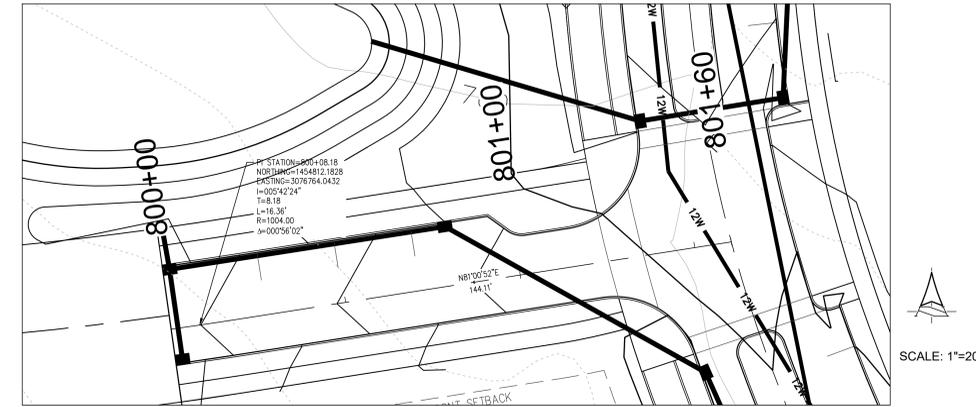
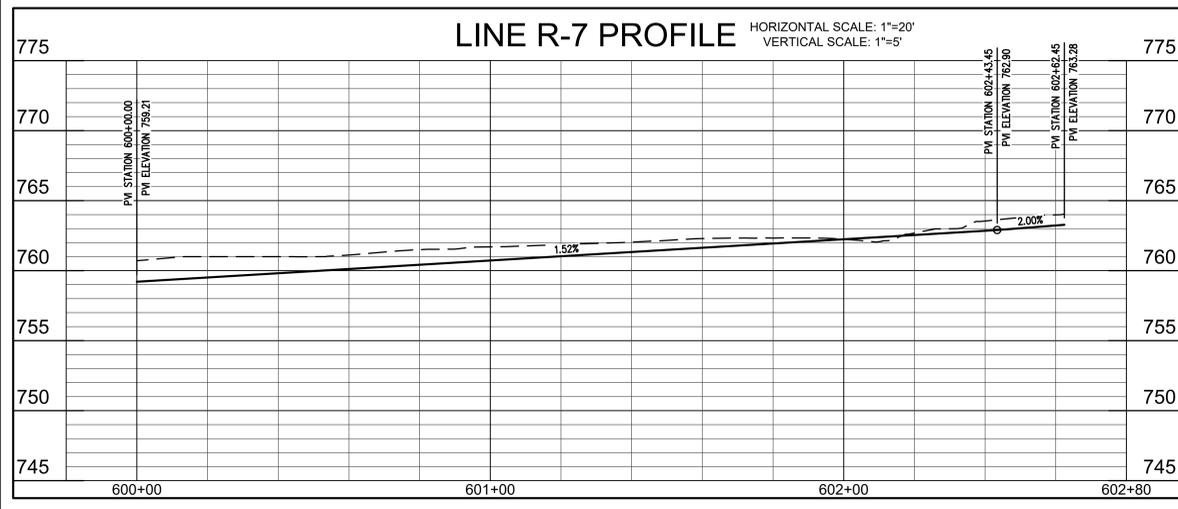
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: 'A-3 & R-6 GRADING'
PLAN & PROFILE

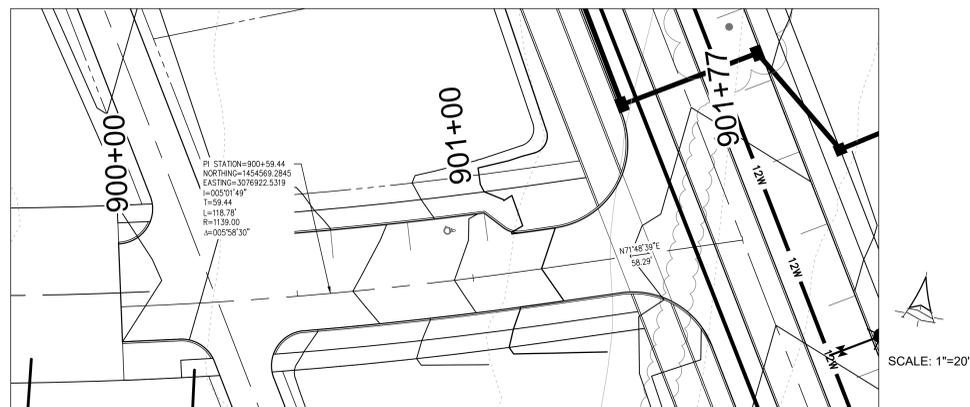
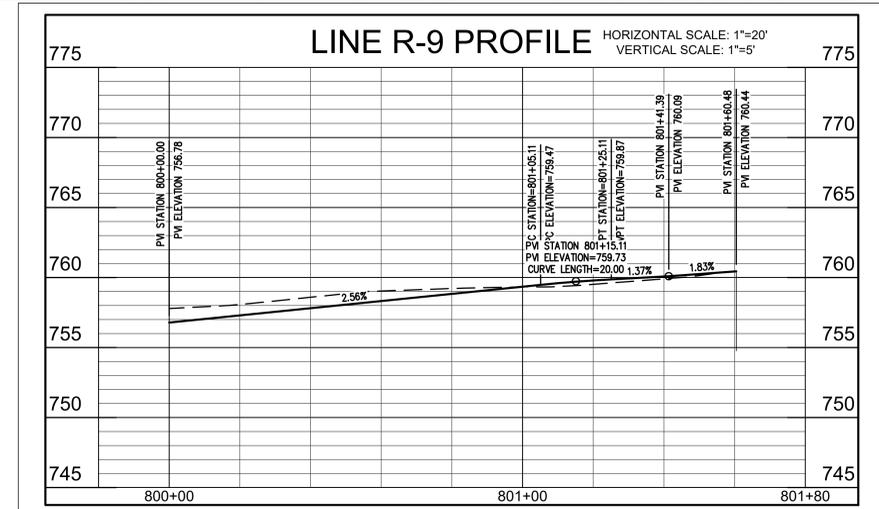
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C808
project no.: 402329



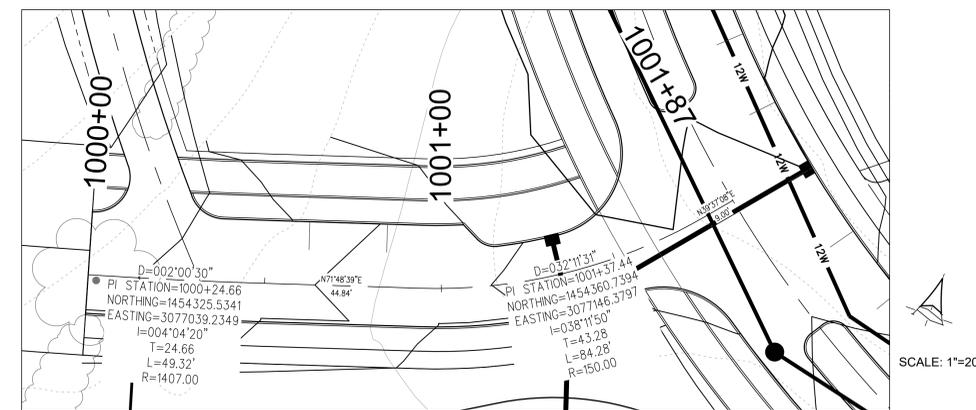
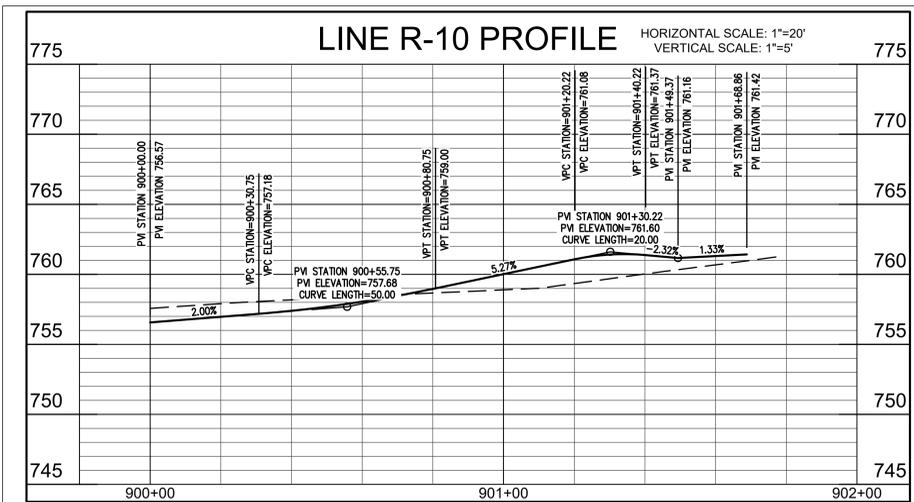
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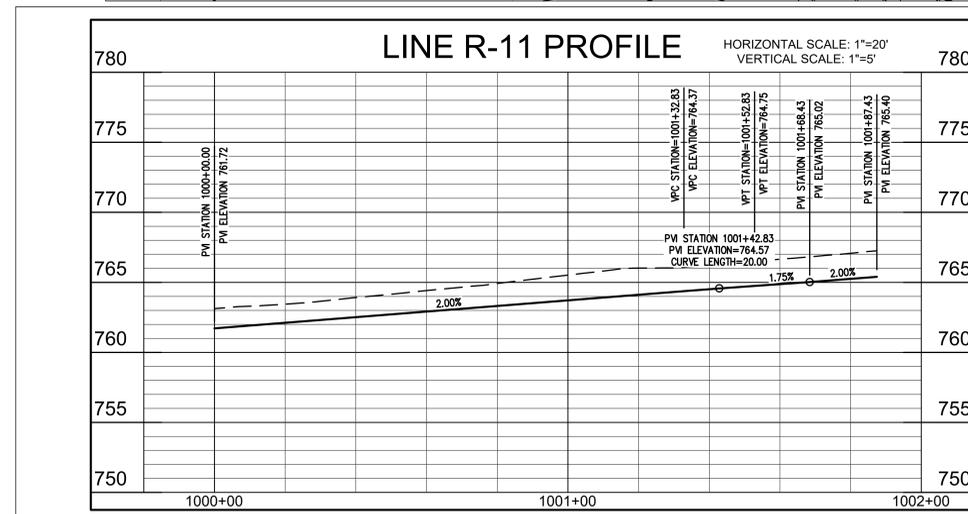
SCALE: 1"=20'



SCALE: 1"=20'



SCALE: 1"=20'



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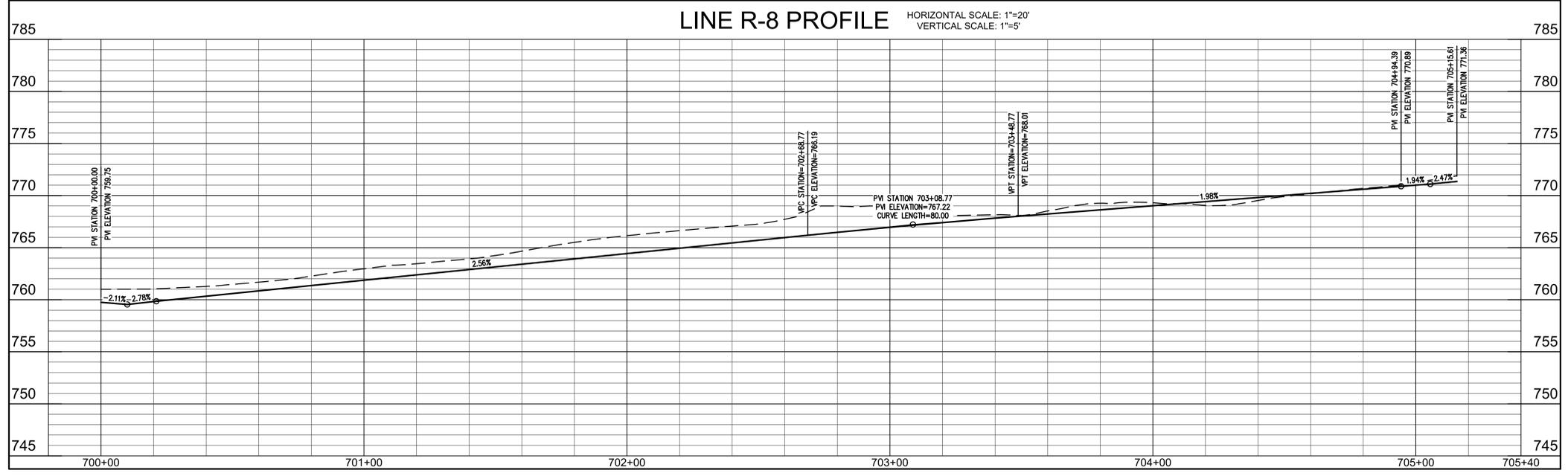
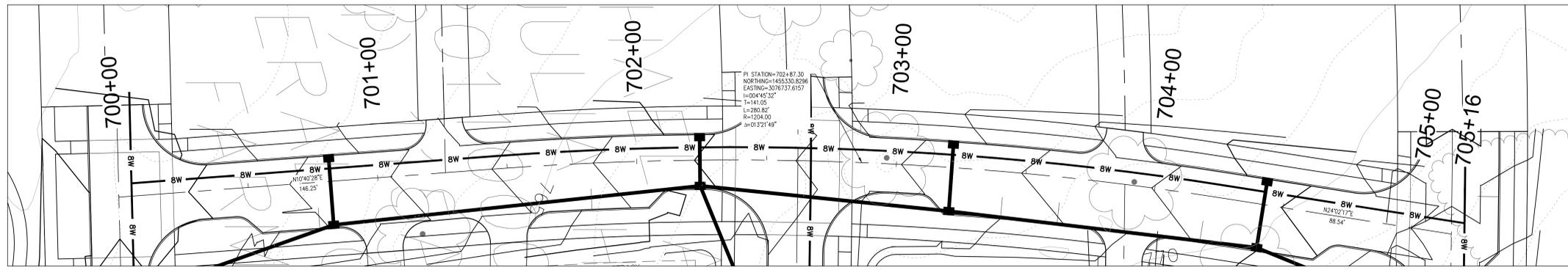
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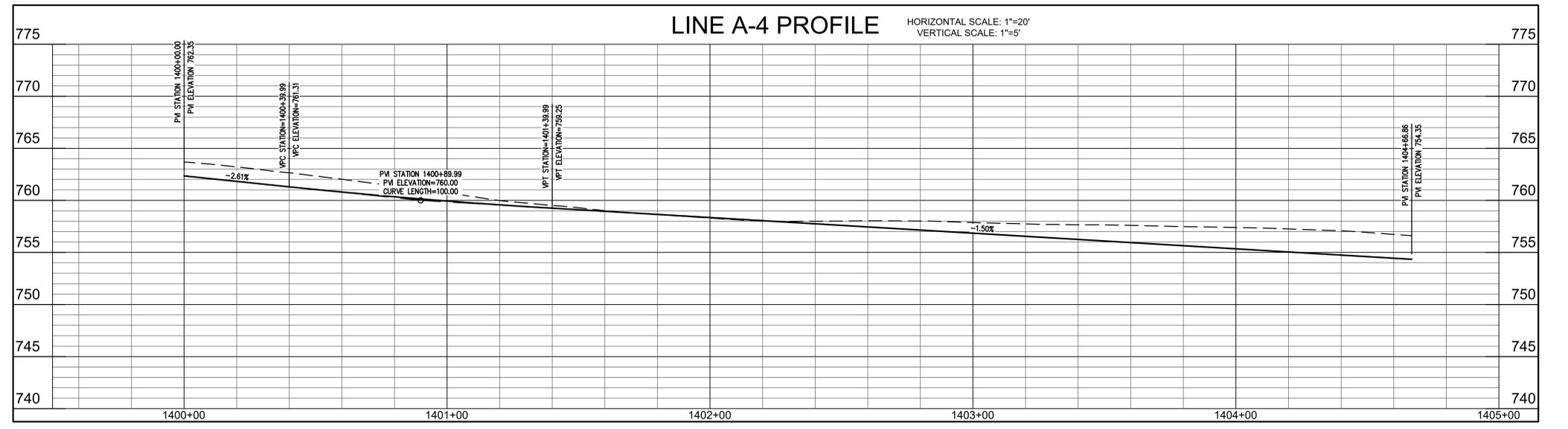
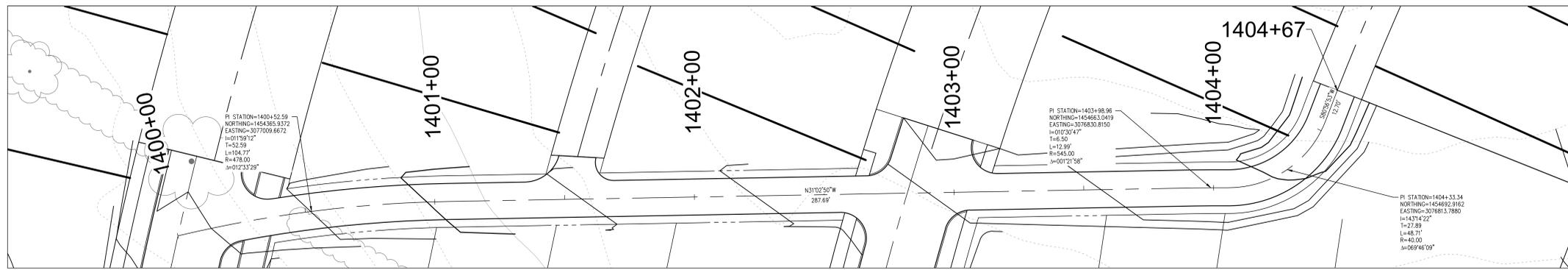
PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: 'R-7, R-9, R-10, & R-11 GRADING' PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C809
project no.: 402329



SCALE: 1"=20'



SCALE: 1"=20'

revisions:

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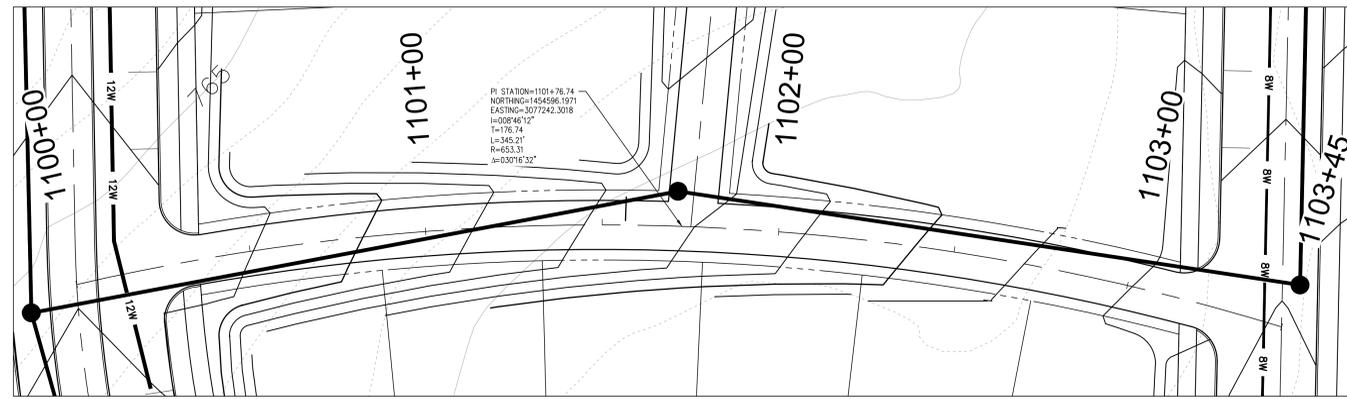
Bloomington, Indiana
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certified by:

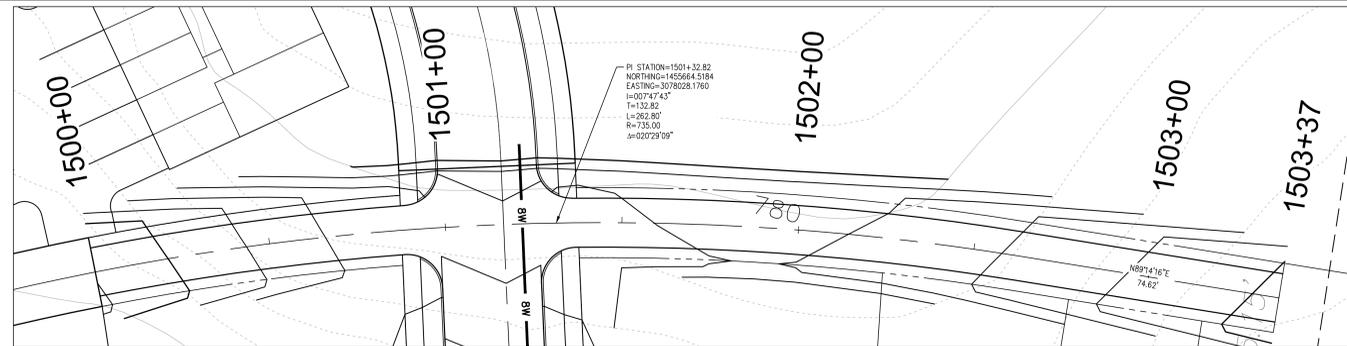
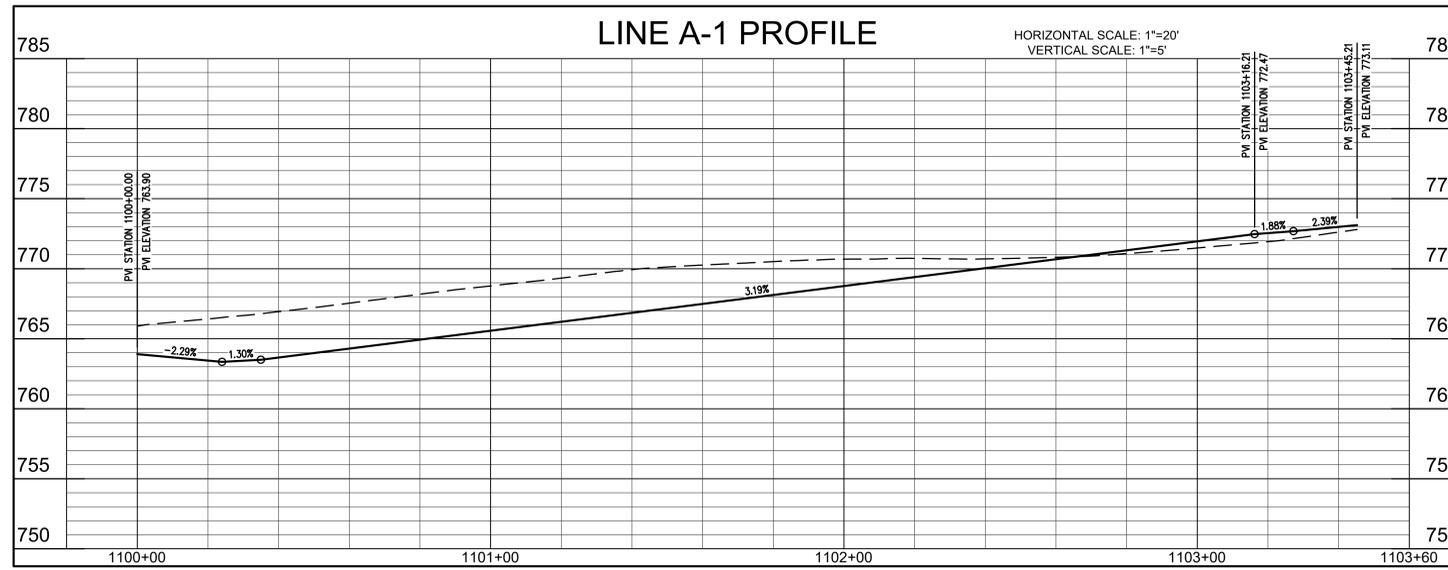
**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-5 GRADING"
PLAN & PROFILE

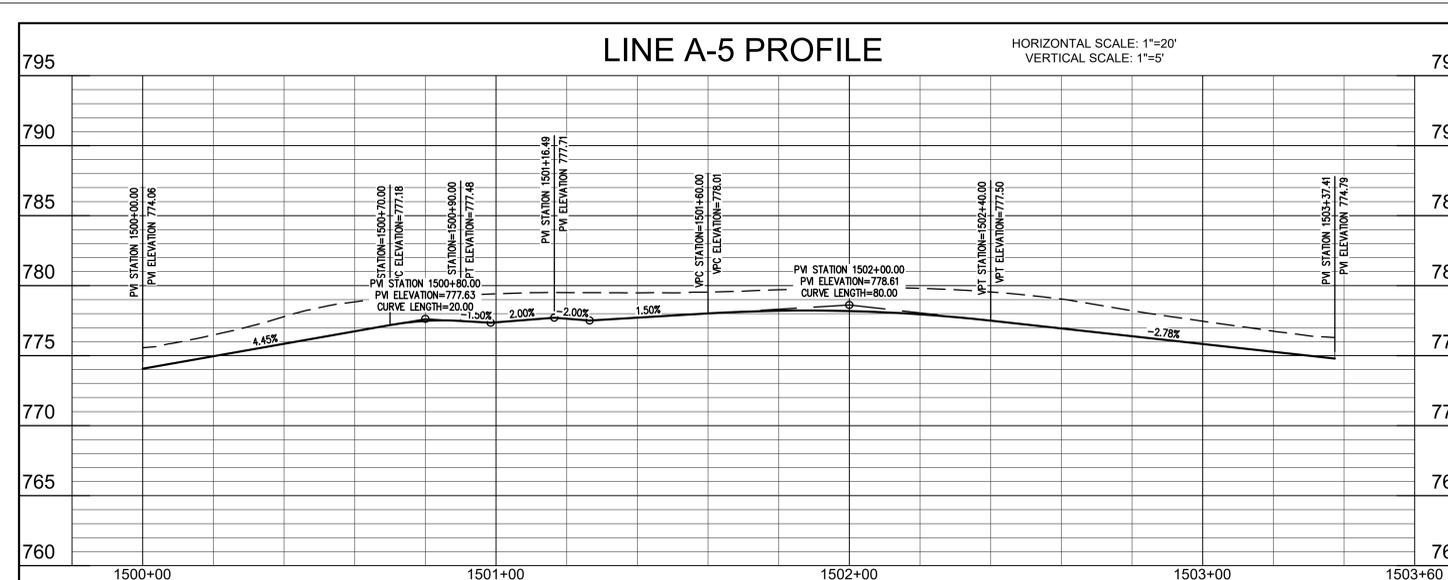
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C808
project no.: 402329



SCALE: 1"=20'



SCALE: 1"=20'



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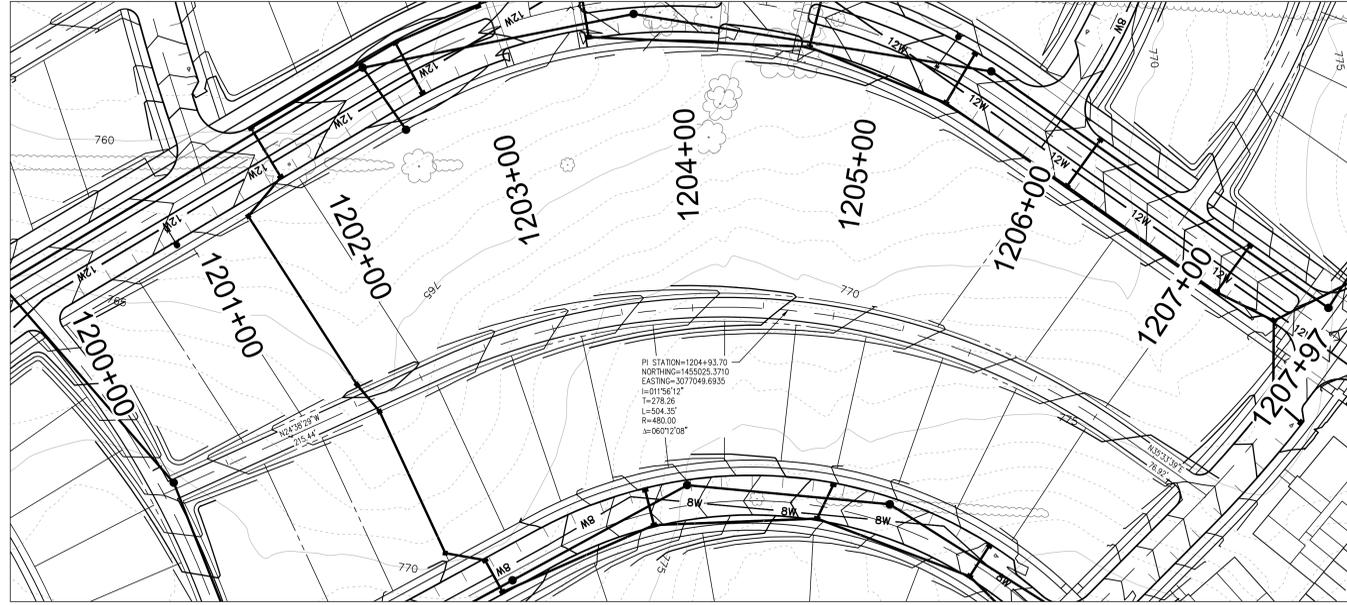
certified by:

**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**

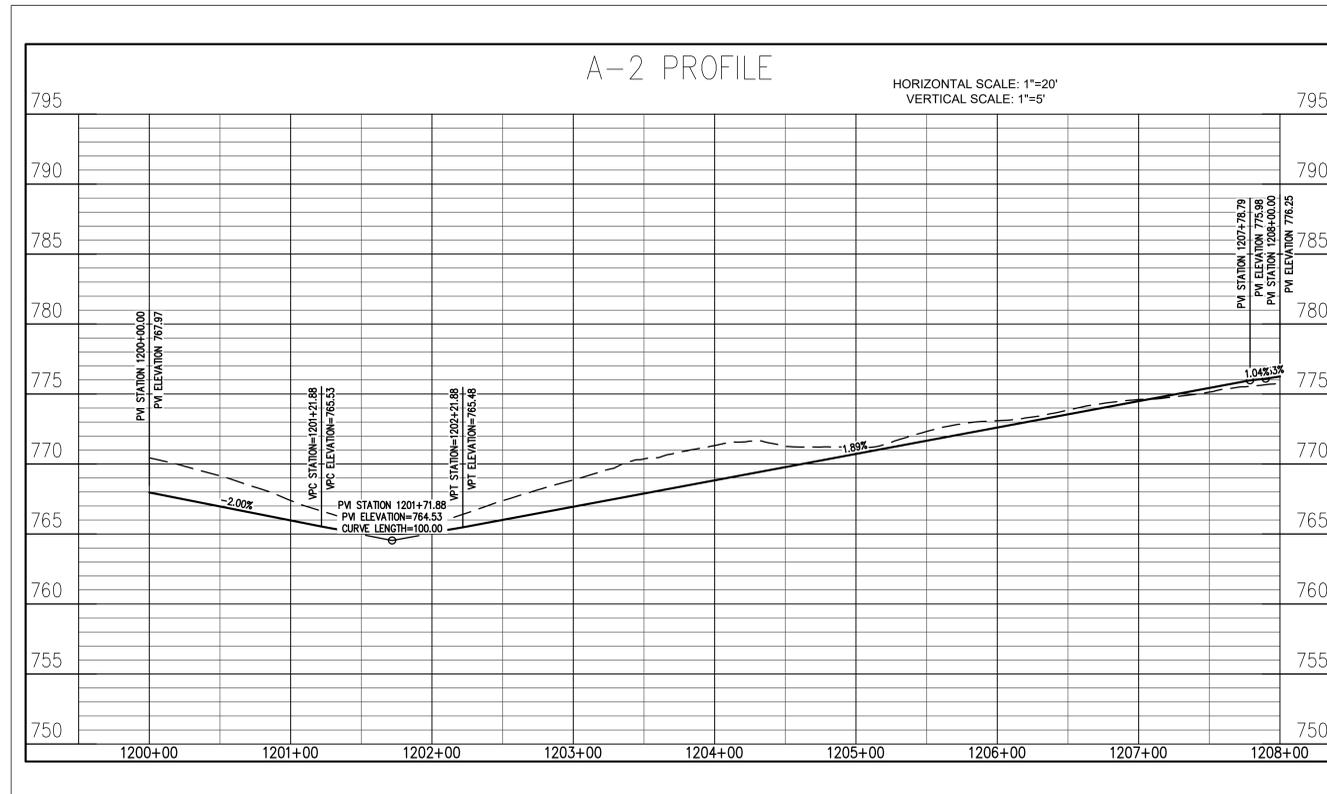
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-5 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C808
project no.: 402329



SCALE: 1"=50'



revisions:

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**PROPOSED
HARMON FARM PHASE 1
PRELIMINARY PLAT PRE APPROVAL**
7366 W. STATE ROAD 46
ELLETTSVILLE, INDIANA 47429

title: "R-5 GRADING"
PLAN & PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C808
project no.: 402329